

This architectural rendering depicts a modern, multi-story residential development. The buildings feature a mix of materials, including dark grey brick, light grey stone, and light-colored horizontal siding. Large, dark-framed windows are prominent on the upper floors. The roofs are gabled with dark grey shingles. In the foreground, a paved road with a black car, a white car, and a red car is visible. Pedestrians are walking on the sidewalks, and there are landscaped areas with greenery and trees. The sky is blue with scattered clouds.

BUILDING A MECHANICAL & ELECTRICAL	
P0.01a	COVER SHEET
P1.01a	BUILD A - LOWER LEVEL PLUMBING & DRAINAGE
P1.02a	BUILD A - FIRST & SECOND LEVEL PLUMBING PLAN
P1.03a	BUILD A - THIRD LEVEL PLUMBING PLAN
P1.04a	ENLARGED SUITE PLUMBING
P1.05a	ENLARGED SUITE PLUMBING
P1.06a	ENLARGED SUITE DRAINAGE
P1.07a	ENLARGED SUITE DRAINAGE
P1.08a	ENLARGED MECH ROOM PLUMBING & DRAINAGE
P2.01	NOTES & SCHEDULES
P2.02	DOMESTIC WATER RISER & SCHEMATIC
M0.01a	BUILD A - MECHANICAL
M1.01a	BUILD A - LOWER & GROUND LEVEL MECHANICAL PLAN
M1.02a	BUILD A - SECOND & THIRD LEVEL MECHANICAL PLAN
M1.03a	ENLARGED SUITE MECHANICAL
M1.04a	ENLARGED SUITE MECHANICAL
M1.05a	ENLARGED SUITE MECHANICAL
M1.06a	ENLARGED SUITE MECHANICAL
M2.01	NOTES & SCHEDULES
E0.01	SITE ELECTRICAL PLAN
E1.01a	BUILD A - LOWER & GROUND LEVEL ELECTRICAL PLAN
E1.02a	BUILD A - SECOND & THIRD LEVEL ELECTRICAL PLAN
E1.03a	ENLARGED SUITE ELECTRICAL
E1.04a	ENLARGED SUITE ELECTRICAL
E1.05a	ENLARGED MECH ROOM ELECTRICAL
E2.01	NOTES & SCHEDULES
E2.02	ELECTRICAL GENERAL NOTES

<p>CONSULTANT LIST</p> <p>OWNER</p> <p>32 - 42 WINDOM RD. KITCHENER, ON 32 - 42 WINDOM RD. (KITCHENER) LIMITED 1 QUEEN ST N KITCHENER, ONTARIO N2G 1A3</p>	
<p>CONSULTANT LIST</p> <p>CLIENT</p> <p>VIVE DEVELOPMENT 1020 KING STREET EAST, KITCHENER, ONTARIO 519.208.9675</p> <p>BASSEM SAWERIS - PROJECT MANAGER bSaweris@vivedevelopment.ca</p>	
<p>ARCHITECTURAL</p> <p>REINDERS & ASSOCIATES LTD. 64 ONTARIO STREET N MILTON, ON, L9T 2T1 905-457-1616</p> <p>GLENN REINDERS - PRESIDENT glenn@reinders.ca</p>	
<p>STRUCTURAL</p> <p>REINDERS & ASSOCIATES LTD. 64 ONTARIO STREET N MILTON, ON, L9T 2T1 905-457-1616</p> <p>LUCAS EYONG - P. ENG. lucase@reinders.ca</p>	
<p>MECHANICAL / ELECTRICAL</p> <p>ANTECH DESIGN & ENGINEERING GROUP 25 KING ST. SUITE 200 BRANTFORD, ON, N3T 3C4 519.755.9578</p> <p>Andrew Butler - P. ENG. andrew.butler@antechdesign.com</p> <p>ANTECH Design & Engineering Group 25 King St. Suite 200, Brantford, ON, N3T 3C4 www.antechdesign.com</p>	

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drawn : SM

designed :	GDR
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reviewed : KR

date : 2026-03-06

scale : N.T.S.

project :	
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WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing : **PROJECT COVER SHEET**



64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

project no. : 23051	drawing no. : 000	rev. no. : 3
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ABBREVIATIONS			
&	AND	LP	LOW POINT
@	AT	LS	LOCK SET
°	DEGREE	LVP	LUXURY VINYL PLANK
Ø	DIAMETER	LVT	LUXURY VINYL TILE
'	FEET	LW	LIGHTWEIGHT
"	INCHES		
#	NUMBER/POUND	M	METRE/MIRROR
A	ASTRAGAL	MAL	MANHOLE
ABV	ABOVE	MAR	MARBLE
A/C	AIR CONDITIONING	MAP	MECHANICAL ACCESS PANEL
ACB	ARCHITECTURAL CONCRETE BLOCK	MART	MARBLE THRESHOLD
AF	ACCESS FLOORING	MAS	MASONRY
AFB	AUDIO FLOOR BOX	MAT	MINERAL ACOUSTIC TILE
AFF	ABOVE FINISHED FLOOR	MAX	MAXIMUM
ALM	ALARM	MC	MEDICINE CABINET
ALS	ALUMINUM SCREEN	MECH	MECHANICAL
ALUM	ALUMINUM	MEL	MELAMINE
ANOD	ANODIZED	MG	MIRROR GLASS
AVL	AUDIO, VISUAL, LIGHTING	MH	MANHOLE
		MIC	MICROWAVE
		MIN	MINIMUM/MINUTE(S)
BB	BULLETIN BOARD	MIR	MIRROR
BCT	BABY CHANGE TABLE	MISC	MISCELLANEOUS
BF	BARRIER FREE	ML	METAL LINER
BH	BOREHOLE	MM	MILLIMETRE
BLDG	BUILDING	MO	MASONRY OPENING
BLK	BLOCK	MS	MIRROR SLIDER
BLKG	BLOCKING	MT	METAL THRESHOLD
BLW	BELOW	MTL	METAL
BM	BENCHMARK		
BM	BEAM	NA	NOT APPLICABLE
BN	BOLLOUSED	NF	NATURAL FINISH
BOL	BOLLARD	NFB	NON-FREEZE HOSE BIBB
BPS	BALCONY PRIVACY SCREEN	NIC	NOT IN CONTRACT
BRG	BEARING	NRC	NOISE REDUCTION COEFFICIENT
BRK	BRICK	NTS	NOT TO SCALE
BS	BACKSPLASH		
BUR	BUILT-UP ROOFING	O/A	OVERALL
		OBC	ONTARIO BUILDING CODE
C	CARPET	OC	ON CENTRE
CB	CATCH BASIN	O/H	OVERHEAD
CB	CONCRETE BLOCK	CHC	OVERHEAD CLOSER
CBD	CHALKBOARD	OS	OVERHEAD SENSOR
CC	CHAIN CHECK	OSB	ORIENTED STRAND BOARD
CF	CLEAR FLOAT	OTB	OPEN TO BELOW
CH	COAT HOOK	OW/SJ	OPEN WEB STEEL JOISTS
CJP	CAST IN PLACE		
CJ	CONTROL JOINT	P	PAINT
CK	CAULK	PASS	PASSAGE SET
CL	CLEAN	P/B	PARTICLE BOARD
CLG	CEILING	PB	PUSH BUTTON
CM	CONVEX MIRROR	PC	PRECAST CONCRETE
CMB	CEMENT BOARD	PDO	POWER DOOR OPERATOR
CMT	CERAMIC MOSAIC TILE	PER	PERIMETER
CNT	CONCRETE	PERF	PERFORATED
CONC	CONCRETE	PGWG	POLISHED GEORGIAN WIRED GLASS
CONT	CONTINUOUS	PH	PANIC HARDWARE
CP	COMMUNICATION PANEL	PL	PLASTIC
CR	CARD READER / FOB	P/L	PROPERTY LINE
CRS	COURSES	PLAM	PLASTIC LAMINATE
CSMJU	CALCIUM SILICATE MASONRY UNIT	PLAS	PLASTER
CT	CERAMIC TILE	P/P	PUSH / PULL
CTB	CANTILEVERED BEAM	PO	POCKET DOOR
CW	COMPLETE WITH	POSH	POLISHED
CW	CURTAINWALL	PR	PRIMED
CWV	CAVITY WALL VENTS	PREF	PREFINISHED
		PRI	PRIVACY SET
D	DRYER	PTD	PAPER TOWEL DISPENSER
DB	DEADBOLT	PTDD	PAPER TOWEL DISPENSER/DISPOSAL
DC	DOOR COORDINATOR	PVC	POLYVINYL CHLORIDE
DF	DRINKING FOUNTAIN		
DIA	DIAMETER	R	RISER/THERMAL RESISTANCE
DL	DEAD LOAD	RA	RETURN AIR
DS	DOOR STOP	RAD	RADIUS
DS	DOWNSPOUT	RC	RUBBER COVE
DT	DRAINAGE TILE	RCB	RUBBER COVE BASE
DV	DOVE VENT/DOOR VIEWER	RD	ROOF DRAIN
DW	DISHWASHER	RE	RECEPTACLE
DWG	DRAWING	REF	REFRIGERATOR/REFERENCE
		REIN	REINFORCEMENT
		REM	REMOVABLE MULLION
EF	EXHAUST FAN	REQD	REQUIRED
EHS	ELECTRIC HOLD OPEN	RH	ROOF HATCH
EJ	EXPANSION JOINT	RM	ROOM
ELE	ELEVATOR	RO	ROUGH OPENING
ELEC	ELECTRIC	RS	ROUGH SCOURER
ELEV	ELEVATION	RSI	THERMAL RESISTANCE
EM	EXPANDED METAL	RUB	ROUGH STUD OPENING
EP	EPOXY PAINT/ELECTRICAL PANEL	RSO	ROUGH TOP UNIT
EPDM	ETHYLENE PROPYLENE DIENE TERPOLYMER	RUB	RUBBER FLOORING
EQU	EQUAL	RWL	RAINWATER LEADER
EQUIV	EQUIVALENT	S	STOVE
ES	EXPOSED STRUCTURE/ELECTRIC STRIKE	S/A	SUPPLY AIR
EV	EXHAUST VENT	SB	SURFACE BOLT
EX	EXISTING	SC	SOLID CORE
EXT	EXTERIOR	SD	SOAP DISPENSER
		SF	SAFETY FLOORING
FG	FRIDGE	SG	SPANDREL GLASS
FACP	FIRE ALARM CONTROL PANEL	SHV	SHEET VINYL
FAP	FIRE ALARM ANNUNCIATOR PANEL	SHWR	SHOWER
FB	FLUSH BOLT	SI	SIMILAR
FCU	FAN COIL UNIT	SIM	SIMILAR
FD	FLOOR DRAIN	SL	SLOPE
FDC	FIRE DEPARTMENT CONNECTION	SLW	SLAT WALL
FEN	FOUNDATION	SQ	SQUARE METRES
FE	FIRE EXTINGUISHER	SMB	SMARTBOARD
FF	FACTORY FINISH	SND	SANITARY NAPKIN DISPOSAL
FFE	FINISHED FLOOR ELEVATION	SNDSD	SANITARY NAPKIN DIAPOSAL & DISPENSER
FFH	FORCED FLOW HEATER	SNDSDS	SANITARY NAPKIN DISPENSER
FFS	FULL FACE SPLIT BLOCK	SG	SOUND GLASS
FG	FIXED GLASS	SOS	SOUND SEALS
FHC	FIRE HOSE CABINET	SP	SPECIAL PAINT
FHV	FIRE HOSE VALVE	SPR	SPRUCE-PINE-FIR
FIN	FINISHED	SQ	SQUARE
FLR	FLOOR	SR	SHOWER ROD & CURTAIN
FM	FACTORY MUTUAL	SS	STAINLESS STEEL
FP	FOLDING PARTITION	ST	STAIN
FR	FIRE RATED	STC	SOUND TRANSMISSION CLASS
FRC	FIRE RESISTANCE RATING	STL	STEEL
FVV	FIRE HOSE VALVE CABINET	STM	STORM
		STOR	STORAGE
		STRUC	STRUCTURAL
GA	GAUGE	SV	SITE VERIFY
GAGB	GLUE APPLIED GYPSUM BOARD		
GALV	GALVANIZED	TB	TOWEL BAR
GB	GYPSUM BOARD	TBD	TO BE DETERMINED
GBB	GYPSUM BOARD BULKHEAD	TC	TRAFFIC COATING
GC	GENERAL CONTRACTOR	TD	TRENCH DRAIN
GF	GYPSUM BOARD FURRING	TG	TEMPERED GLASS
GL	GLASS	T&G	TONGUE & GROOVE
GLB	GLASS BLOCK	TH	TOWEL HOOK
GRB	GRAB BAR	THK	THICKNESS
GRND	GROUND	TKB	TACKBOARD
GRV	GYPSUM WALL BOARD	TM	TILT MIRROR
		TTO	TOP OF
HB	HOSE BIBB	TOG	TOP OF GRATING
HC	HOLLOW CORE	TOS	TOP OF STEEL
HD	HAND DRYER/HEAVY DUTY	TP	TOILET PARTITION
HDR	HARDENER	TPO	THERMOPLASTIC POLYOLEFIN
HM	HOLLOW METAL	TR	TREAD
HMS	HOLLOW METAL SCREEN	TRR	TEMPERATURE RISE RATE
HO	HOLD OPEN	TS	TEXTURED SPRAY
HORIZ	HORIZONTAL	TT	TOILET TISSUE HOLDER
HP	HIGH POINT	TWO	TO WORK OUT
HR	HOUR/HANDRAIL	TYP	TYPICAL
HS	HAND SINK		
HSKP	HOUSEKEEPING	U	URNAL/THERMAL TRANSMITTANCE
HT	HEIGHT	UC	UNDERCUT
HVAC	HEATING, VENTILATING, AIR CONDITIONING	ULC	UNDERWRITERS LABOR. OF CANADA
HWD	HARDWOOD	UNF	UNFINISHED
HWT	HOT WATER TANK	URS	URNAL SCREEN
		US	UNDERSIDE
ICFS	INSULATED CONCRETE FORMING SYSTEM		
IG	INSULATED GLASS	V	VINYL
IMP	INSULATED METAL PANEL	VAR	VARIES
INSUL	INSULATION	VB	VAPOUR BARRIER
INT	INTERIOR	VC	VINYL COVE
INV	INVERT	VCT	VINYL COMPOSITE TILE
		VERT	VERTICAL
JAN	JANITOR	VF	VINYL FABRIC
JB	JAMB	VG	VISION GLASS
JT	JOINT	VSF	VINYL SHEET FLOORING
KOP	KNOCK OUT PANEL	W	WEATHER STRIPPING
KPK	KICKPLATE	W	WITH
		WD	WASHER & DRYER
L	LOCK	WA	WALLPAPER
LAM	LAMINATE FLOORING	WB	WHITE BOARD
LAT	LATCH SET	WC	WATER CLOSET
LAV	LAVATORY	WD	WOOD
LB	LOAD BEARING	WH	WEEP HOLE
LEV	LOW EMISSION VEHICLE	WM	WASHING MACHINE
LF	LIGHT FIXTURE	WP	WATERPROOFING
LH	LOW HEADROOM	WR	WASHROOM
LL	LIVE LOAD	WWF	WELDED WIRE FABRIC
LND	LANDING		

GENERAL NOTES & SYMBOLS

- 1) - DIMENSIONS SHOWN ARE IN METRIC UNITS OF MEASURE (MM). DIMENSIONS ARE TAKEN TO THE ACTUAL FACE OF ROUGH WALL SURFACE (MASONRY, PRECAST, WOOD STUD, METAL STUD, CONCRETE OR FACE OF ICF'S) GRID LINE DIMENSIONS ARE TO THE CENTRE LINE OF CONCRETE OR STEEL COLUMNS OR MASONRY WALLS UNLESS OTHERWISE NOTED.
- 2) - PROVIDE ACOUSTICAL SEALANT AROUND PERIMETER OF ALL METAL STUD PARTITIONS BEFORE INSTALLATION OF GYPSUM BOARD
- SOUND BATT'S TO BE CREASED TO FIT BETWEEN STUDS BATT'S TO BE 25MM LONGER THAN STUD SPACING (TYP)
- GYPSUM BOARD JOINTS TO BE STAGGERED FROM ONE SIDE TO THE OTHER OF WALL (WHERE POSSIBLE)
- 3) DOOR NUMBER (COORD W/ ROOM NUMBER)
- SCREEN NUMBER D###
- SPECIAL DOOR NUMBER SD##
- WINDOW NUMBER W##
- COUNTER / MILL WORK NUMBER C##
- ASSEMBLY TYPE MARKER (WALL, FLOOR, ROOF, CEILING) ###
- BLACK-OUT WINDOW BLINDS (POWERED) B##
- ROOM NUMBER Name
101

GRID LINES MARKED WITH THIS SYMBOL ARE CENTRE LINE OF STRUCTURAL COLUMNS OR WALLS

GRID LINES MARKED WITH THIS SYMBOL ARE EXTERIOR FACE OF BUILDING

FLOOR OR LEVEL (GEODETIC ELEVATION IN METRES)

0

+000.00

BUILDING ELEVATION

DETAIL ELEVATION

BUILDING SECTION

DETAIL SECTION

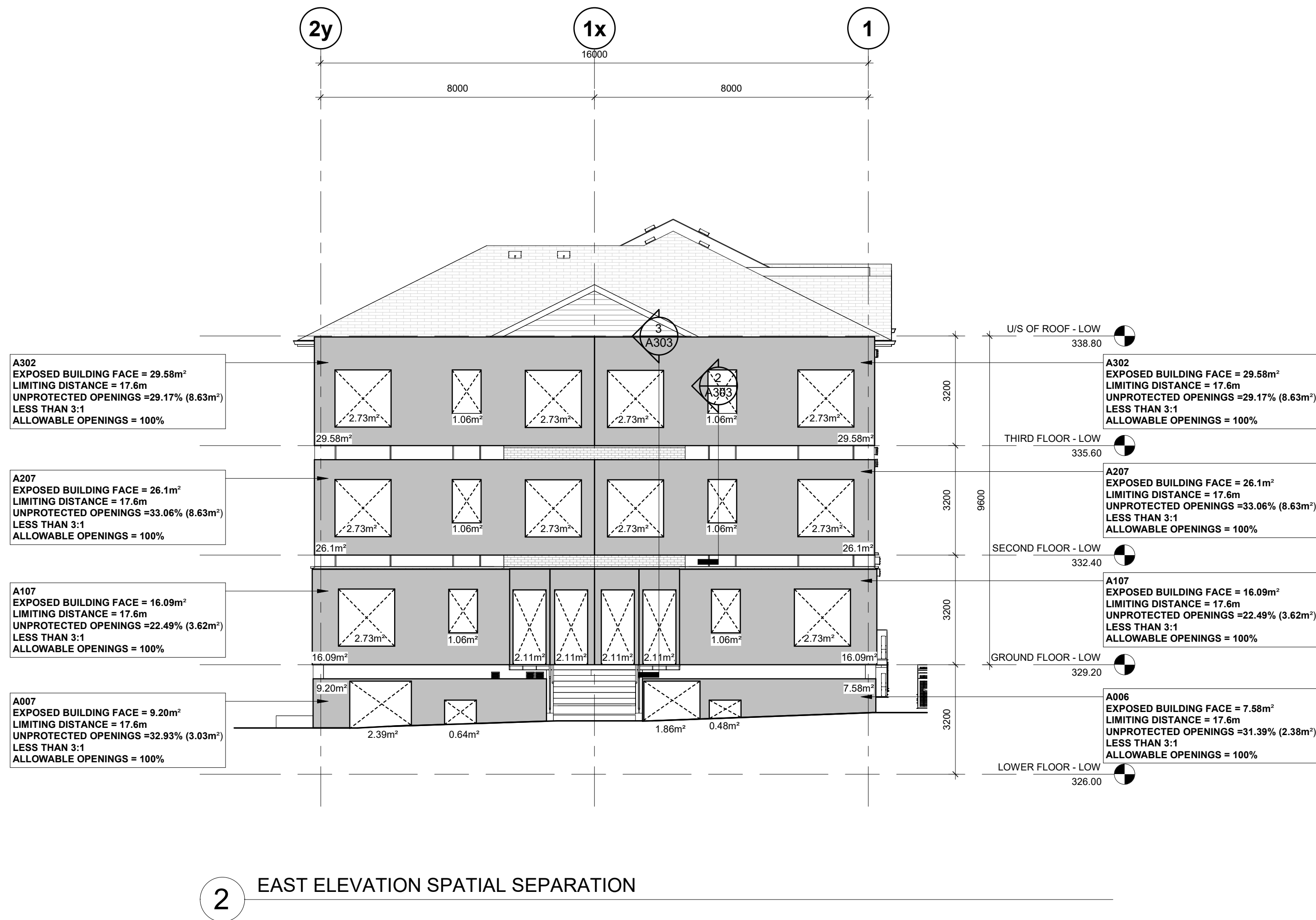
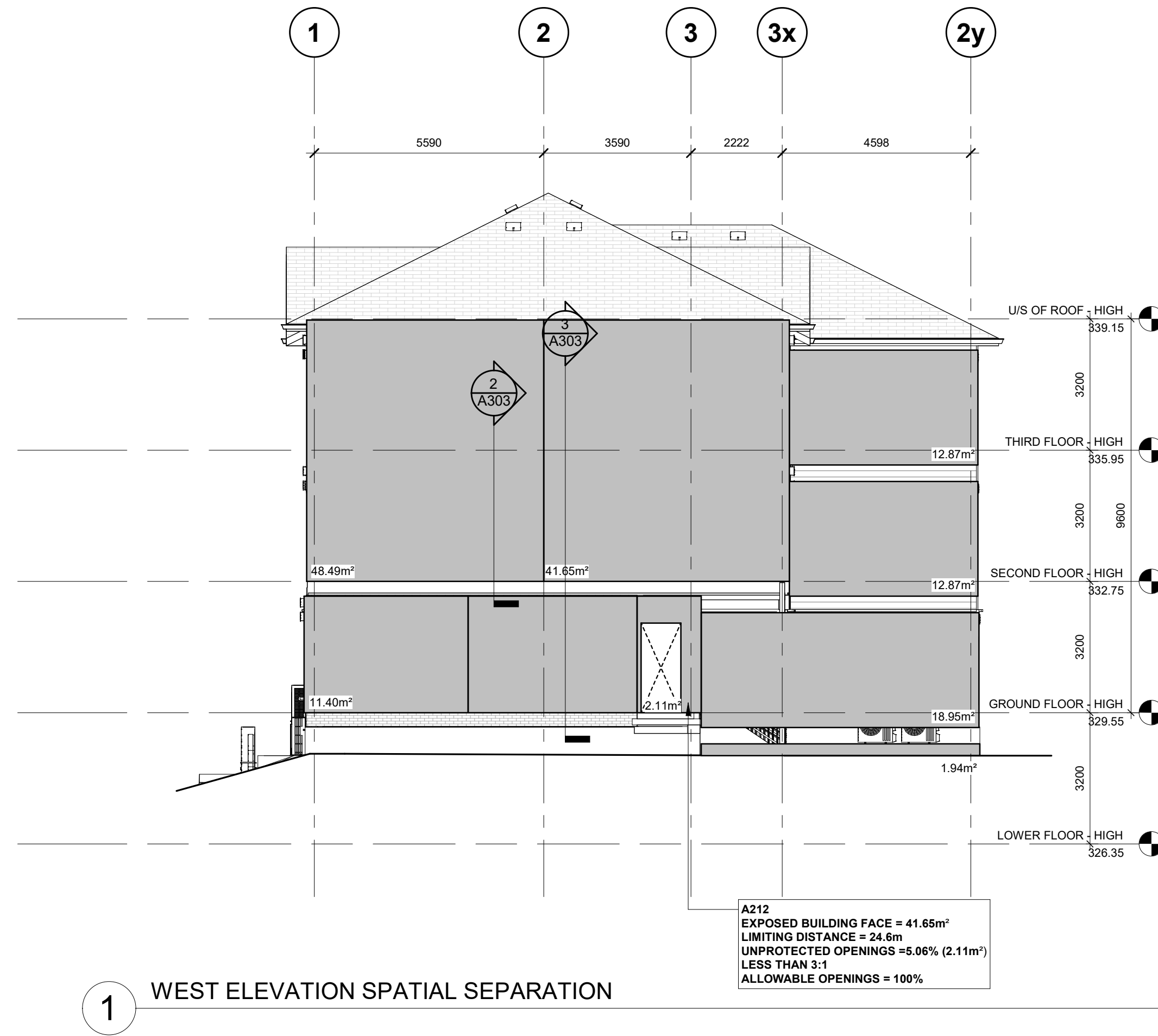
CALLOUT FOR ENLARGED PLAN OR DETAIL

FINISH

UNIT TYPE COUNT					
TYPE	UNIT	# OF UNITS	AREA (SM)	BF	% BF
2 BED	UNIT TYPE A	5	65.5	N/A	
1 BED	UNIT TYPE A-1	5	49.4	N/A	
2 BED	UNIT TYPE A-2	5	80.3	N/A	
2 BED	UNIT TYPE A-3	5	83.6	N/A	
2 BED	UNIT TYPE B	4	84.7	N/A	
1 BED	UNIT TYPE B-1	4	68.9	N/A	
2 BED	UNIT TYPE B-2	4	76.4	N/A	
2 BED	UNIT TYPE B-3	4	89.3	N/A	
2 BED	UNIT TYPE C	5	74.2	N/A	
1 BED	UNIT TYPE C-1	5	58.1	N/A	
2 BED	UNIT TYPE C-2	5	93.4	N/A	
2 BED	UNIT TYPE C-3	5	91.5	N/A	
TOTALS		56	915.3	N/A	

PATTERN LEGEND	
EIFS (EXTERIOR VIEWS)	
HORIZONTAL SIDING (EXTERIOR VIEWS)	
VERTICAL SIDING (EXTERIOR VIEWS)	
STONE CLADDING (EXTERIOR VIEWS)	
CONCRETE - CAST IN PLACE	
CONCRETE - PRECAST	
CONCRETE MASONRY BLOCK	
GYPSUM WALL BOARD	
RIGID INSULATION	
BATT INSULATION	

FIRM NAME: REINDERS + ASSOCIATES LTD. CERTIFICATE OF PRACTICE NUMBER: 6141 BCIN NUMBER: 28113												
64 ONTARIO ST. N. MILTON, ON L9T 2T1 email@reinders.ca CONTACT: KYLE REINDERS, OAA												
NAME OF PROJECT: WINDOM STACKS - BLDG. 'A' LOCATION: 32-42 WINDOM RD, KITCHENER, ON												
Item	Ontario's 2024 Building Code Data Matrix: Part 3 or 9						OBC Reference					
1	Project Description						References are to Division B unless noted [A] for Division A and [C] for Division C.					
	<div><div><input type="checkbox"/> New</div><div><input type="checkbox"/> Addition</div><div><input type="checkbox"/> Change of Use</div><div><input type="checkbox"/> Alteration</div></div>						<div><div><input type="checkbox"/> Part 11</div><div>11.1 to 11.4</div><div><input type="checkbox"/> Part 3</div><div><input checked="" type="checkbox"/> Part 9</div></div> <div>9.10.1.3</div>					
2	Major Occupancy(s) GROUP C						3.1.2.1.(1)					
3	Building Area (m²) Exist 0 m² New 459.54 m² Total 459.54 m²						1.4.1.2.[A] 1.4.1.2.[A]					
4	Gross Area (m²) Exist New Total						1.4.1.2.[A] 1.4.1.2.[A]					
	LOWER FLOOR - 501.27 m² 501.27 m²											
	GROUND FLOOR - 459.54 m² 459.54 m²											
	SECOND FLOOR - 548.16 m² 548.16 m²											
	THIRD FLOOR - 548.16 m² 548.16 m²											
	TOTAL 2,057.13 m² 2,057.13 m²											
5	Number of Storeys Above Grade 3 Below Grade 1						1.4.1.2.[A] & 3.2.1.1. 1.4.1.2.[A] & 9.10.4, 9.10.20.					
6	Number of Streets/Fire Fighter Access 1						3.2.2.10. & 3.2.5.					
7	Building Classification 9.10.2.1. GROUP C - 3.2.2.54						3.2.2.20.-92 9.10.2.					
8	Sprinkler System Proposed						3.2.2.20.-92 9.10.8.2.					
	<div><div><input type="checkbox"/> Entire Building</div><div><input type="checkbox"/> Selected Compartments (new addition only)</div><div><input type="checkbox"/> Selected Floor Areas</div><div><input type="checkbox"/> Basement</div><div><input checked="" type="checkbox"/> Not Required</div></div>						3.2.1.5. INDEX INDEX					
9	Standpipe Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing						3.2.5.8 NA					
10	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing						3.2.4. 9.10.18.2.					
11	Water Service/Supply Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No						3.2.5.7. NA					
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.2.6. NA					
13	Construction Restrictions <input checked="" type="checkbox"/> Combustible Permitted <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Not Required						3.2.2.20.-92. 9.10.6.					
14	Actual Construction Mezzanine(s) Area (m²)						<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both 3.2.1.1.(3)-(7) 9.10.4.1.					
15	Occupant Load Based on DESIGN OF BUILDING						<input type="checkbox"/> m2/person <input type="checkbox"/> Design of Building 28 UNITS - 49 BEDS X 2 = 98 3.1.17. 9.10.1.3. 3.1.17.1.					
16	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)						3.8. 9.5.2.					
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						3.3.1.2. & 3.3.1.21. 9.10.1.3.(4) 9.10.8.					
18	Required Fire Resistance Rating (FRR)						3.2.2.20.-92 3.2.1.4. 9.10.9.					
	Horizontal Assemblies FRR (Hours)						Listed Design No. or Description (SB-2)					
	Floors 45MIN						SB3 F9c					
	Roof NR						NA					
	Mezzanine NA						NA					
	FRR of Supporting Member						Listed Design No. or Description (SB-2)					
	Floors 45MIN						SB3 W13c SB3 W4a					
	Roof NR						NA					
	Mezzanine NA						NA					
19	Spatial Separation - Construction of Exterior Walls - Tables 3.2.3.1.A.-D.						3.2.3. 9.10.14, 9.10.15.					
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted % of Max. Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Building Code Const Required	Comb Const	Comb Const & Non-Comb Cladding	Non-Comb Const
	North											
	South											
	East											
	West											
REFER TO SPATIAL SEPARATION SHEETS												
20	Plumbing Fixture Requirements						OBC Reference					
	Each dwelling unit is proposed to have at least 1 Water closet, a Kitchen sink, a Lavatory, and a bathtub or shower. Each dwelling unit will have its own hot water distribution system						Table	Fixtures Required	Fixtures Provided	<input type="checkbox"/> Part 3 3.7.4, 3.8.2.3.	<input checked="" type="checkbox"/> Part 9 9.31.4.1.	
21	Under - Describe											
	+ FIRE RESISTANCE RATING											
	- ALL LOAD-BEARING WOOD FRAMED WALLS TO HAVE 15.9mm FIRE RATED GYPSUM BOARD ON EXPOSED FACES											
	- EXTERIOR LOAD BEARING WOOD FRAMED WALLS TO HAVE THE FOLLOWING FIRE RESISTANCE RATING											
	- 15.9mm FIRE RATED GYPSUM BOARD (40 MINUTES SB-2 TABLE 2.3.4.A)											
	- WOOD STUDS AT 400mm O.C. (20 MINUTES SB-2 TABLE 2.3.4.E)											
	- ALL WOOD FRAMING A ROOFS TO HAVE THE FOLLOWING FIRE RESISTANCE RATING											
	- 15.9mm FIRE RATED GYPSUM BOARD (40 MINUTES SB-2 TABLE 2.3.4.C)											
	- WOOD TRUSSES OR FRAMING (5 MINUTES SB-2 TABLE 2.3.4.F)											
	- ALL WOOD FRAMING AT FLOORS TO HAVE THE FOLLOWING FIRE RESISTANCE RATING											
	- 15.9mm FIRE RATED GYPSUM BOARD (40 MINUTES SB-2 TABLE 2.3.4.B)											
	- WOOD FRAMING (10 MINUTES SB-2 TABLE 2.3.4.F)											
	- ALL STRUCTURAL STEEL SUPPORTING FRAMING TO BE NON-COMBUSTIBLE AND AS SUCH REQUIRES NO FIRE RESISTANCE RATING											



no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	KR
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drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06

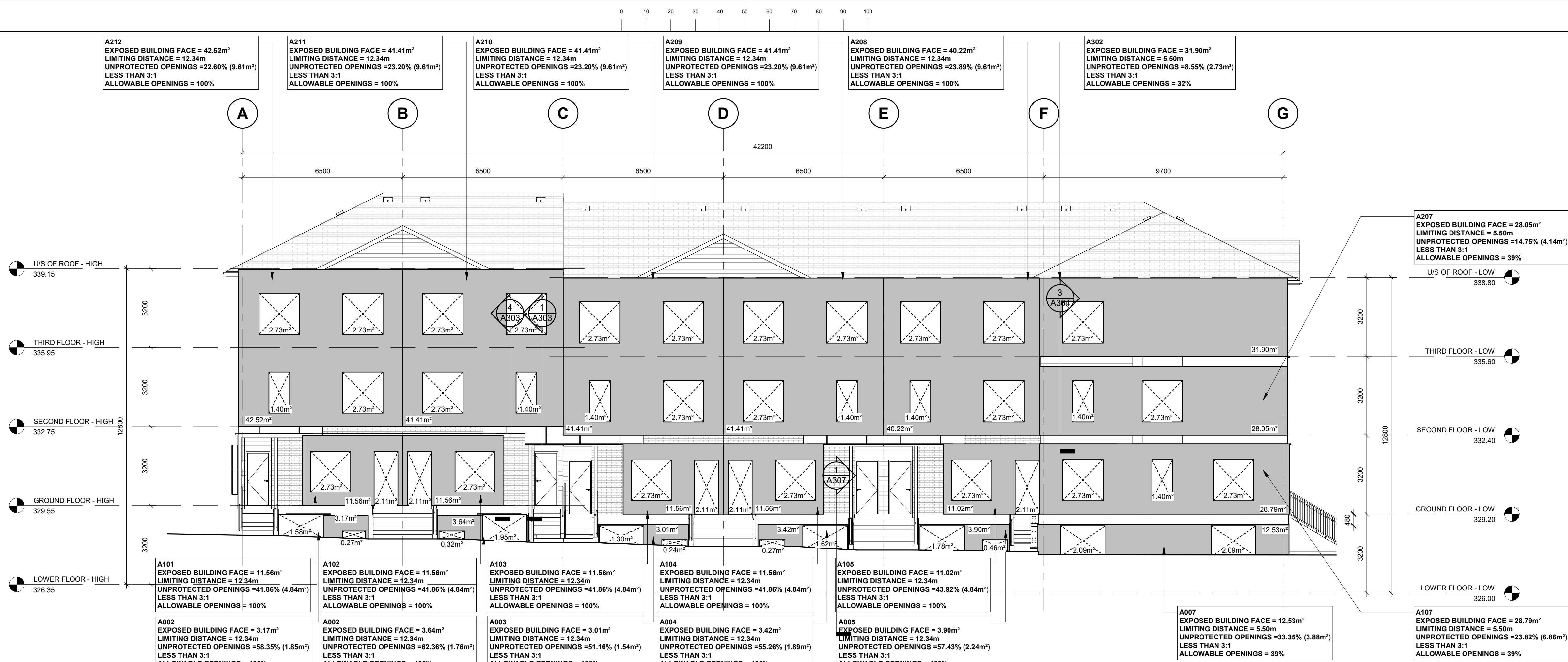
scale : 1 : 100
project :
WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing :
SPATIAL SEPARATION
ELEVATIONS BLDG A

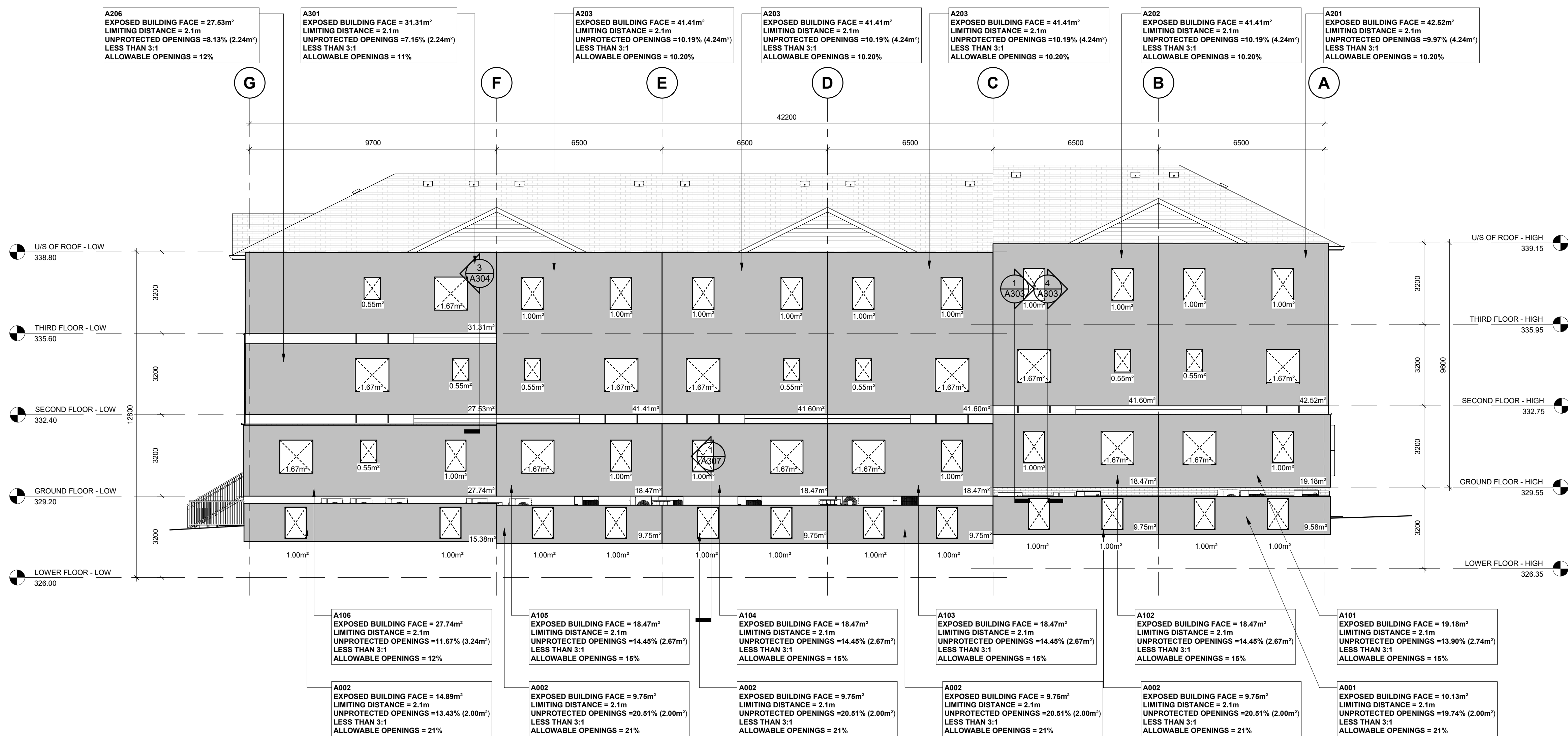


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23051	A002	3



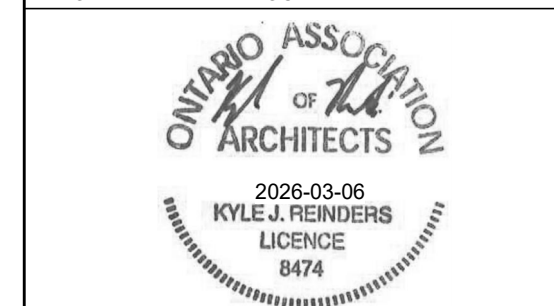
1 SOUTH ELEVATION SPATIAL SEPARATION



2 NORTH ELEVATION SPATIAL SEPARATION

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
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drawn: SM
designed: GDR
reviewed: KR
date: 2026-03-06
scale: 1: 100

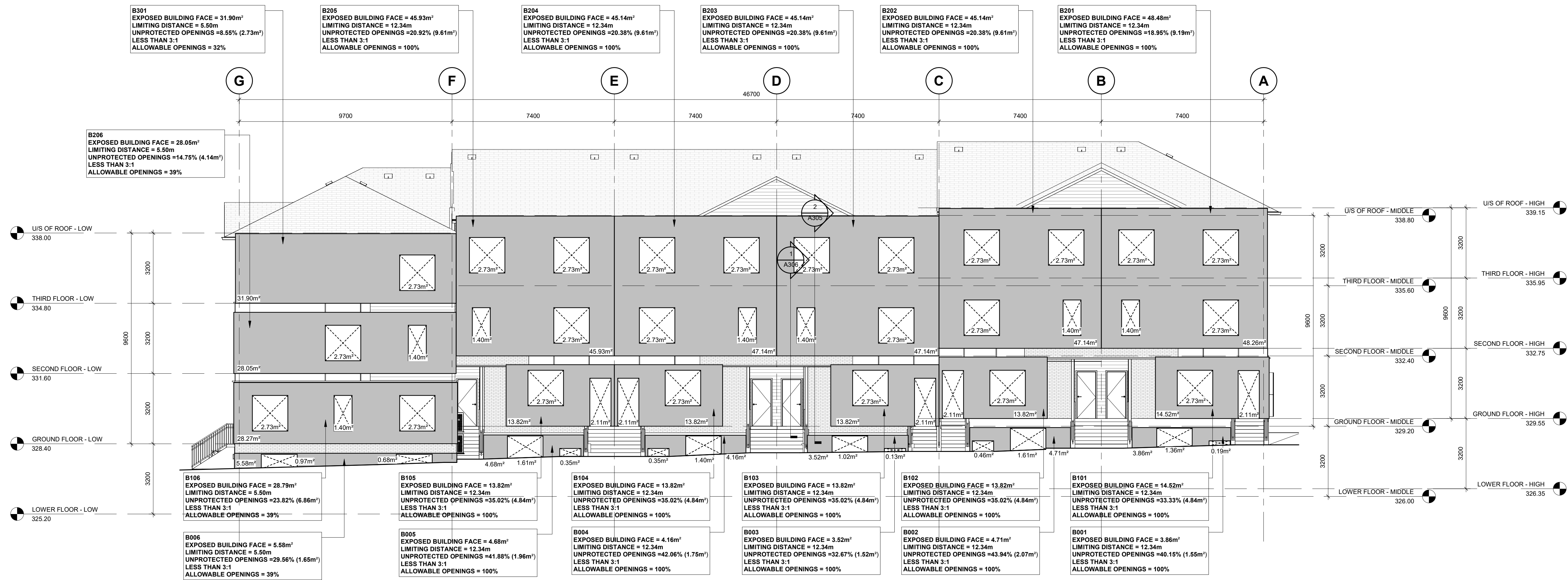
project:
WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing:
SPATIAL SEPARATION
ELEVATIONS BLDG A

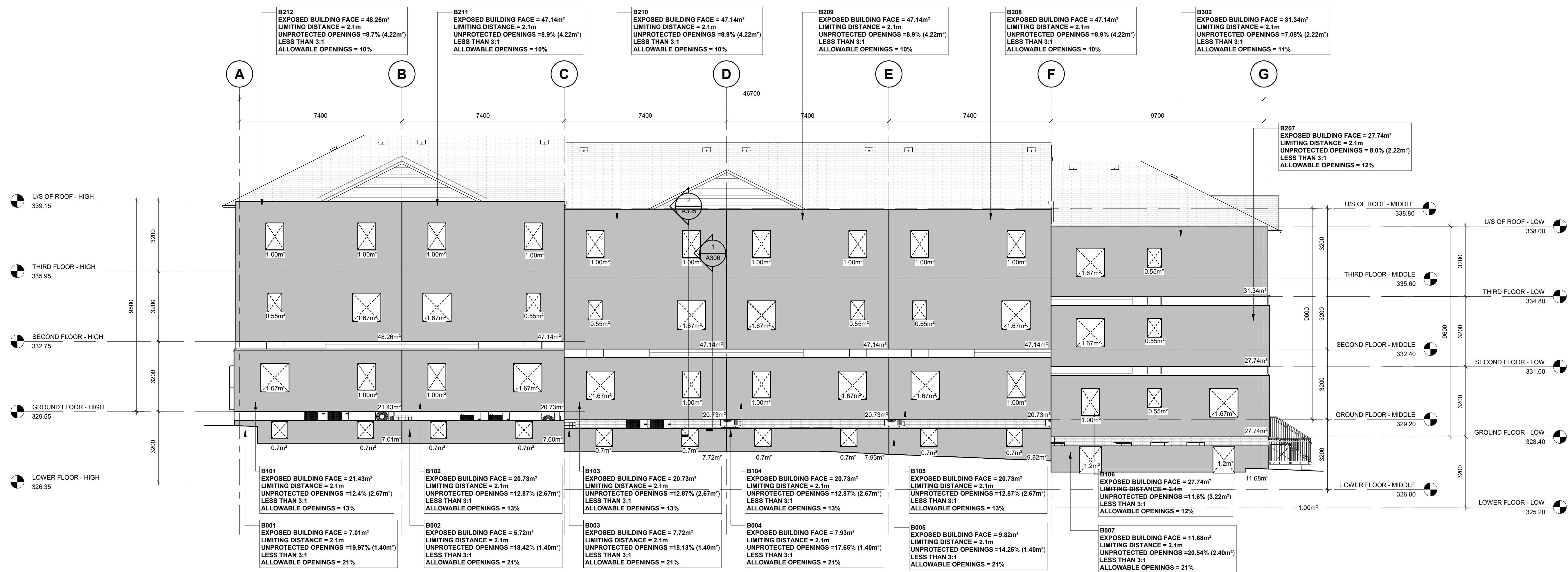


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rev. no.: 3



1 NORTH ELEVATION SPATIAL SEPARATION



2 SOUTH ELEVATION SPATIAL SEPARATION

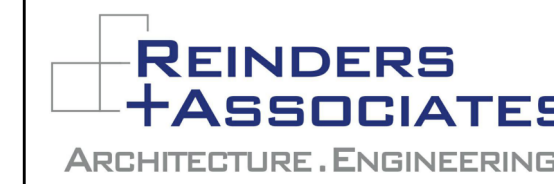
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3	RE-ISSUED FOR PERMIT	2025-03-05	TB
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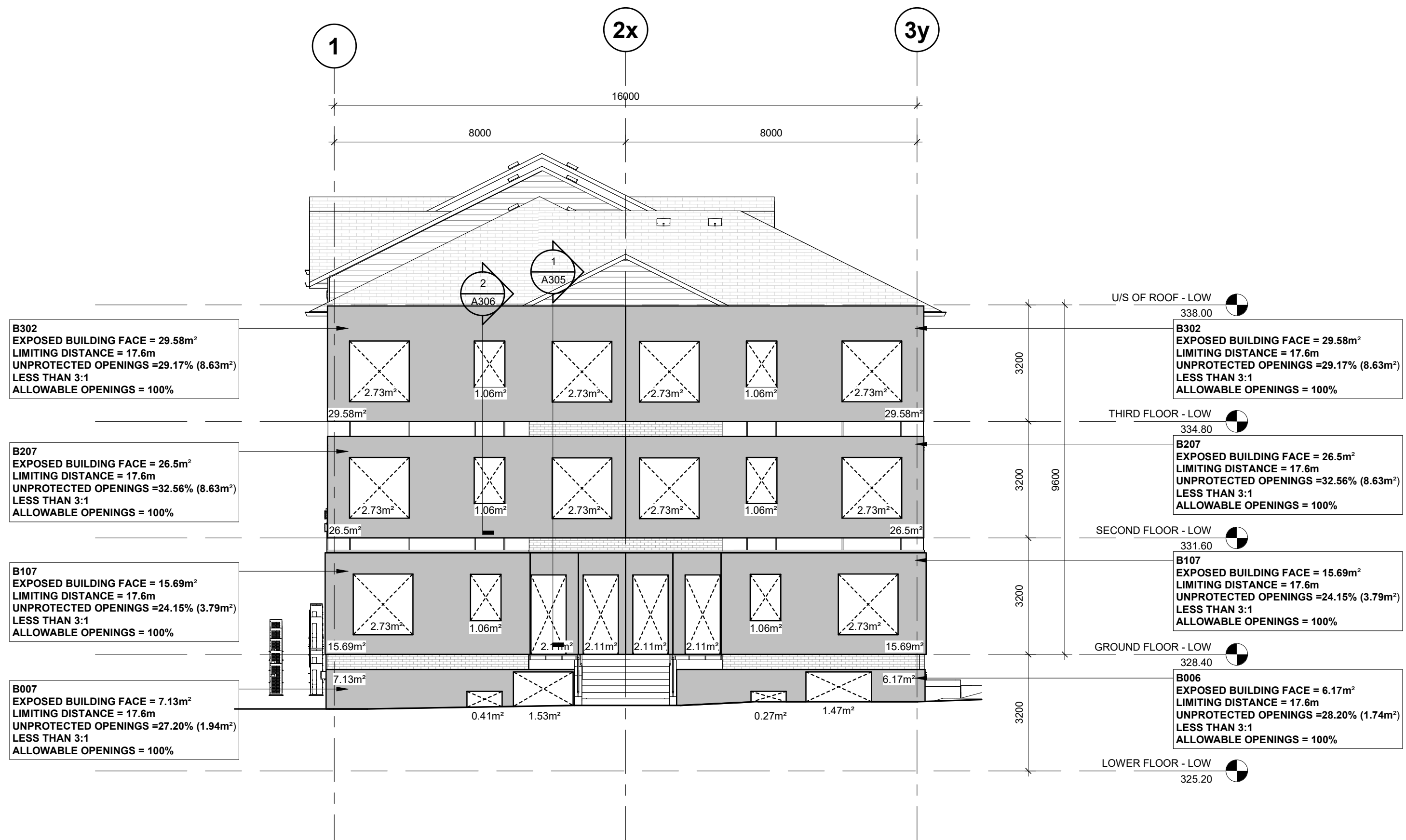
drawn: SM
designed: KR
reviewed: KR
date: 2026-03-06
scale: 1: 100
project: WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing: SPATIAL SEPARATION
ELEVATIONS BLDG B

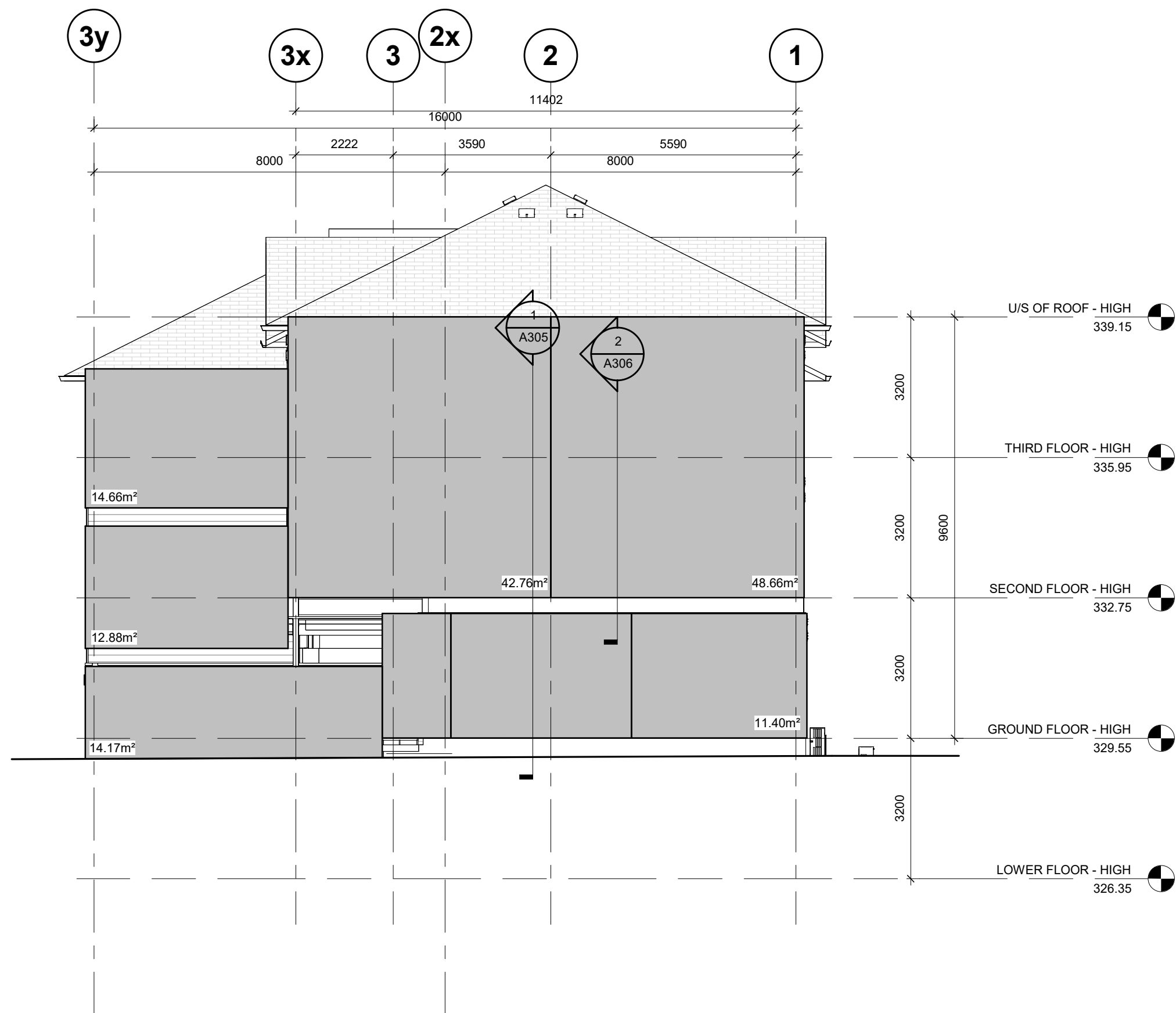


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project no.:	drawing no.:	rev. no.:
23051	A004	3



1 EAST ELEVATION SPATIAL SEPARATION
1 : 100



2 WEST ELEVATION SPATIAL SEPARATION
1 : 100

SHEET SIZE: A1 (594mm x 841.4mm)

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
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reviewed : KR
date : 2026-03-06
scale : 1 : 100

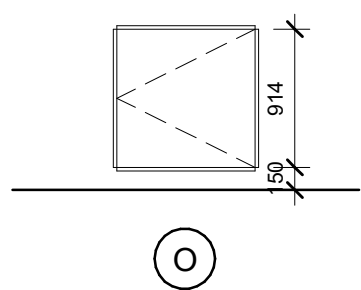
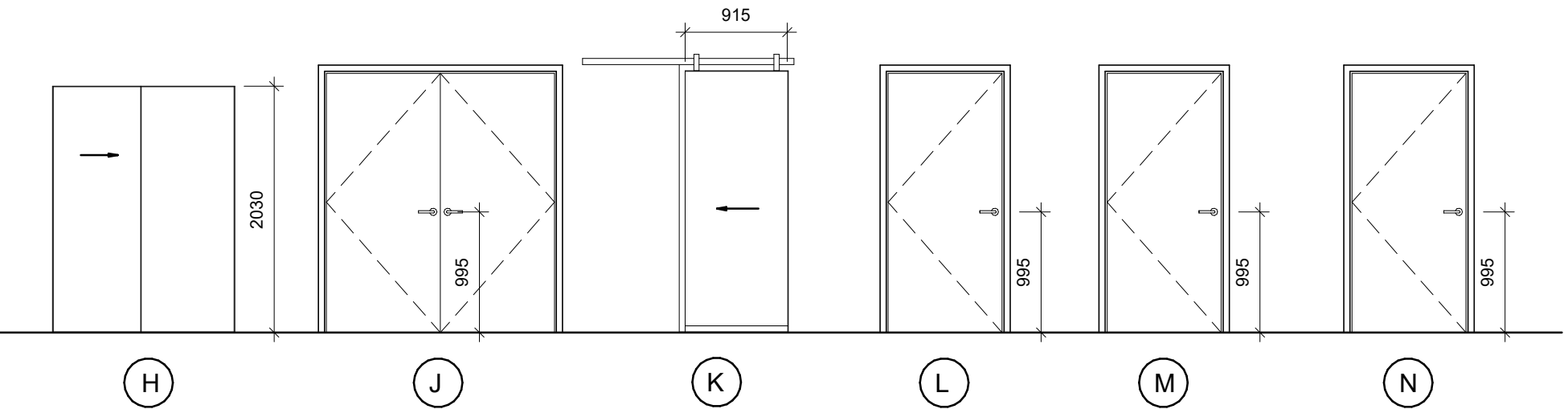
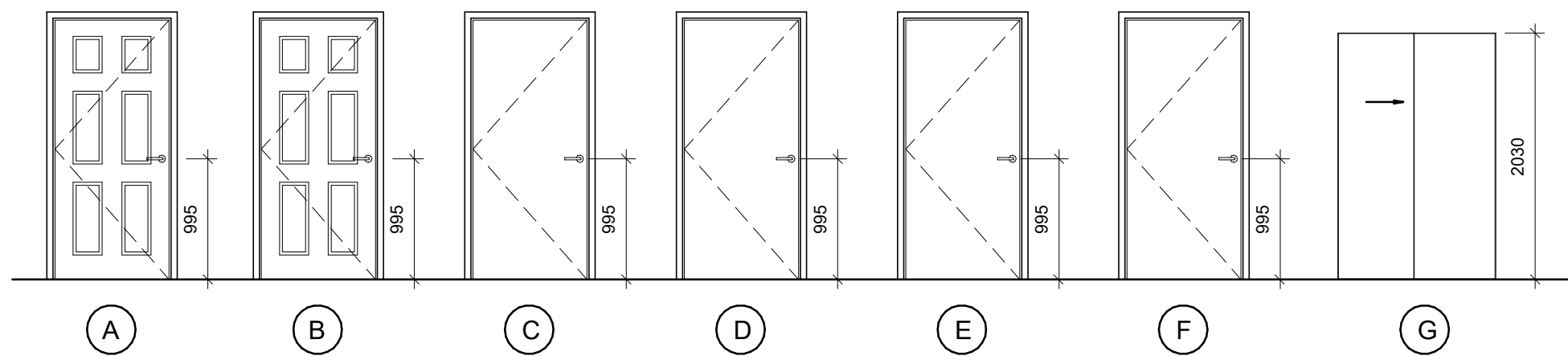
project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
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ELEVATIONS BLDG B



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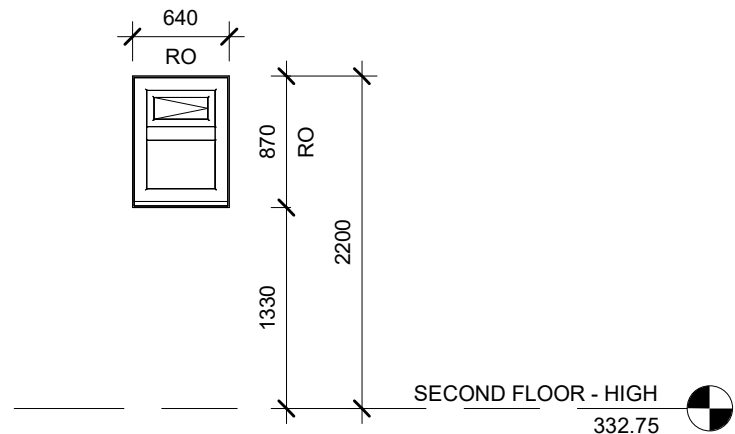
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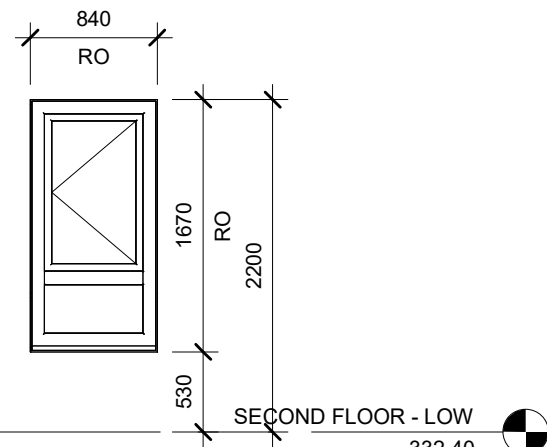
ABBREVIATIONS
AL ALUMINUM
CR CARD READER
DV DOOR VIEWER
EHO ELECTRIC HOLD OPEN
ES ELECTRIC STRIKE
FB FLUSH BOLT
FF FACTORY FINISH
HC HOLLOW CORE
HM HOLLOW METAL
L LOCK
LS LOCKSET
MT METAL THRESHOLD
MS MIRROR SLIDER
OHC OVERHEAD CLOSURE
P PAINT
P/P PASS
P/P PASSAGE SET
PDO POWER DOOR OPERATOR
PH PANIC HARDWARE
PGWG PACIFIC GEORGIAN WIRED GLASS
REM REMOVABLE MULLION
SB SURFACE BOLT
SC SOLID CORE
PRI PRIVACY SET
ST STAIN
TG TEMPERED GLASS
TRR TEMPERATURE RISE RATED
W WEATHERPROOF
WD WOOD
WS WEATHERSTRIP

- DOOR HARDWARE**
1. DOOR OPENING DEVICES SHALL COMPLY WITH OBC 3.8.3.3.(3) - DESIGNED TO BE OPERABLE USING A CLOSED FIST AND BE MOUNTED NOT LESS THAN 900 & NOT MORE THAN 1100 ABOVE FLOOR FINISH.
 2. POWER DOOR OPERATOR CONTROLS TO BE INSTALLED AS PER OBC 3.8.3.3.(17) - DESIGNED HAVING A FACE DIMENSION OF 150 DIAMETER IF CIRCULAR OR 50x50 IF RECTANGULAR. TO BE OPERABLE USING A CLOSED FIST AND LOCATED NOT LESS THAN 900 & NOT MORE THAN 1500 BEYOND THE DOOR SWING WHERE THE DOOR OPENS TOWARD THE CONTROL. BE LOCATED IN A CLEARLY VISIBLE POSITION AND CONTAIN THE SIGN INCORPORATING INTERNATIONAL SYMBOL OF ACCESS.
 3. POWER DOOR OPERATED FIRE DOORS SHALL BE EQUIPPED WITH A RELEASING DEVICE THAT SHALL AUTOMATICALLY DISCONNECT THE POWER OPERATOR AT THE TIME OF FIRE, ALLOWING SELF-CLOSING OR AUTOMATIC DEVICE TO CLOSE THE DOOR REGARDLESS OF POWER FAILURE OR MANUAL OPERATION.
 4. FOR DOOR SIZES NOT SHOWN, REFER TO SCREEN ELEVATIONS.

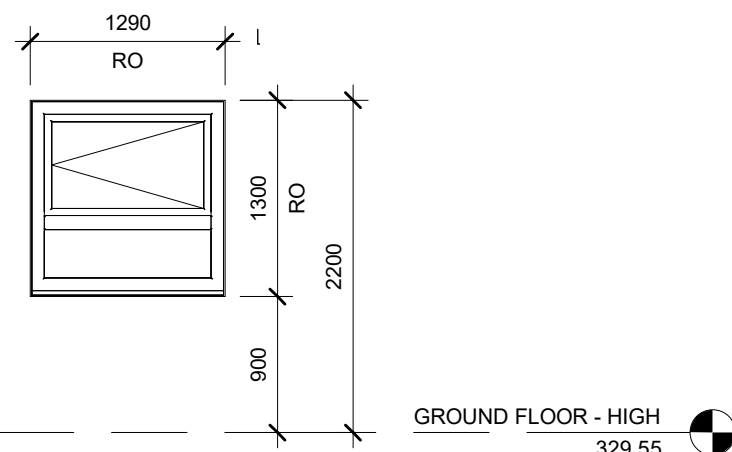
DOOR SCHEDULE													
DOOR				FRAME				FIRE		HARDWARE		COMMENTS	
TYPE	THK	WIDTH	HEIGHT	MAT'L	FIN	GRILLE	GLASS	DEPTH	MAT'L	FIN	RATING		
A	44	865	2032	STL	P-FF	-	-	-	HM	P-FF	45min	OHC, LS, MT, WS, DV	EXTERIOR ENTRY - STEEL INSULATED (DOORTEK)
B	44	865	2032	STL	P-FF	-	-	-	HM	P-FF		LS, MT, WS, DV	EXTERIOR ENTRY - STEEL INSULATED (DOORTEK)
C	38	762	2030	HC	P	-	-	-	WD	P		PASS	BEDROOM
D	38	710	2030	HC	P	-	-	-	WD	P		PRI	BATHROOM
E	38	815	2030	HC	P	-	-	-	WD	P		PASS	WASHER DRYER
F	38	610	2030	HC	P	-	-	-	WD	P		PASS	CLOSET / UTILITY
G	38	1170	2030	HC	P	-	-	-	-	-		-	CLOSET
H	38	1475	2030	HC	P	-	-	-	-	-		-	CLOSET
J	38	1430	2032	HC	P	-	-	-	WD	P		PASS	CLOSET
K	38	711	2030	HM	P	-	-	-	HM	P		LS, MT	DEN
L	42	815	2030	SC	P	-	-	-	WD	P	45min	PASS, OHC	EXTERIOR UTILITY
M	38	914	2030	HM	P	-	-	-	HM	P		LS, MT	MECHANICAL ROOM ENTRY
O	38	914	914	HM	P	-	-	-	HM	P		LS, MT	EXTERIOR UTILITY FROM STAIR LANDING



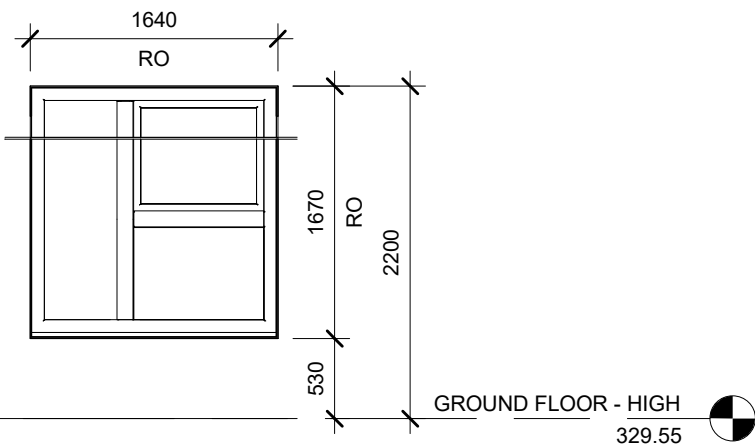
3 W3 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 0.55m²
70% OF AREA = 0.37m²



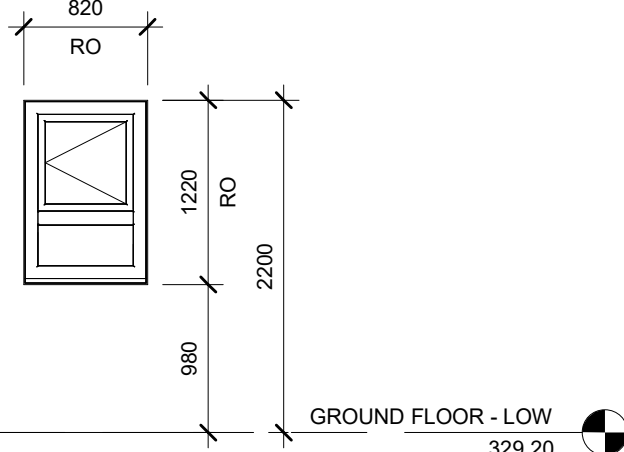
1 W1 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 1.40m²
70% OF AREA = 0.98m²



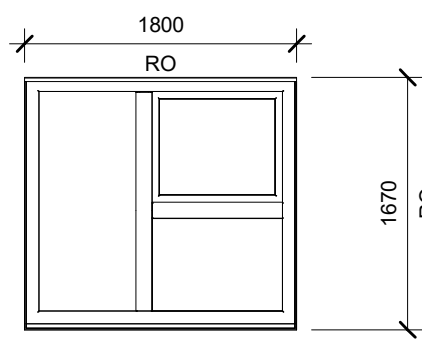
4 W4 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 1.67m²
70% OF AREA = 1.17m²



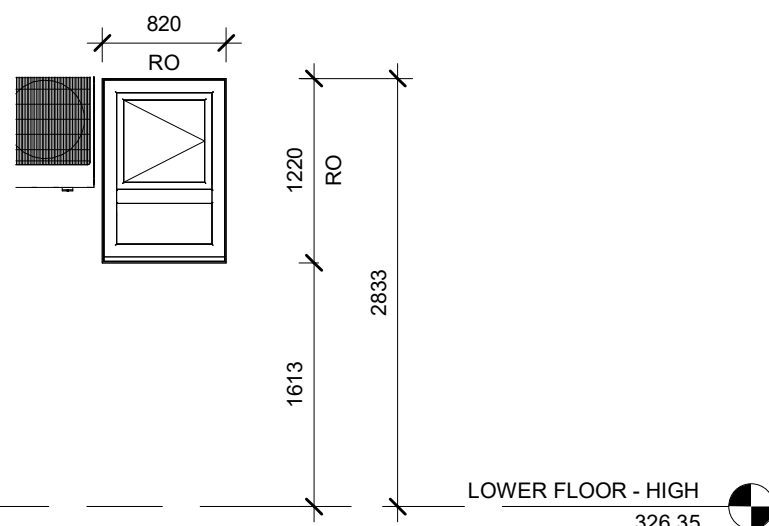
13 W2 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 2.73m²
70% OF AREA = 1.91m²



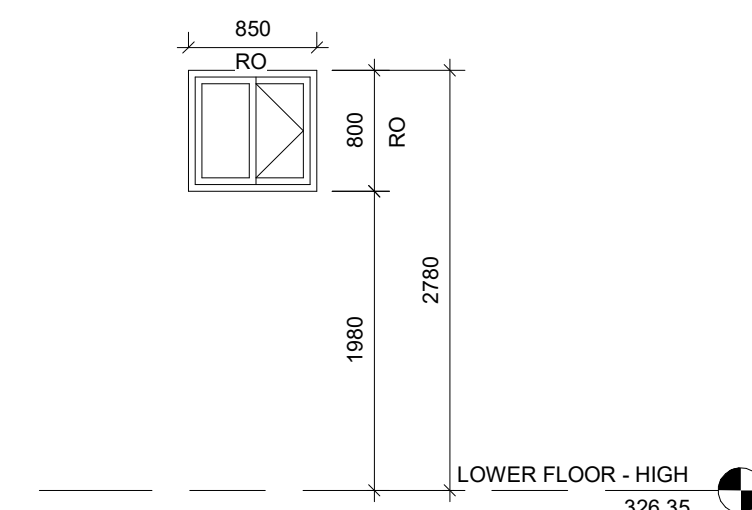
5 W5 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 1.00m²
70% OF AREA = 0.70m²



2 W2a - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 3.00m²
70% OF AREA = 2.10m²



15 W5a - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 1.00m²
70% OF AREA = 0.70m²



16 W6 - WINDOW ELEVATION
1 : 50
TOTAL OPENING AREA = 0.68m²
70% OF AREA = 0.47m²

FLOOR TYPE			
MARK	ASSEMBLY (PLAN VIEW)	ASSEMBLY DESCRIPTION	COMMENTS
SLG		CONC SLAB ON GRADE 10mil POLY VAPOUR BARRIER 50mm R10 RIGID INSULATION FOR FULL SLAB 200mm GRANULAR FILL	
FL1		11mm OSB WAFERBOARD 15.5mm T&G PLYWOOD SUBFLOOR 11 7/8" (302mm) TJI WOOD JOIST NOT MORE THAN 406mm O.C. (REFER TO STRUCT DWGs) MINERAL WOOL BATT INSULATION RESILIENT CHANNEL @406mm O.C. 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 1 HR STC 53 IIC 44 SB3 F10e
FL2		11mm OSB WAFERBOARD 15.5mm T&G PLYWOOD SUBFLOOR 14" (355mm) TJI WOOD JOIST NOT MORE THAN 406mm O.C. (REFER TO STRUCT DWGs) MINERAL WOOL BATT INSULATION RESILIENT CHANNEL @406mm O.C. 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 1 HR STC 53 IIC 44 SB3 F10e
FL3		15.5mm T&G PLYWOOD SUBFLOOR 11 7/8" (302mm) TJI WOOD JOIST NOT MORE THAN 406mm O.C. (REFER TO STRUCT DWGs) RESILIENT CHANNEL @406mm O.C. 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 45MIN Table 2.3.4.b 2.3.4.f
FL4		15.5mm T&G PLYWOOD SUBFLOOR 14" (355mm) TJI WOOD JOIST NOT MORE THAN 406mm O.C. (REFER TO STRUCT DWGs) RESILIENT CHANNEL @406mm O.C. 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 45MIN Table 2.3.4.b 2.3.4.f
FL5		11mm OSB WAFERBOARD ON 15.5mm T&G PLYWOOD SUBFLOOR TJI WOOD JOIST R38 MINERAL WOOL BATT INSULATION RESILIENT CHANNEL @406mm O.C. 15.9mm TYPE X FRR GYPSUM BOARD AIR BARRIER MEMBRANE R3.0 RIGID INSULATION 13mm METAL STRAPPING PREFIN. ALUM SOFFIT	F.R.R. 1 HR SB3 F10e
FL6		62mm CONC 32mm STEEL DECK REFER TO STRUCT DWGs	F.R.R. 1 HR
ST1		SOLID WOOD TREADS WITH INTEGRAL NOSING OVER PLYWOOD SHEATHING PAINTED PLYWOOD SHEATHING RISERS WOOD STRINGERS 15.9mm TYPE X FRR GYPSUM BOARD 64mm MTL STUD @ 610mm O.C. c/w BATT INSULATION 2 LAYERS OF 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 1 HR STC 50 SB3 S2A TYPICAL STAIR SEPARATION BETWEEN UNITS

ROOF TYPE			
MARK	ASSEMBLY (PLAN VIEW)	ASSEMBLY DESCRIPTION	COMMENTS
RT1		ASPHALT SHINGLES #15 FELT PAPER ICE AND WATER SHIELD AROUND PERIMETER 12.5mm PLYWOOD SHEATHING PRE-ENGINEERED WOOD TRUSS FRAMING (REFER TO STRUCT DWGs) R60 BATT INSULATION 6mil POLY VAPOUR BARRIER RESILIENT CHANNEL @408mm O.C. 2 LAYERS OF 15.9mm TYPE X FRR GYPSUM BOARD	45 min FRR ROOF ASSEMBLY 15.9mm FIRE RATED GB (40 min) TABLE - 2.3.4.A SB-2 WOOD TRUSS (5 min) TABLE - 2.3.4.C SB-2

FOUNDATION WALL TYPE			
MARK	ASSEMBLY (PLAN VIEW)	ASSEMBLY DESCRIPTION	COMMENTS
FW1		ASPHALT DAMPPROOFING TO FINISHED GRADE WITH DRAIN LAYER FOUNDATION WRAP 305mm CONCRETE FOUNDATION REFER TO STRUCT DWGS FOR EXTENT OF WALL TO TOP OF FOOTINGS	
FW2		200mm INTERIOR FOUNDATION WALL REFER TO STRUCT DWGS FOR EXTENT OF WALL TO TOP OF FOOTINGS	

EXTERIOR WALL TYPE			
MARK	ASSEMBLY (PLAN VIEW)	ASSEMBLY DESCRIPTION	COMMENTS
WTA		90mm BRICK VENEER 25mm AIR SPACE AIR BARRIER 15.9mm DENGLAS SHEATHING 38x140mm WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCT DWGs) C/W 89 BATT INSUL (RSI 2.3) 6mil POLY VAPOUR BARRIER 15.9mm TYPE X FRR GYPSUM WALL BOARD	
WTB		PREFIN ALUMINUM HORIZONTAL SIDING 25mm WOOD FURRING @400mm O.C. AIR BARRIER 15.9mm DENGLAS SHEATHING 38x140mm WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCT DWGs) C/W 89 BATT INSUL (RSI 2.3) 6mil POLY VAPOUR BARRIER 15.9mm TYPE X FRR GYPSUM WALL BOARD	
WTC		76mm NON-COMBUSTABLE EXTERIOR INSULATION FINISH SYSTEM (RSI 1.8ci) AIR BARRIER 15.9mm DENGLAS SHEATHING 38x140mm WOOD STUD FRAMING @ 400mm O.C. (REFER TO STRUCT DWGs) C/W 89 BATT INSUL (RSI 2.3) 6mil POLY VAPOUR BARRIER 15.9mm TYPE X FRR GYPSUM WALL BOARD	DuROCK PUCCS NC NON-COMBUSTABLE CLADDING EXTERIOR INSULATION FINISH SYSTEM WILL BE USED

INTERIOR WALL TYPE			
MARK	ASSEMBLY (PLAN VIEW)	ASSEMBLY DESCRIPTION	COMMENTS
WT1		12.7mm GYPSUM WALL BOARD 38x89mm WOOD STUD FRAMING @ 400mm O.C. 12.7mm GYPSUM WALL BOARD	
WT2		12.7mm GYPSUM WALL BOARD 6 mil POLY VAPOUR BARRIER OVERLAPPED AND SEALED 38x89mm WOOD STUD FRAMING @ 400mm O.C. SPRAY FOAM INSULATION 25mm AIR SPACE	
WT3		12.7mm GYPSUM WALL BOARD 38x89mm WOOD STUD PLATE FRAMING @ 400mm O.C.	
WT4		12.7mm GYPSUM WALL BOARD 38x140mm WOOD STUD FRAMING @ 400mm O.C. 12.7mm GYPSUM WALL BOARD	
WT5		12.7mm GYPSUM WALL BOARD 38x140mm WOOD STUD FRAMING @ 400mm O.C.	
WT6		15.9mm TYPE X FRR GYPSUM BOARD 38x89mm WOOD STUD FRAMING @ 400 O.C. c/w BATT INSULATION 12mm RESILIENT CHANNEL 2 LAYERS OF 15.9mm TYPE X FRR GYPSUM BOARD	F.R.R. 1H STC 51 SB3 W4a
WT7		15.9mm TYPE X FRR GYPSUM WALL BOARD 38x89mm WOOD STUD FRAMING @ 400mm O.C. BATT INSULATION ON BOTH SIDES 25mm AIR SPACE 38x89mm WOOD STUD FRAMING @ 400mm O.C. 15.9mm TYPE X FRR GYPSUM WALL BOARD	F.R.R. 1H STC 57 SB3 W13a
WT8		15.9mm TYPE X FRR GYPSUM WALL BOARD 38x140mm WOOD STUD FRAMING @ 400mm O.C. BATT INSULATION ON BOTH SIDES 25mm AIR SPACE 38x140mm WOOD STUD FRAMING @ 400mm O.C. 15.9mm TYPE X FRR GYPSUM WALL BOARD	F.R.R. 1H STC 57 SB3 W13a

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1	RE-ISSUED FOR PERMIT	2025-10-08	TB
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drawn : TB
designed : GDR
reviewed : KR
date : 2026-03-06

scale : N.T.S.

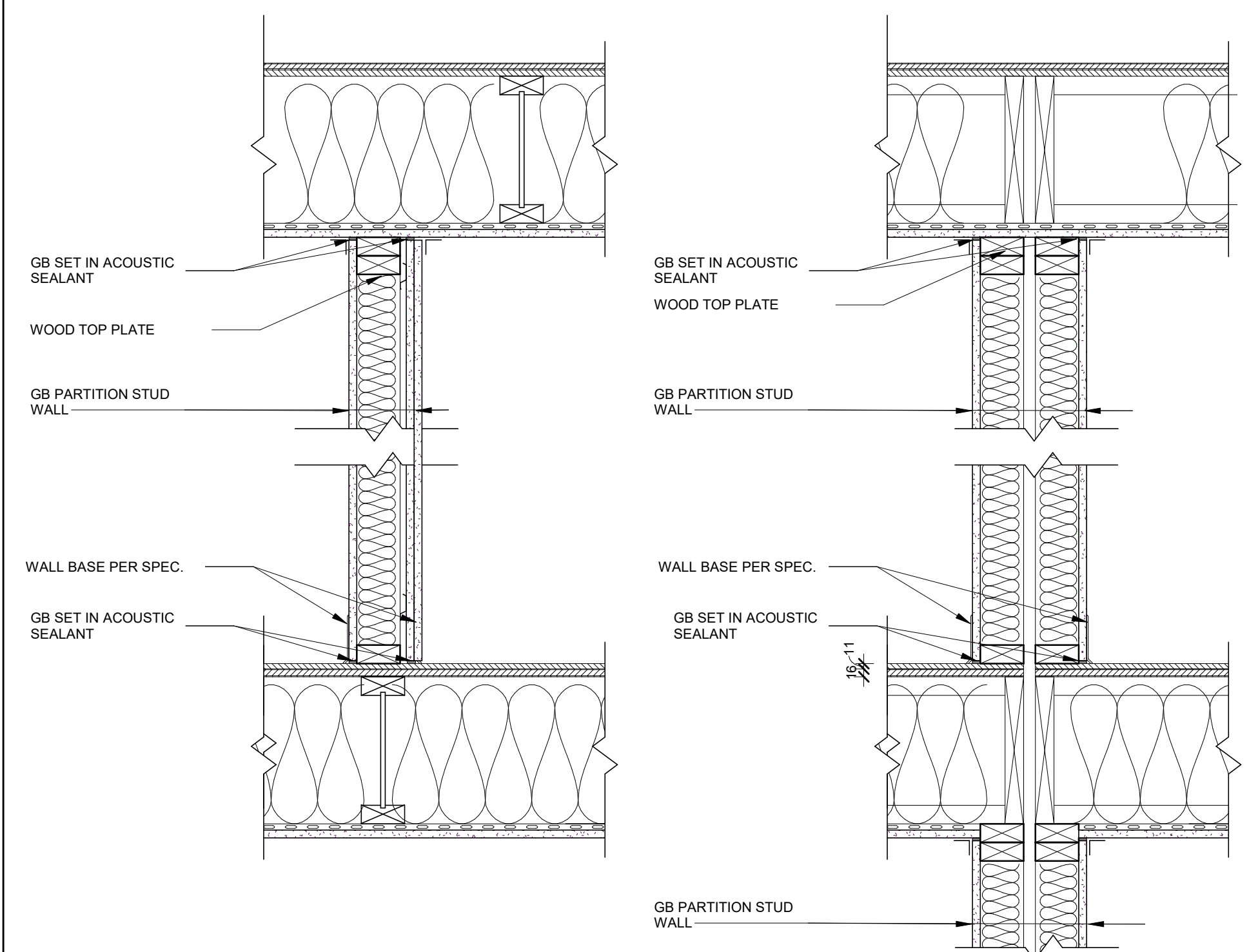
project :
WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing :
ASSEMBLY TYPES, ROOM,
DOOR & WINDOW
SCHEDULES

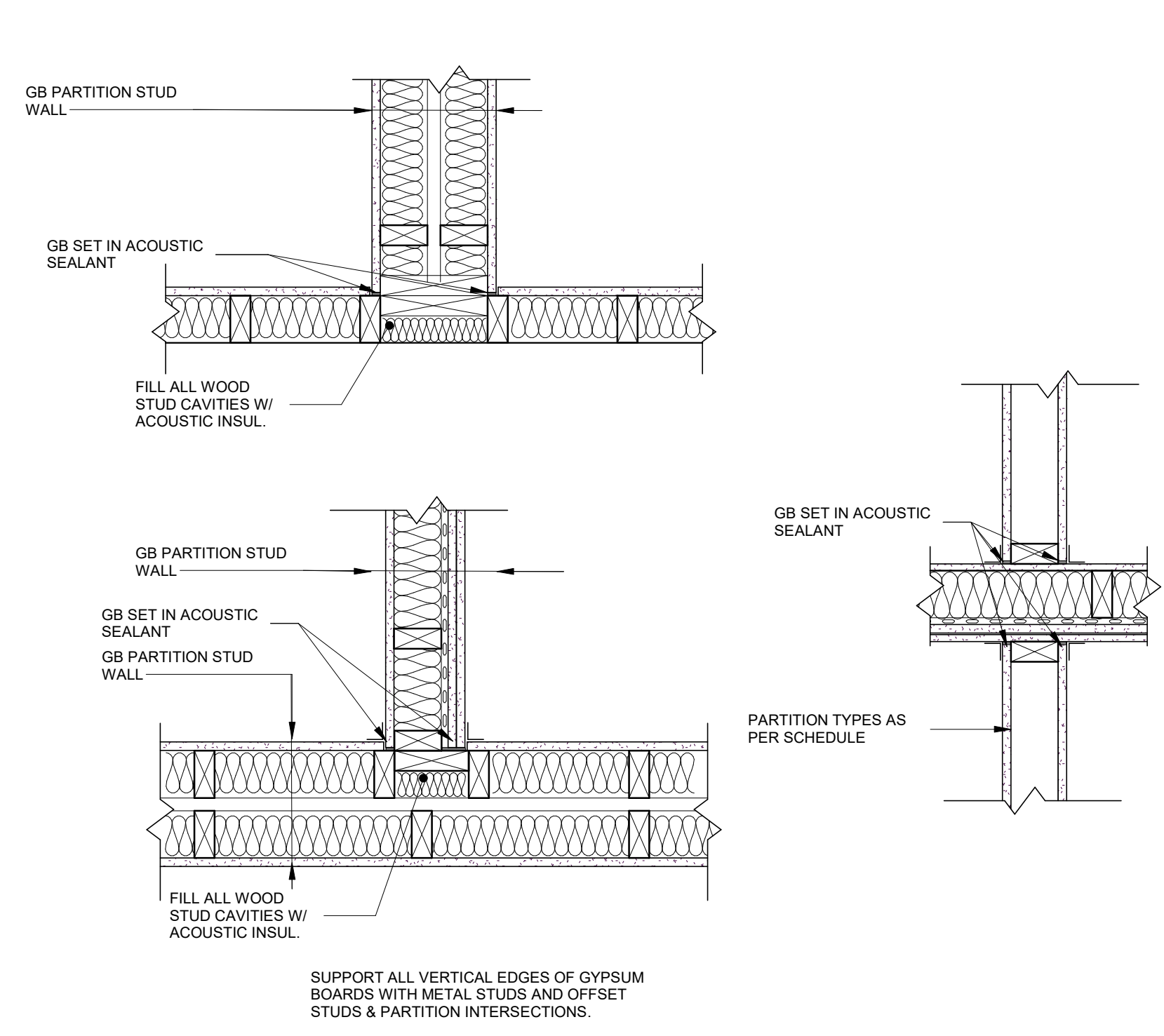
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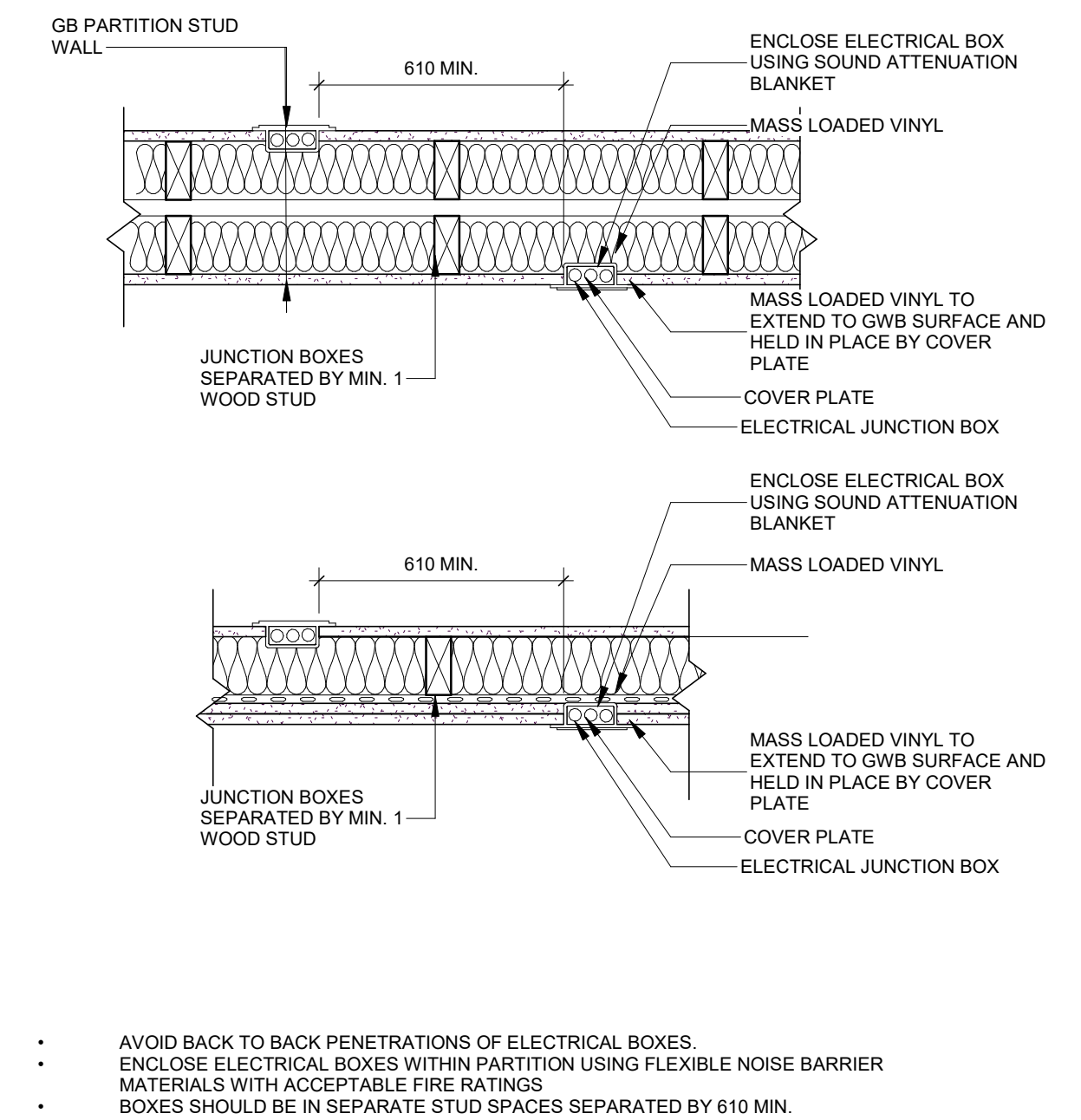
project no. :	drawing no. :	rev. no. :
23051	A007	3



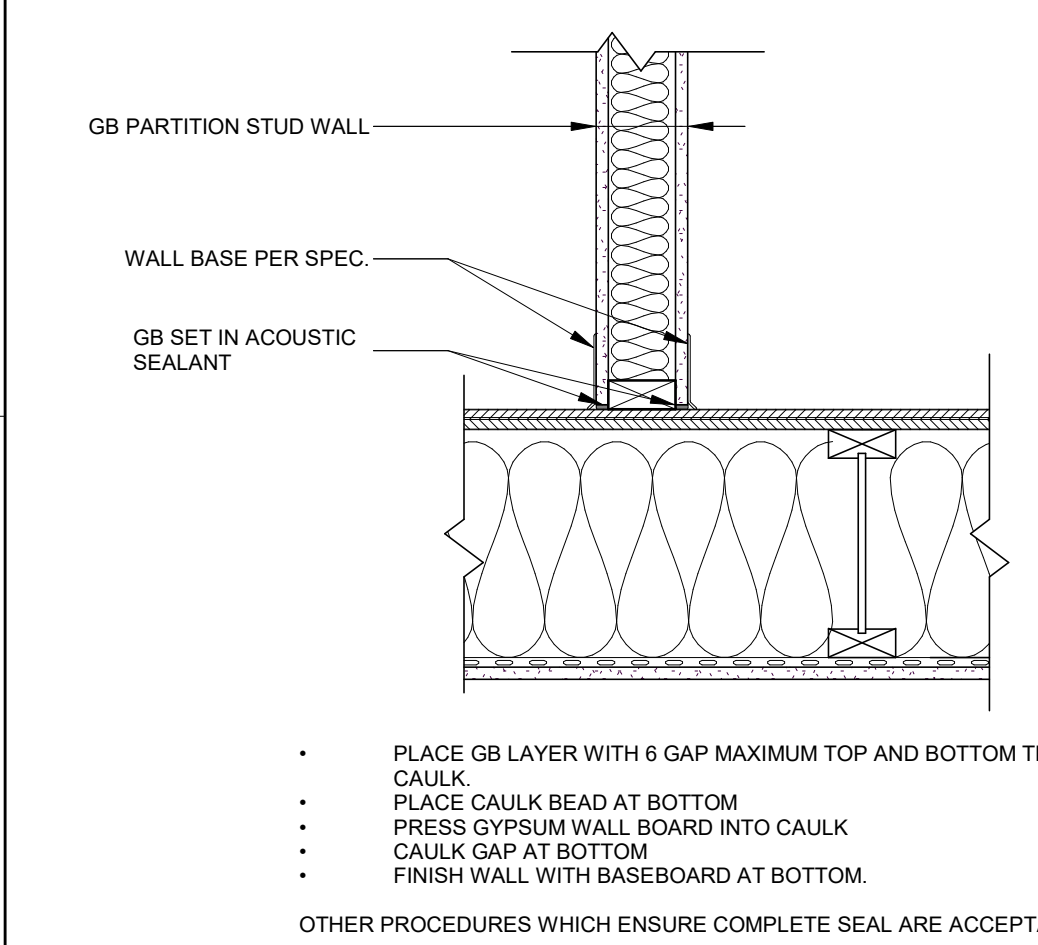
SECTION @ GB WALL TO FLOOR



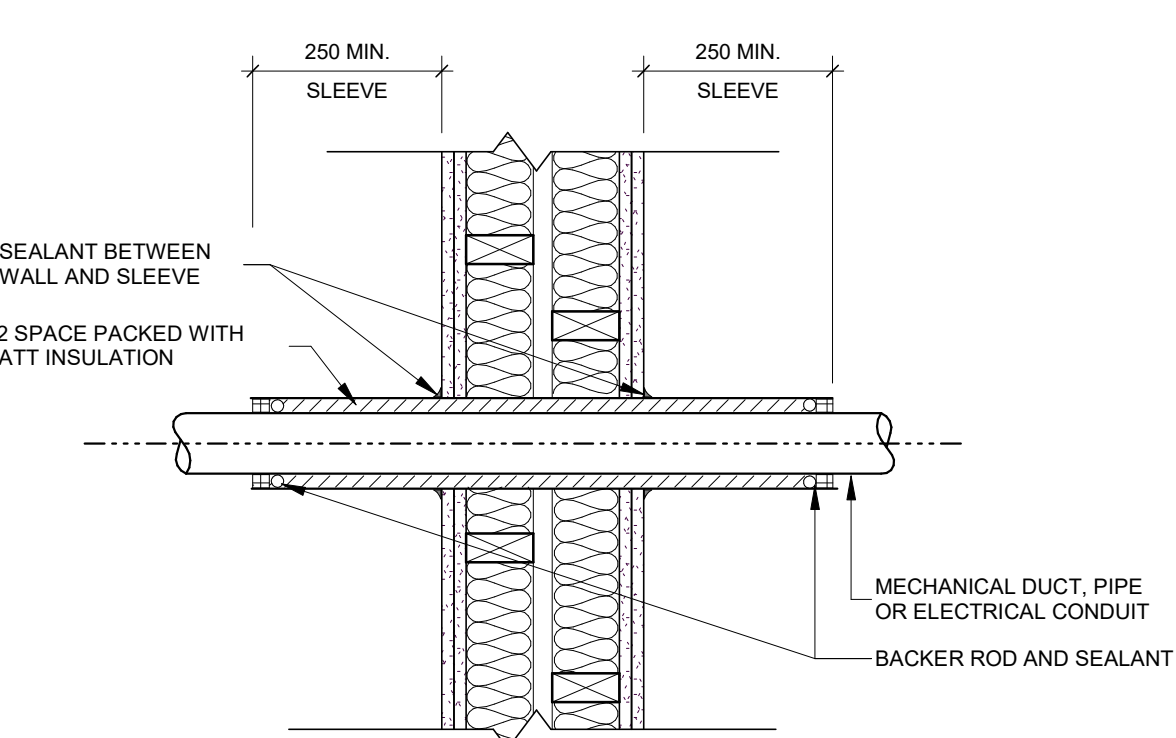
TYPICAL PARTITION INTERSECTION DETAILS



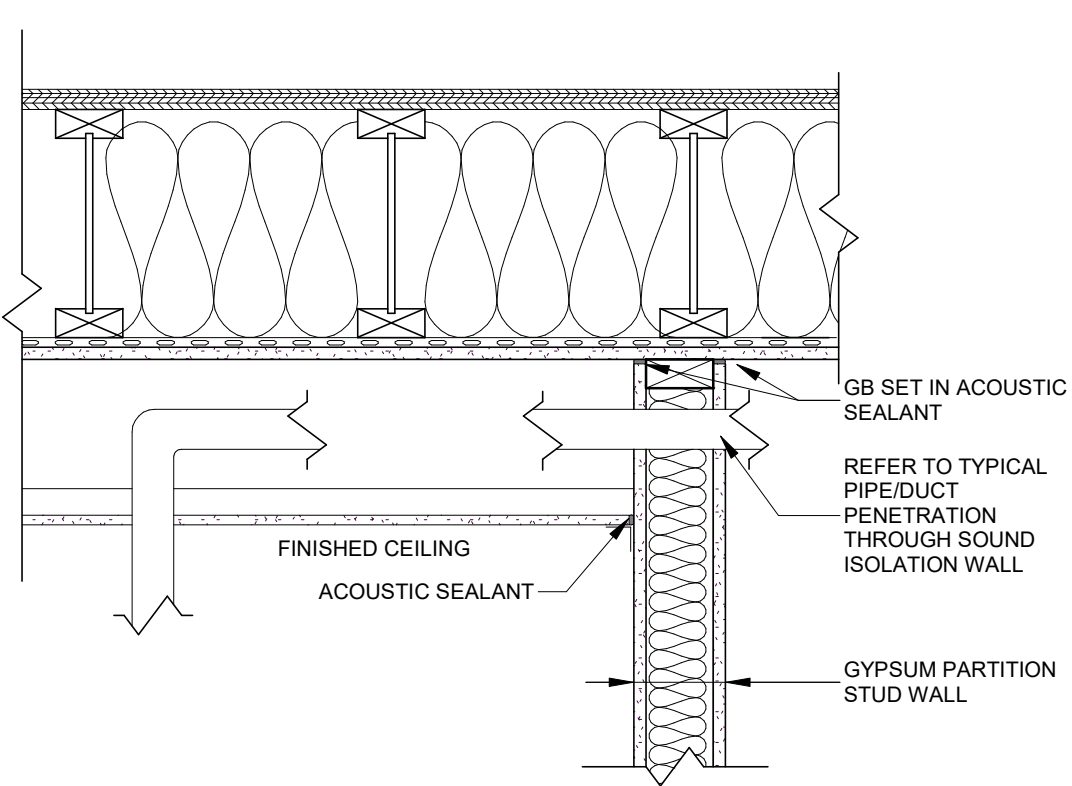
TYP. ELECTRICAL BOX PENETRATION FOR FOR NOISE CONTROL



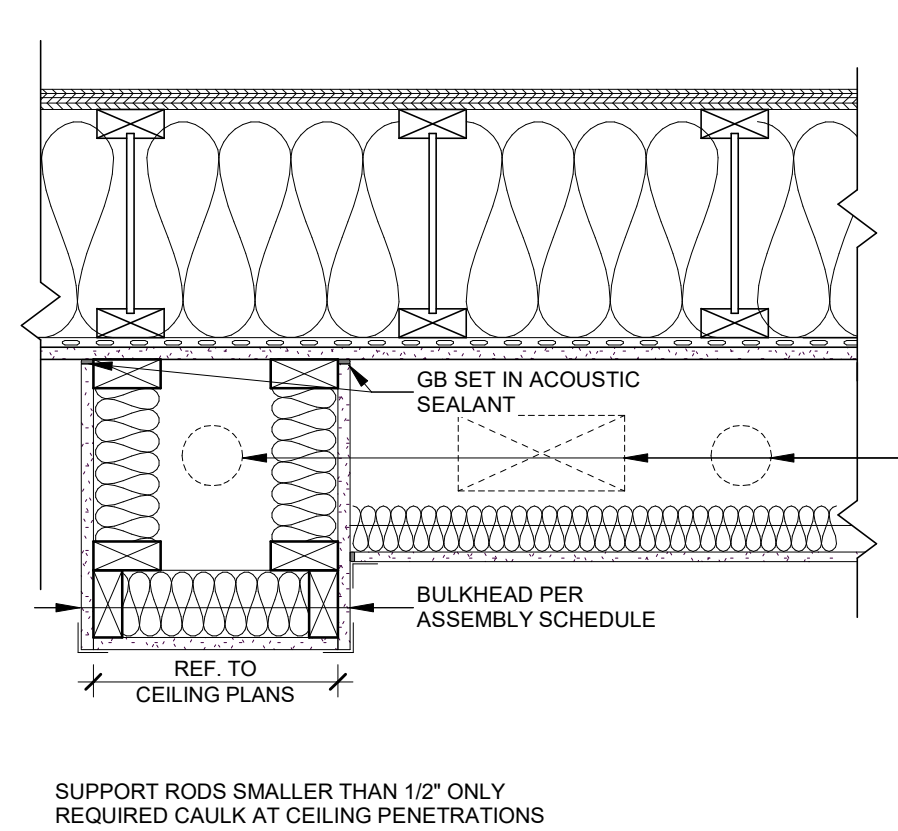
TYP. ACOUSTIC CAULKING APPLICATION AT BASE OF SOUND ISOLATION WALL



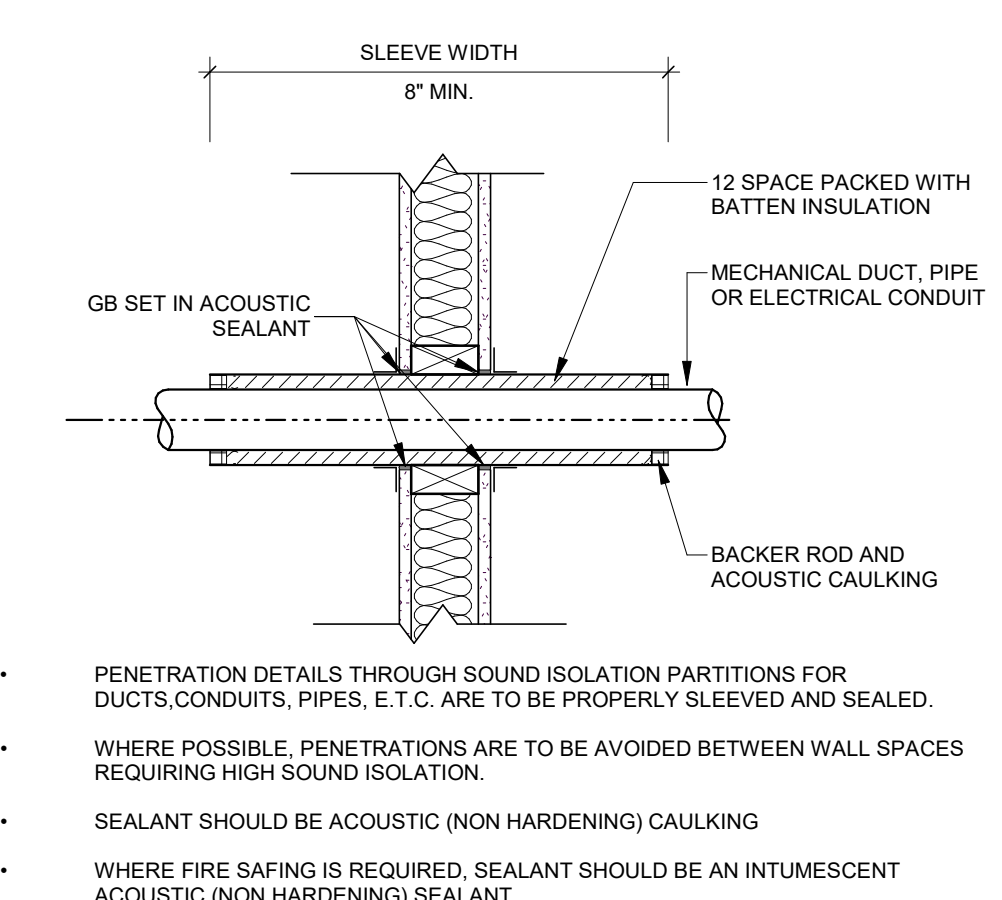
TYPICAL PIPE/DUCT PENETRATION THROUGH DOUBLE SOUND ISOLATION WALL



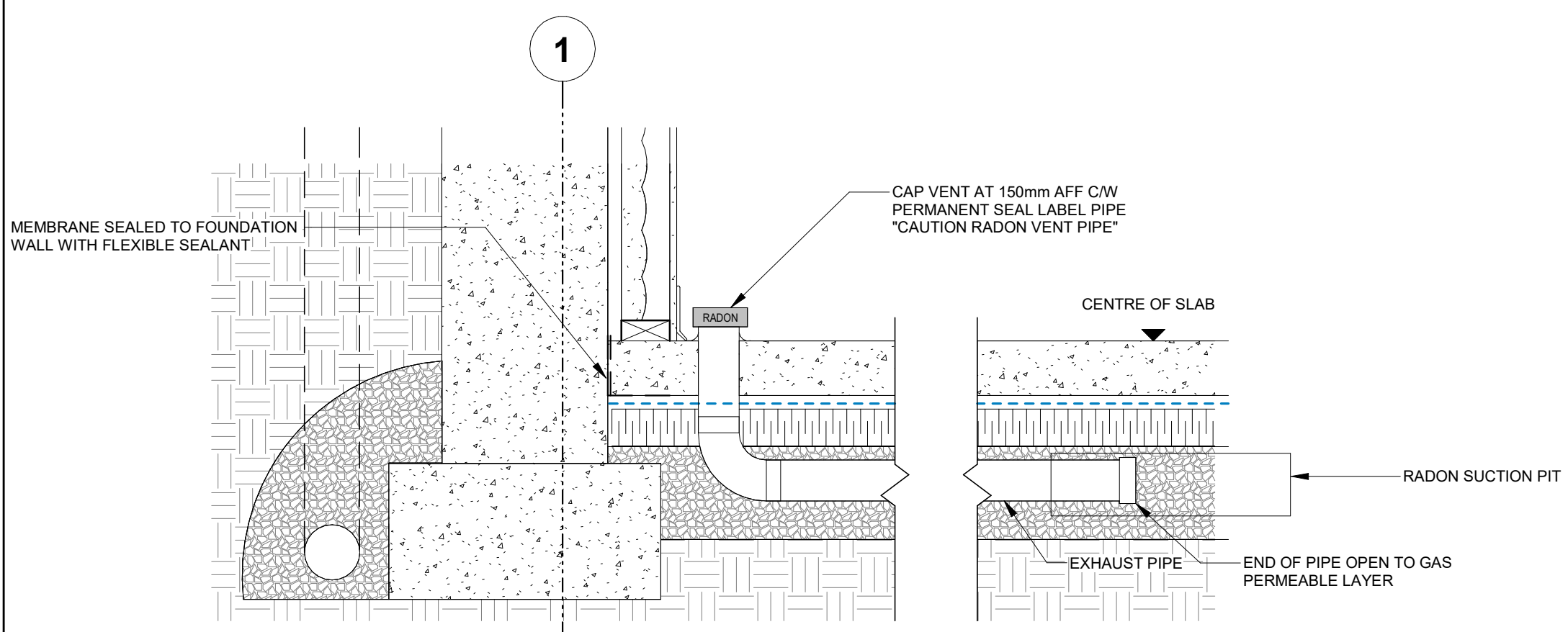
TYPICAL SOUND ISOLATION CEILING DETAIL



TYPICAL SOUND ISOLATION CEILING DETAIL AT BULKHEADS

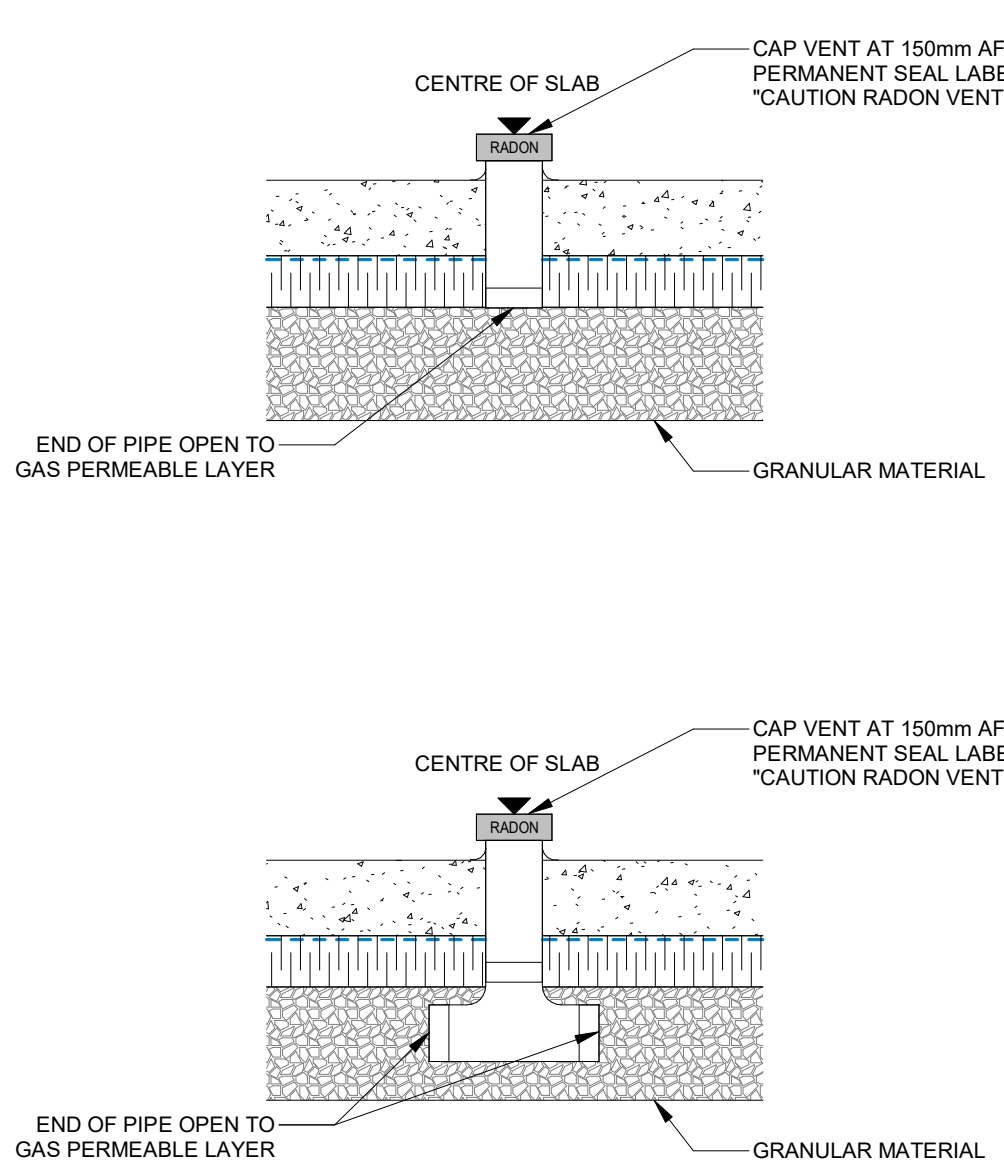


TYPICAL PIPE/DUCT PENETRATION THROUGH SOUND ISOLATION WALL



RADON ASD SYSTEM (PROVIDE 1 DEPRESSURIZATION SYSTEM IN EVERY LOWER LEVEL DWELLING UNIT)

- RADON MITIGATION NOTES**
- CLEAN LAYER OF COARSE AGGREGATE UNDER SLAB
 - RADON SUCTION PIT BELOW SLAB
 - INSTALL 150mm Ø RADON VENT STACK FROM SUCTION PIT UNDER SLAB TO ROOF
 - 150mm Ø RADON VENT STACK TO BE PVC
 - SEAL ALL FLOOR & WALL PENETRATIONS WITH POLYURETHANE CAULKING
 - PROVIDE APPROPRIATE FIRE STOPPING AS REQUIRED
 - LABEL VENT STACK WITH "RADON VENT PIPE", TO CLEAR IDENTIFY VENT PIPE
 - TERMINE VENT PIPE 915mm ABOVE ROOF
 - SLOPE HORIZONTAL SECTION AT 1% SLOPE
 - SEAL ALL JOINTS
 - DO NOT PLACE AIR INTAKES WITHIN 25' OF RADON VENT PIPE DISCHARGE



RADON MITIGATION NOTES

no.	revisions	date	int.
2	RE-ISSUED FOR PERMIT	2025-03-05	TB
1	ISSUED FOR TENDER	2025-12-23	RG
0	RE-ISSUED FOR PERMIT	2025-10-08	TB

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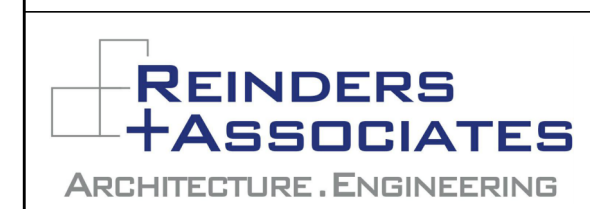
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drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : NTS

project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
FLANKING SOUND DETAILS

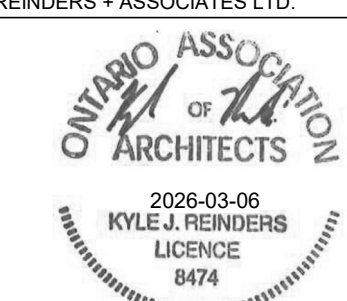


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project no. :	drawing no. :	rev. no. :
23051	A008	2



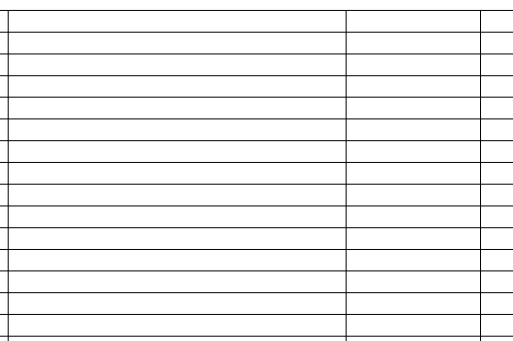
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project no. : 23051	drawing no. : A009	rev. no. : 0
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Sagments# (Length x Sagment average Grade) Total	42189
Total Length	128.78
Avagare Grade	327.61



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awn :	SH
signed :	KR
viewed :	KR
de :	2026-03-06
ate :	1 : 100
ject :	

WINDOM STACKS
 2 WINDOM RD. KITCHENER, ON

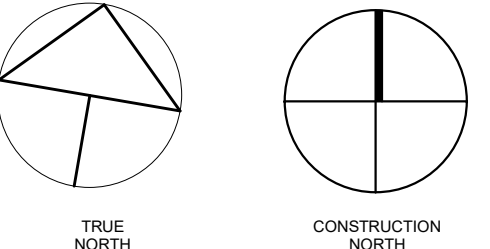
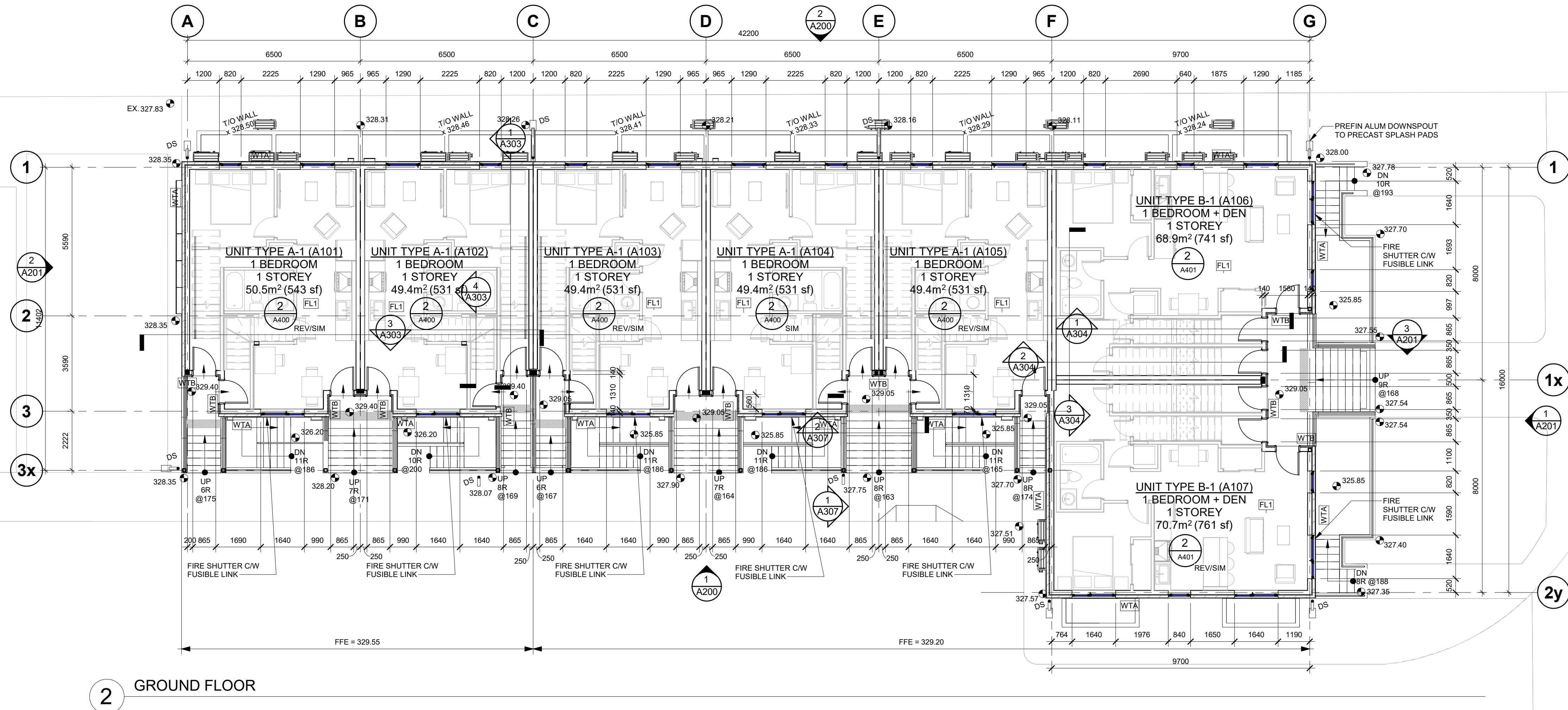
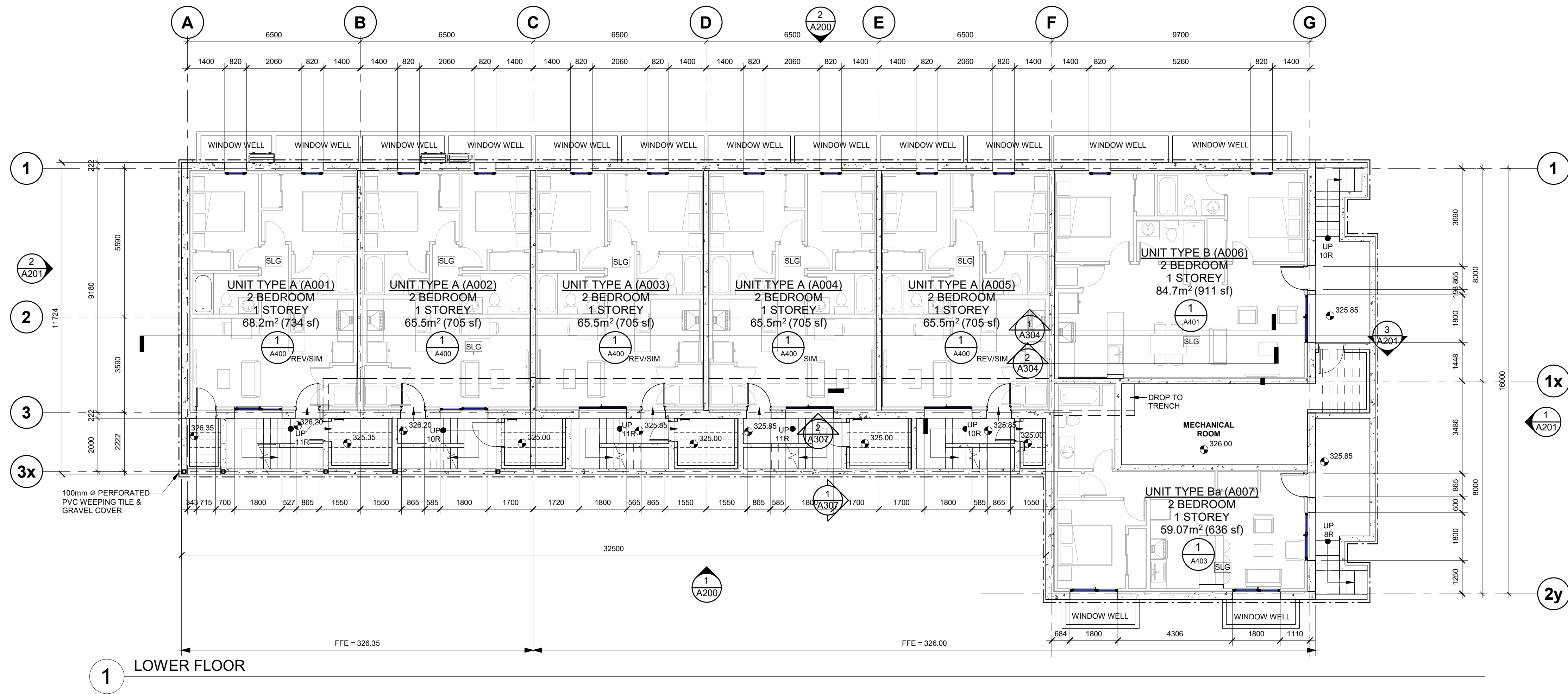
BUILDING 'B' - AVERAGE
GRADE



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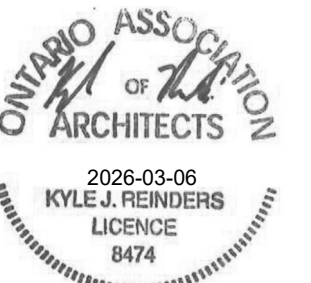
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SHEET SIZE: A1 (594mm x 841mm)



no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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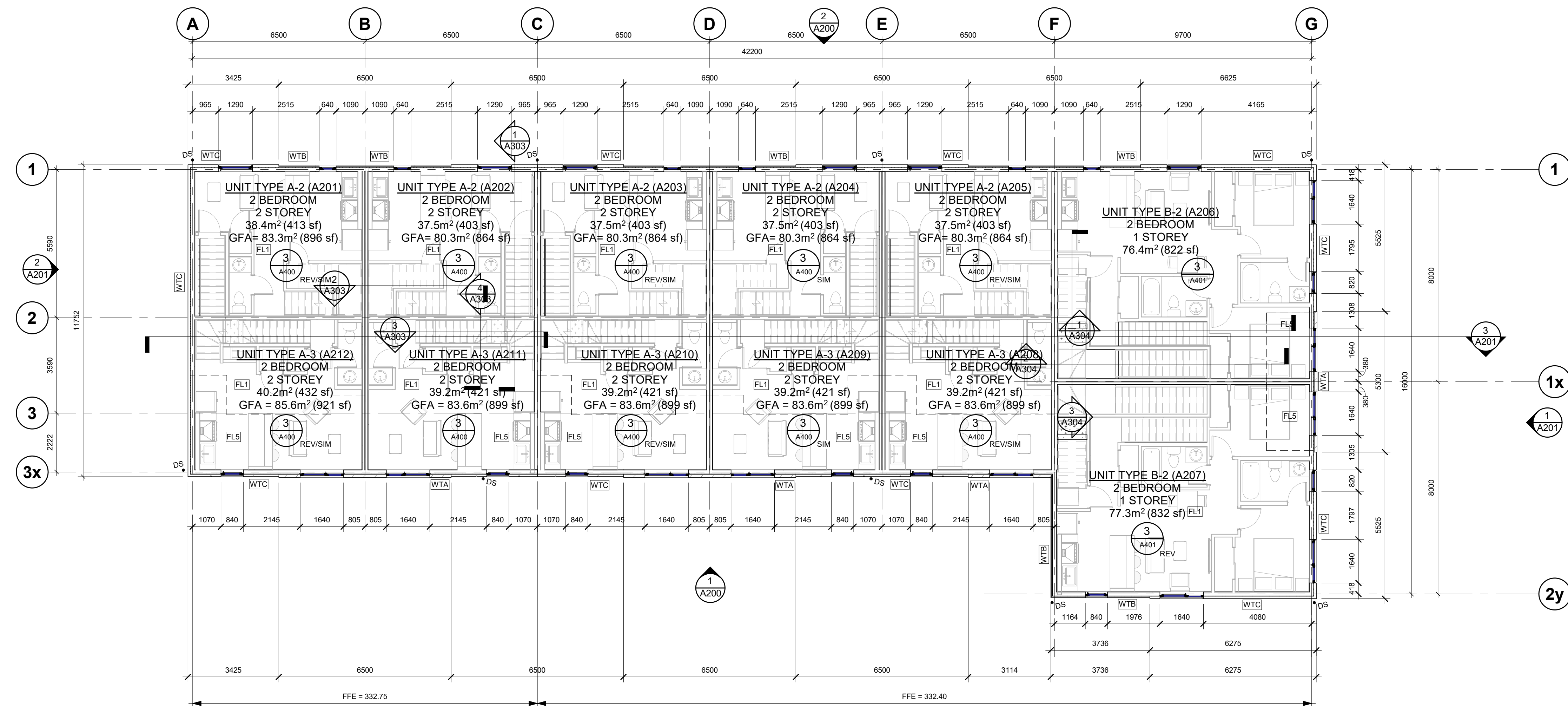
drawn: SM
designed: KR
reviewed: KR
date: 2026-03-06
scale: 1: 100
project: WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing: BLDG A - LOWER & GROUND FLOOR PLAN

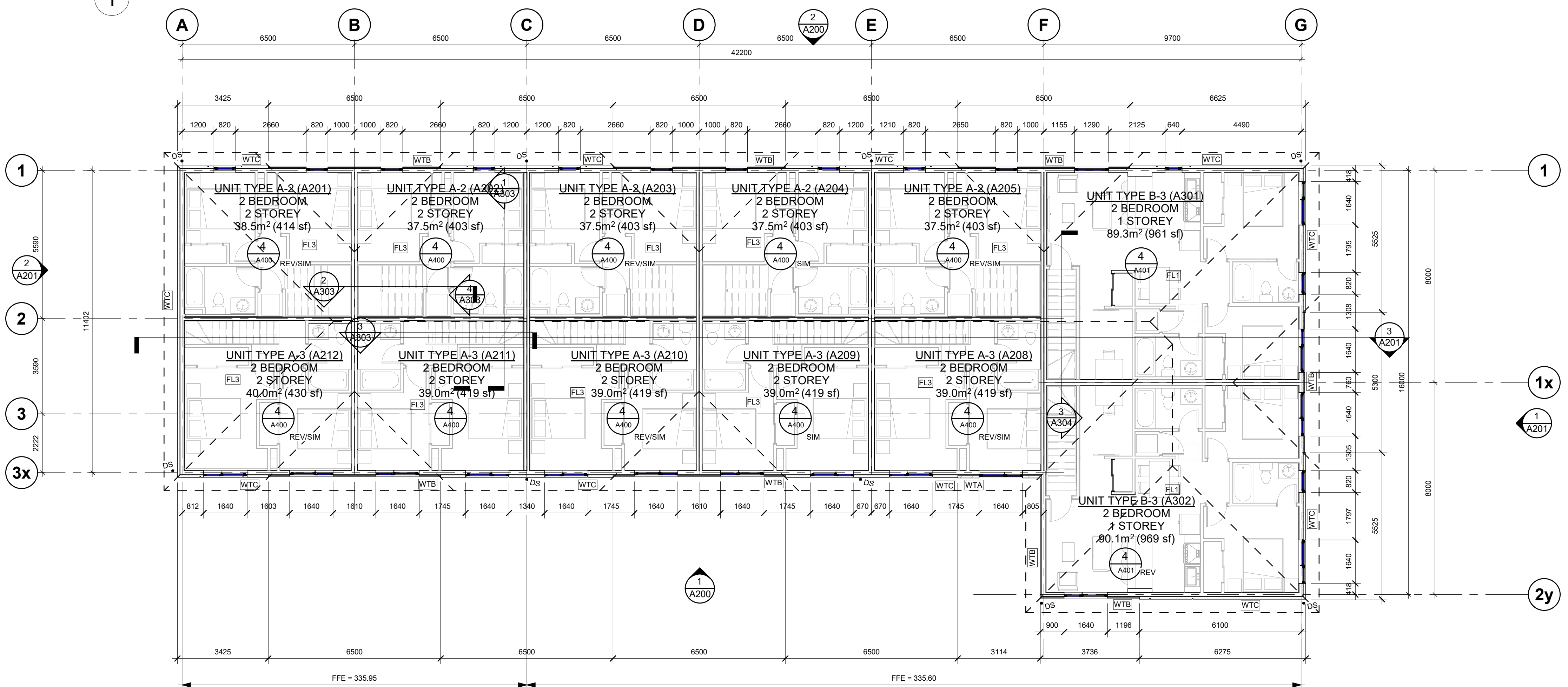
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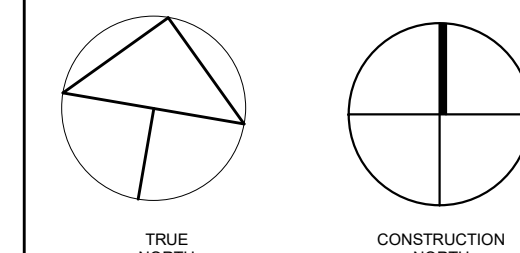
project no.: 23051
drawing no.: A100
rev. no.: 3



1 SECOND FLOOR



2 THIRD FLOOR



no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn : SM

designed : KR

reviewed : KR

date : 2026-03-06

scale : 1 : 100

project : WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing : BLDG A - SECOND & THIRD FLOOR PLAN



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project no. :	drawing no. :	rev. no. :
23051	A101	3

ATTIC #1 AREA:
38.48m² = 414.19sq.ft
414.19/2 = 207.09
207.09/300 = 0.69
(0.69x144) = 99.36 SQ.IN.

99.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #5 AREA:
37.47m² = 403.32sq.ft
403.32/2 = 201.66
201.66/300 = 0.67
(0.67x144) = 99.79 SQ.IN.

99.79 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.79 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #9 AREA:
38.91m² = 418.82sq.ft
418.82/2 = 209.41
209.41/300 = 0.69
(0.69x144) = 99.36 SQ.IN.

99.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #2 AREA:
37.47m² = 403.32sq.ft
403.32/2 = 201.66
201.66/300 = 0.67
(0.67x144) = 99.79 SQ.IN.

99.79 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.79 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #6 AREA:
80.72m² = 868.86sq.ft
868.86/2 = 434.43
434.43/300 = 1.44
(1.44x144) = 208.52 SQ.IN.

208.52 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
208.52 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #10 AREA:
38.91m² = 418.82sq.ft
418.82/2 = 209.41
209.41/300 = 0.69
(0.69x144) = 99.36 SQ.IN.

99.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #3 AREA:
37.47m² = 403.32sq.ft
403.32/2 = 201.66
201.66/300 = 0.67
(0.67x144) = 99.79 SQ.IN.

99.79 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.79 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #7 AREA:
81.53m² = 877.58sq.ft
877.58/2 = 438.79
438.79/300 = 1.46
(1.46x144) = 210.24 SQ.IN.

210.24 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
210.24 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #11 AREA:
38.91m² = 418.82sq.ft
418.82/2 = 209.41
209.41/300 = 0.69
(0.69x144) = 99.36 SQ.IN.

99.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #4 AREA:
37.47m² = 403.32sq.ft
403.32/2 = 201.66
201.66/300 = 0.67
(0.67x144) = 99.79 SQ.IN.

99.79 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.79 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #8 AREA:
38.91m² = 418.82sq.ft
418.82/2 = 209.41
209.41/300 = 0.69
(0.69x144) = 99.36 SQ.IN.

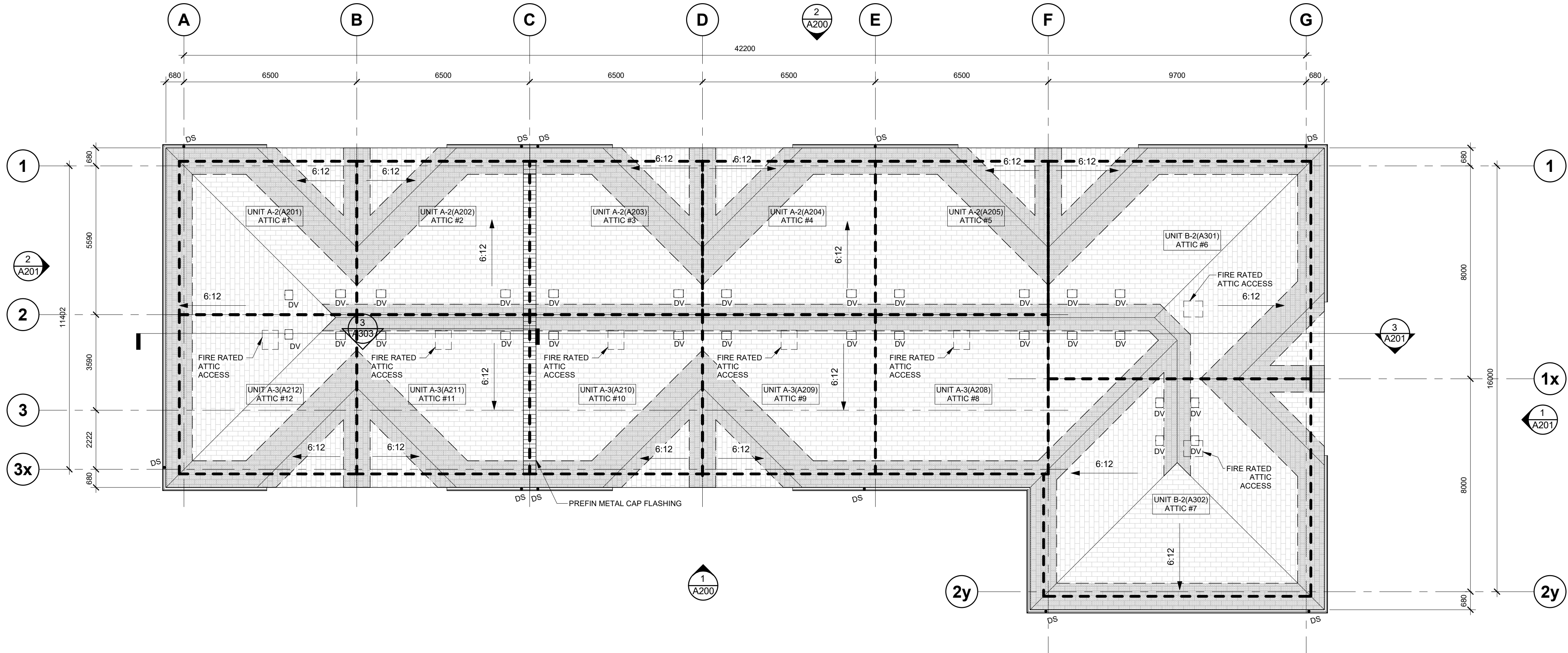
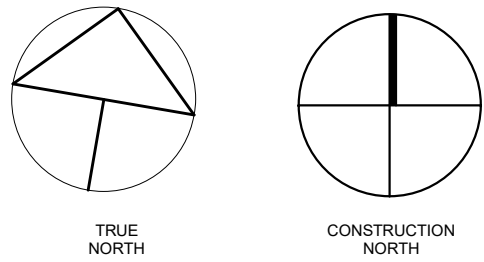
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
99.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #12 AREA:
39.96m² = 430.12sq.ft
430.12/2 = 215.06
215.06/300 = 0.71
(0.71x144) = 102.24 SQ.IN.

102.24 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
102.24 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ROOF LEGEND

- SLOPE DOWN — SLOPE ROOF DOWN IN DIRECTION INDICATED
- [SD] SCUPPER DRAIN
- [PREFINISHED METAL CAP FLASHING] PREFINISHED METAL CAP FLASHING
- [EAVE PROTECTION AS PER OBC SECTION 9.26.5] EAVE PROTECTION AS PER OBC SECTION 9.26.5
- [DV] ROOF DOME VENT EQUALLY SPACED AS SHOWN. MIN 484cm² (75 sq in) OF VENTING (FREE AIR SPACE)
- [ASPHALT SHINGLES] ASPHALT SHINGLES
- LOCATION OF FIRE SEPARATIONS IN ATTIC SPACE TO DIVIDE SPACE INTO FIRE COMPARTMENTS. PROVIDE 12.5mm WAFERBOARD TO ONE SIDE OF WOOD TRUSSES MAX 20m etc AND MAX 300m² O.B.C. 3.1.11.5(1) & 3.1.11.7(5)



1 BUILDING 'A' - ROOF PLAN

SHEET SIZE: A1 (594mm x 841.4mm)

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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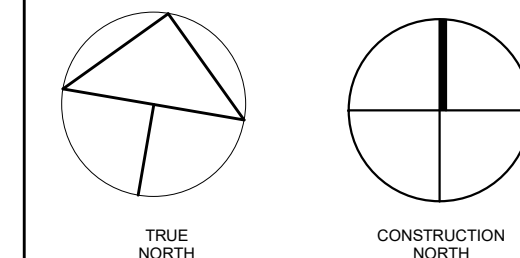
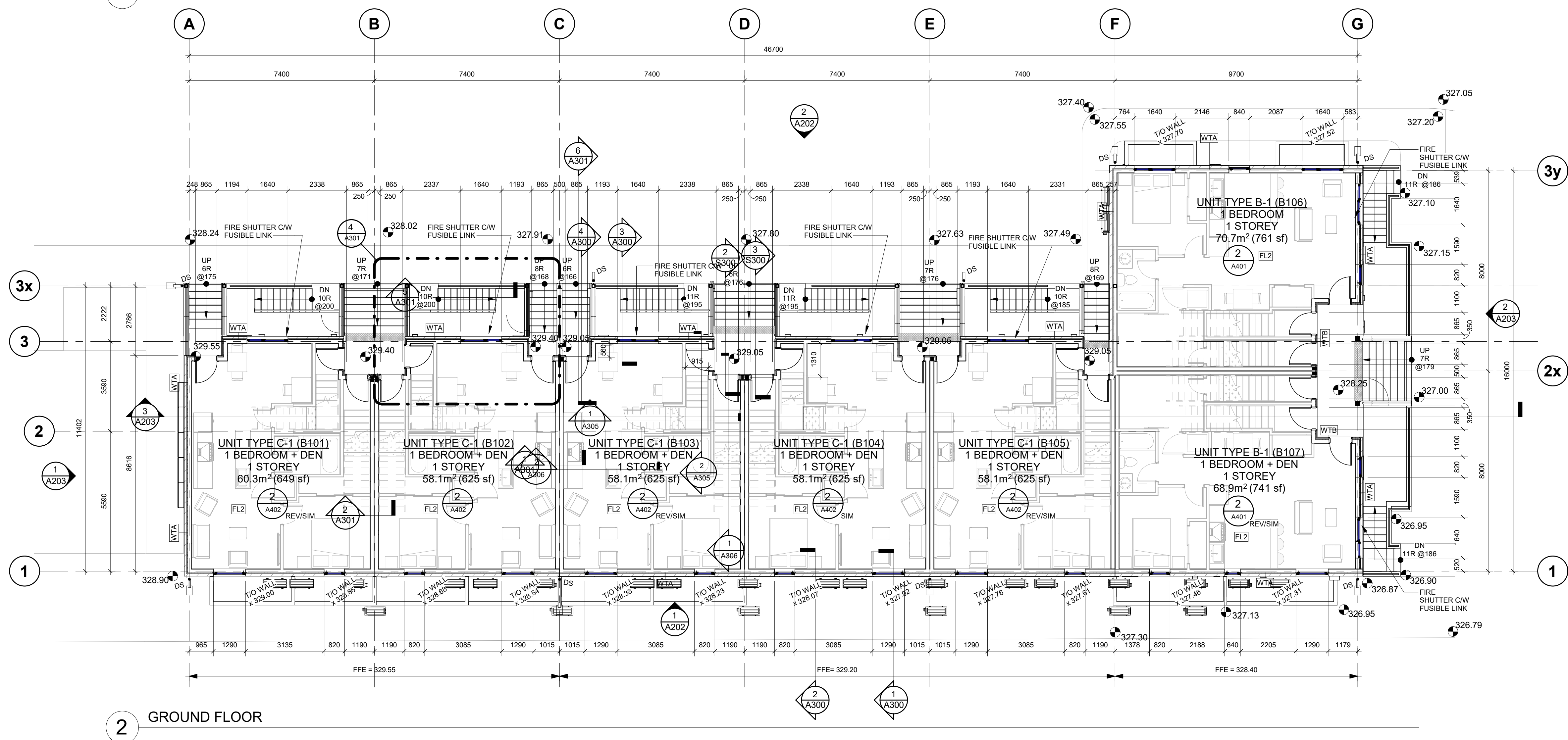
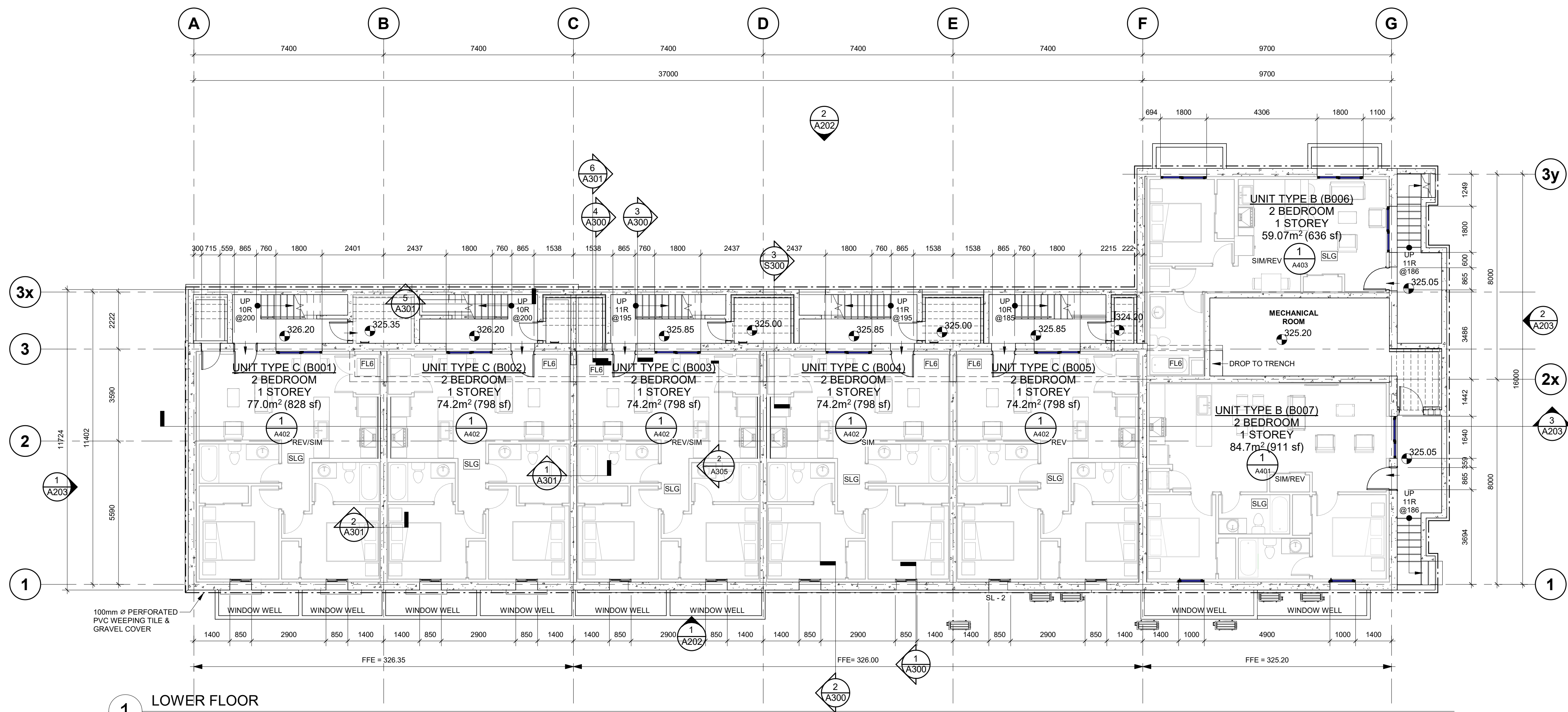
drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:100
project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
BLDG A - ROOF PLAN

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project no. : 23051	drawing no. : A102	rev. no. : 3
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no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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designed: KR
reviewed: KR
date: 2026-03-06

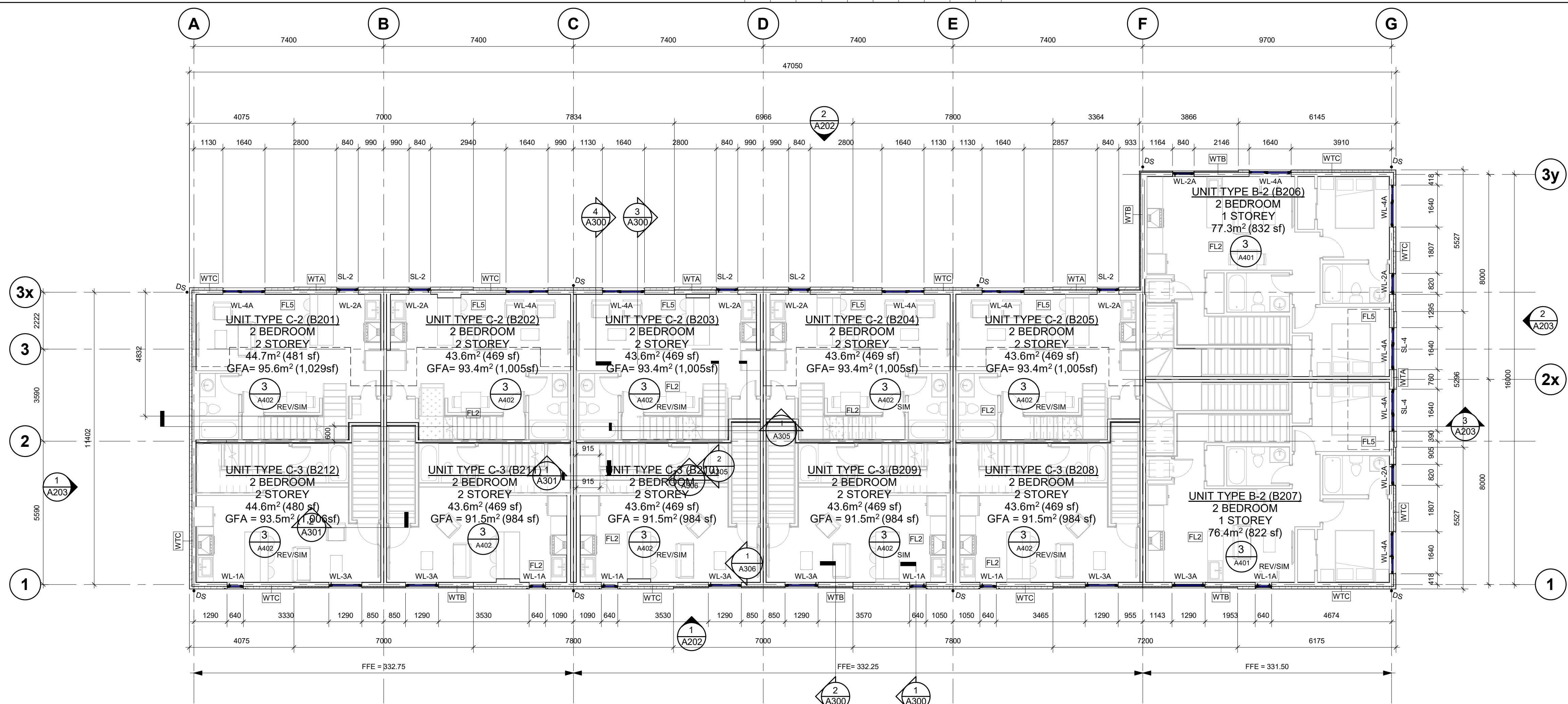
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project: WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing: BLDG B - LOWER & GROUND FLOOR PLAN

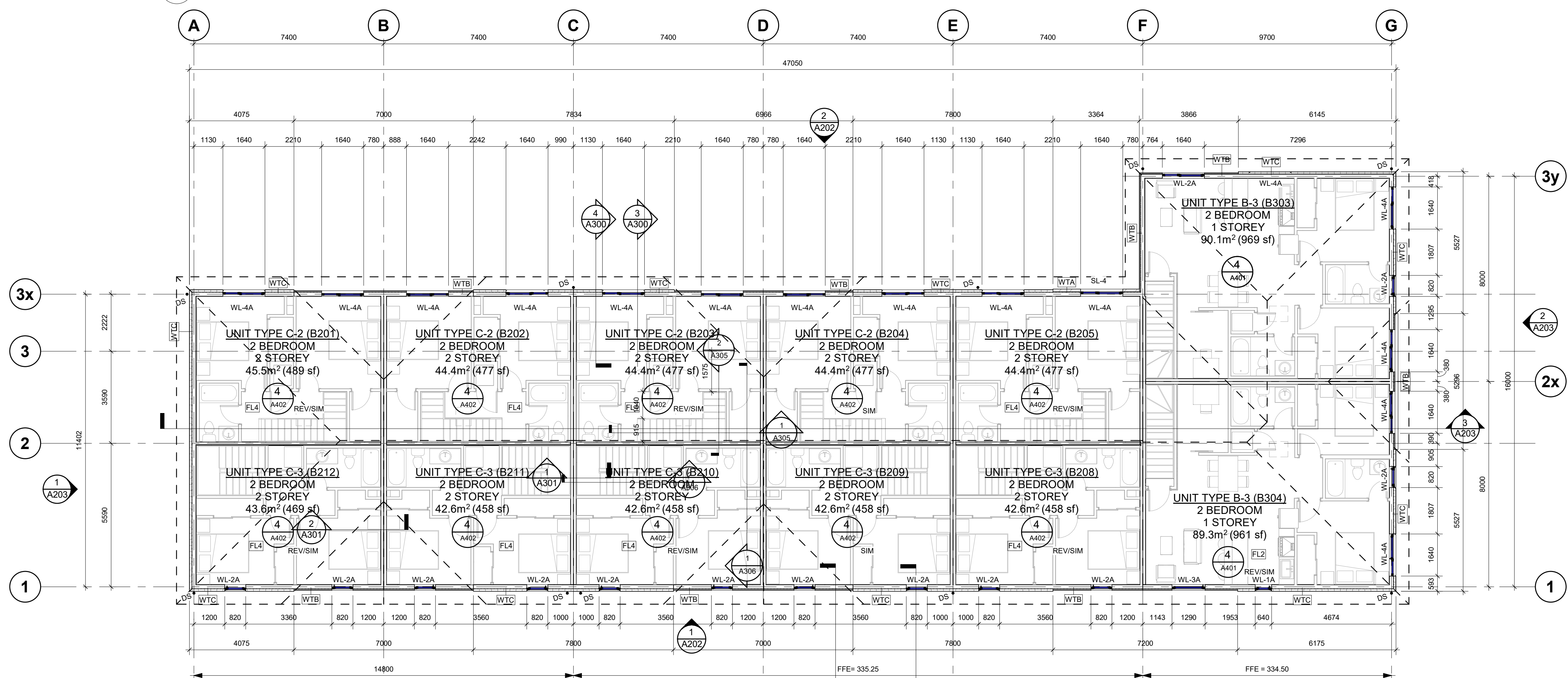


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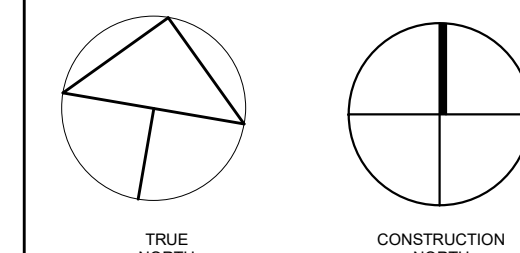
project no.:	drawing no.:	rev. no.:
23051	A103	3



1 SECOND FLOOR



2 THIRD FLOOR



no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn: SM
designed: KR
reviewed: KR
date: 2026-03-06
scale: 1: 100
project: WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing: BLDG B - SECOND & THIRD FLOOR PLAN

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project no.: 23051 drawing no.: A104 rev. no.: 3

ATTIC #1 AREA:
45.35m² = 488.14sq.ft
488.14/2 = 244.07
244.07/300 = 0.81
(0.81x144) = 116.64 SQ.IN.
116.64 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
116.64 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #6 AREA:
44.30m² = 476.84sq.ft
488.14/2 = 238.42
238.42/300 = 0.79
(0.79x144) = 113.76 SQ.IN.
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #9 AREA:
44.66m² = 480.71sq.ft
480.71/2 = 240.35
240.35/300 = 0.80
(0.80x144) = 115.20 SQ.IN.
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #2 AREA:
44.30m² = 476.84sq.ft
488.14/2 = 238.42
238.42/300 = 0.79
(0.79x144) = 113.76 SQ.IN.
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #6 AREA:
81.53m² = 877.58sq.ft
877.58/2 = 438.79
438.79/300 = 1.46
(1.46x144) = 210.24 SQ.IN.
210.24 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
210.24 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #10 AREA:
44.66m² = 480.71sq.ft
480.71/2 = 240.35
240.35/300 = 0.80
(0.80x144) = 115.20 SQ.IN.
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #3 AREA:
44.30m² = 476.84sq.ft
488.14/2 = 238.42
238.42/300 = 0.79
(0.79x144) = 113.76 SQ.IN.
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #7 AREA:
60.72m² = 658.86sq.ft
868.86/2 = 434.43
434.43/300 = 1.44
(1.44x144) = 207.36 SQ.IN.
207.36 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
207.36 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT






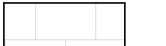
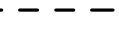
ATTIC #11 AREA:
44.66m² = 480.71sq.ft
480.71/2 = 240.35
240.35/300 = 0.80
(0.80x144) = 115.20 SQ.IN.
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

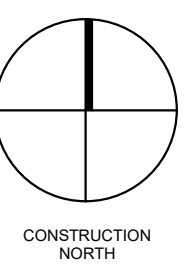
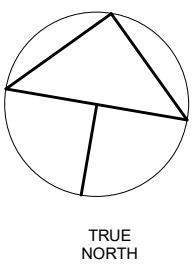
ATTIC #4 AREA:
44.30m² = 476.84sq.ft
488.14/2 = 238.42
238.42/300 = 0.79
(0.79x144) = 113.76 SQ.IN.
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
113.76 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #8 AREA:
44.66m² = 480.71sq.ft
480.71/2 = 240.35
240.35/300 = 0.80
(0.80x144) = 115.20 SQ.IN.
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
115.20 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ATTIC #12 AREA:
43.67m² = 470.06sq.ft
470.06/2 = 235.03
235.03/300 = 0.78
(0.78x144) = 112.32 SQ.IN.
112.32 MINIMUM SQ. IN. OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE.
AND
112.32 MINIMUM SQ. IN. OF NET FREE AREA OF INTAKE NEEDED AT OR NEAR THE SOFFIT

ROOF LEGEND

- SLOPE DOWN  SLOPE ROOF DOWN IN DIRECTION INDICATED
-  SCUPPER DRAIN
-  PREFINISHED METAL CAP FLASHING
-  EAVE PROTECTION AS PER OBC SECTION 9.26.5
-  ROOF DOME VENT EQUALLY SPACED AS SHOWN. MIN 484mm2 (75 sq in) OF VENTING (FREE AIR SPACE)
-  ASPHALT SHINGLES
-  LOCATION OF FIRE SEPARATIONS IN ATTIC SPACE TO DIVIDE SPACE INTO FIRE COMPARTMENTS. PROVIDE 12.5mm WAFERBOARD TO ONE SIDE OF WOOD TRUSSES MAX 20m c/c AND MAX 300mm² O.B.C. 3.1.11.5(1) & 3.1.11.7(5)



TRUE NORTH

CONSTRUCTION NORTH

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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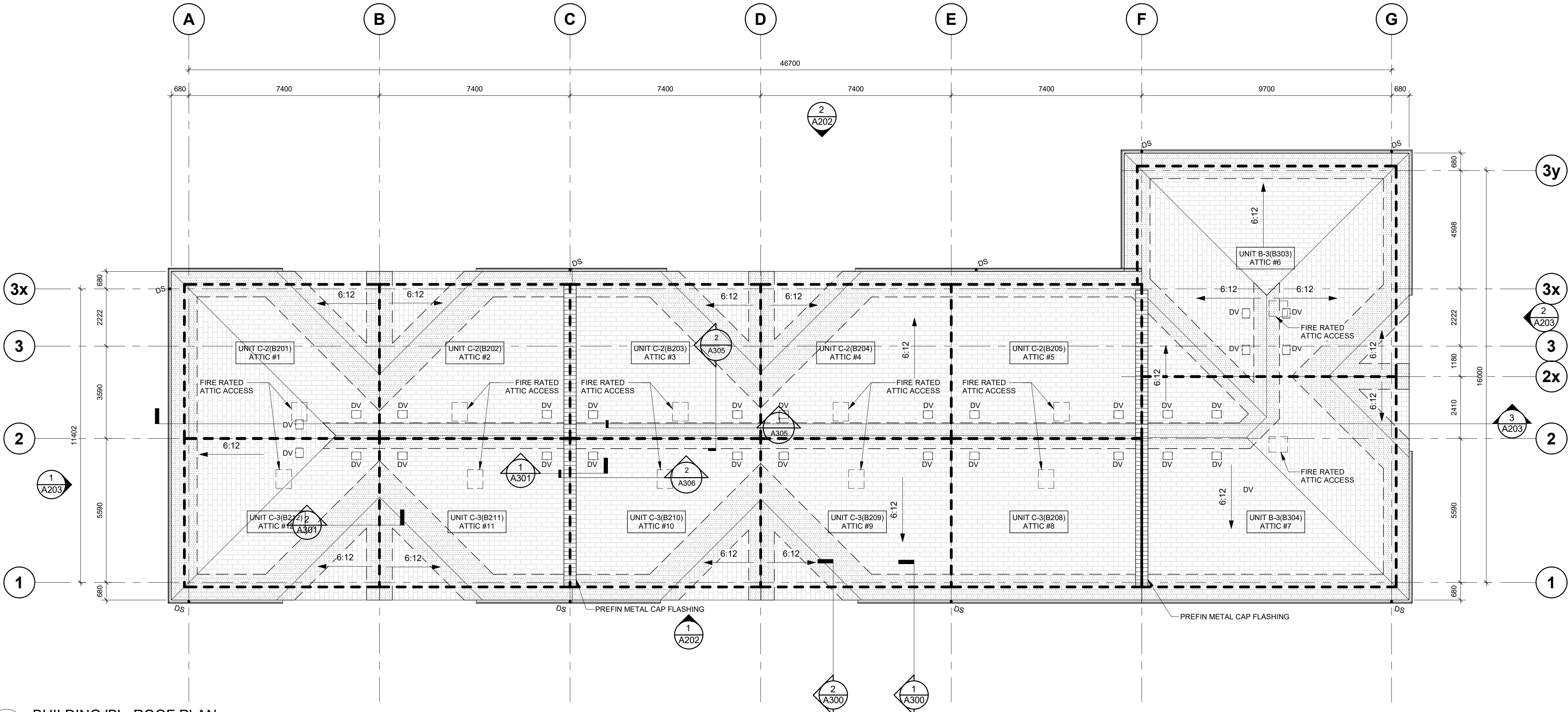
drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:100
project : WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing : BLDG B - ROOF PLAN



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T. 905-457-1618
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project no. : 23051	drawing no. : A105	rev. no. : 3
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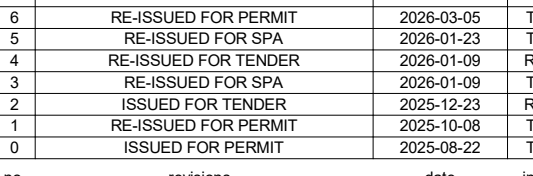


BUILDING 'B' - ROOF PLAN

SHEET SIZE: A1 900mm x 614.4mm



1 SOUTH ELEVATION
1 : 100



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drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1 : 100
project :	

WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
BUILDING A - NORTH AND
SOUTH ELEVATIONS

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project no. : 23051	drawing no. : A200	rev. no. : 6
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0 10 20 30 40 50 60 70 80 90 100

MATERIALS LEGEND	
#	MATERIAL DESCRIPTION
1	FINISHED GRADE AT BUILDING.
2	POURED CONCRETE FOOTING & FOUNDATIONS.
3	VINYL LAPPED SIDING
4	BRICK VENEER - COLOUR: GREY RANGE
5	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH HORIZONTAL AND VERTICAL REVEALS COLOUR: WHITE
6	ALUMINUM GLAD VINYL WINDOWS - COLOR: BLACK
7	POURED CONCRETE STAIR
8	PREFINISHED ALUMINUM RAILING
9	PREFINISHED ALUMINUM EAVESTROUGH-BLACK
10	FIBERGLASS SHINGLES
11	PREFINISHED ALUMINUM FASCIA AND VENTED SOFFIT
12	ARCHITECTURAL STONE TRIMSILL
13	ENTRANCE DOOR AS PER SCHEDULE
14	PRESSURE TREATED 140 x 140 WOOD TIMBER WINDOW WELL
15	(LF) EXTERIOR LIGHT FIXTURE WALL BOX (BLACK)
16	MECHANICAL CONDENSER UNIT
17	MECHANICAL WALL VENT TO MATCH WALL FINISH COLOUR
18	HYDRO METERS

no.	revisions	date	int.
6	RE-ISSUED FOR PERMIT	2026-03-05	TB
5	RE-ISSUED FOR SPA	2026-01-23	TB
4	RE-ISSUED FOR TENDER	2026-01-09	RG
3	RE-ISSUED FOR SPA	2026-01-09	TB
2	ISSUED FOR TENDER	2025-12-23	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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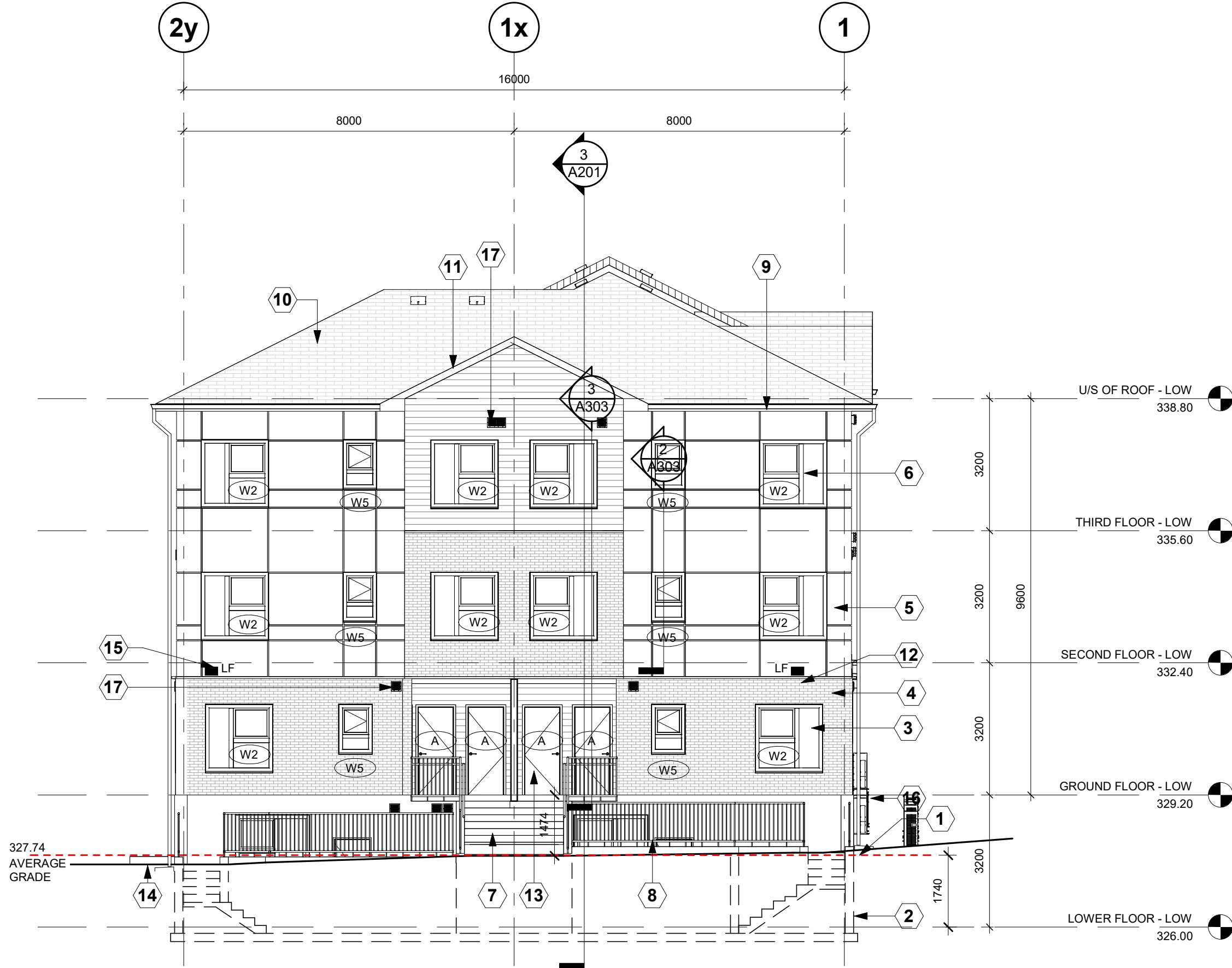
drawn: SM
designed: GDR
reviewed: KR
date: 2026-03-06
scale: 1:100
project: WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing: BUILDING A - EAST & WEST ELEVATIONS

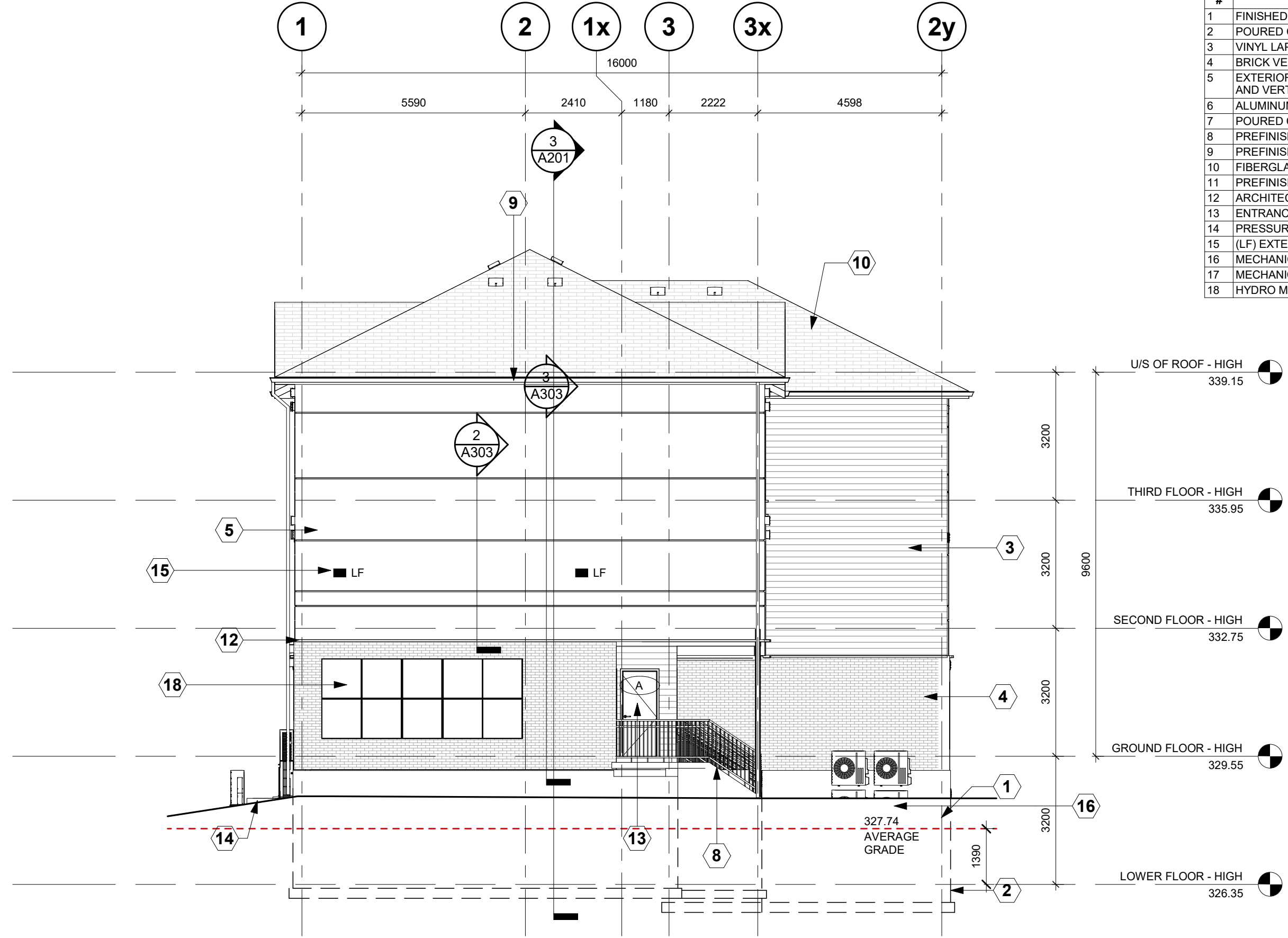


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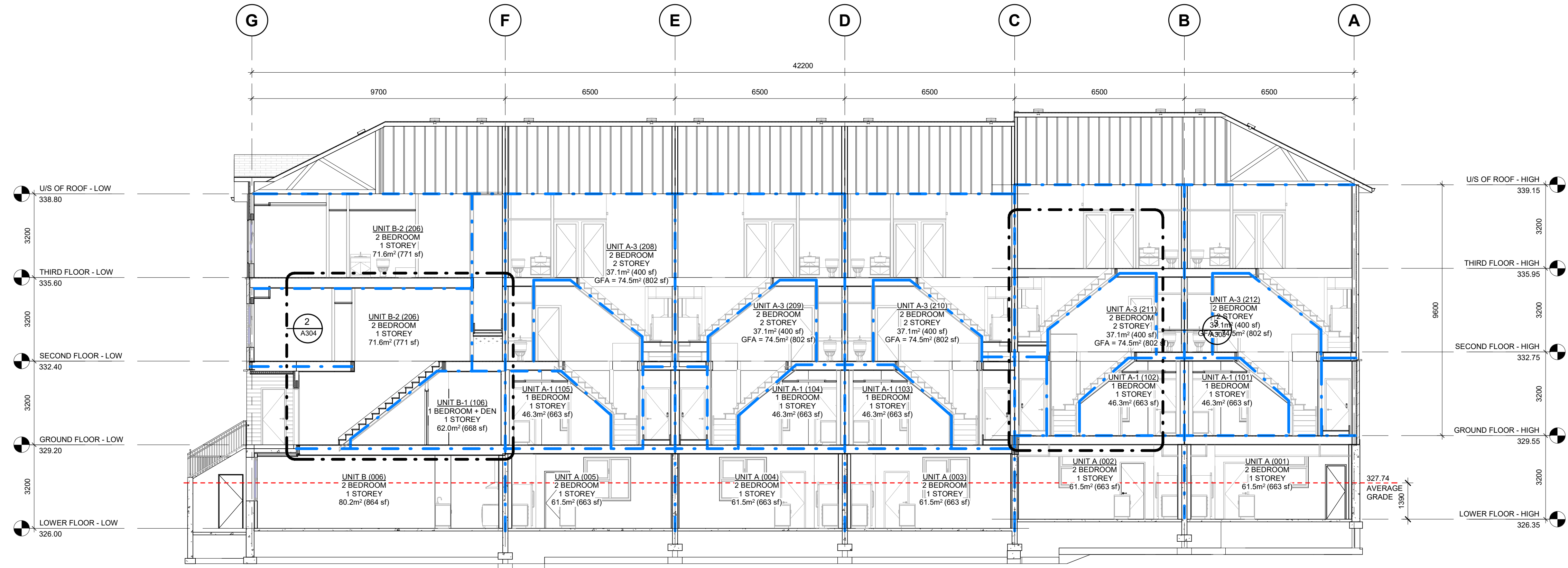
project no.: 23051 drawing no.: A201 rev. no.: 6



1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



3 BUILDING A - SECTION

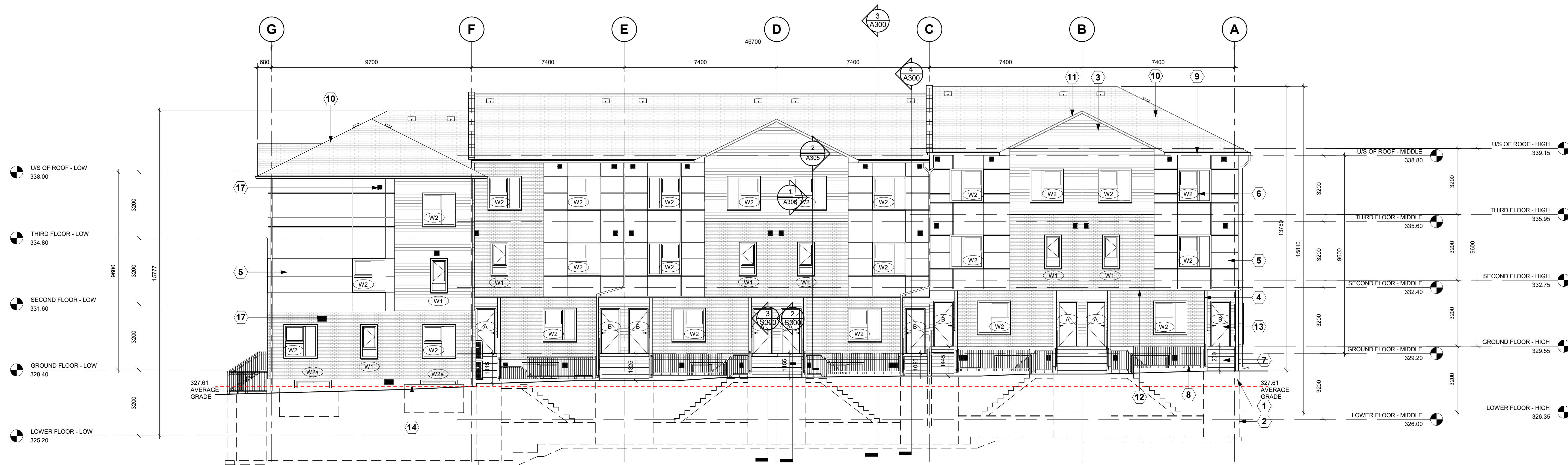
SHEET SIZE: A1 (594mm x 841.4mm)

0 10 20 30 40 50 60 70 80 90 100

#	MATERIAL DESCRIPTION
1	FINISHED GRADE AT BUILDING
2	POURED CONCRETE FOOTING & FOUNDATIONS
3	VINYL LAPPED SIDING
4	BRICK VENEER - COLOUR: GREY RANGE
5	EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH HORIZONTAL AND VERTICAL REVEALS COLOUR: WHITE
6	ALUMINUM CLAD VINYL WINDOWS - COLOR: BLACK
7	POURED CONCRETE STAIR
8	PREFINISHED ALUMINUM RAILING
9	PREFINISHED ALUMINUM EAVESTROUGH-BLACK
10	FIBERGLASS SHINGLES
11	PREFINISHED ALUMINUM FASCIA AND VENTED SOFFIT
12	ARCHITECTURAL STONE TRIMSILL
13	ENTRANCE DOOR AS PER SCHEDULE
14	PRESSURE TREATED 140 x 140 WOOD TIMBER WINDOW WELL
15	(LF) EXTERIOR LIGHT FIXTURE WALL BOX (BLACK)
16	MECHANICAL CONDENSER UNIT
17	MECHANICAL WALL VENT TO MATCH WALL FINISH COLOUR
18	HYDRO METERS



1 SOUTH ELEVATION
1 : 100



2 NORTH ELEVATION
1 : 100

SHEET SIZE: A1 (594mm x 841mm)

no.	revisions	date	int.
5	RE-ISSUED FOR PERMIT	2025-03-05	TB
4	RE-ISSUED FOR TENDER	2025-01-09	RG
3	RE-ISSUED FOR SPA	2025-01-09	TB
2	ISSUED FOR TENDER	2025-12-23	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn : SM
designed : GDR
reviewed : KR
date : 2025-03-06
scale : 1 : 100
project : WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing : BUILDING B - NORTH AND SOUTH ELEVATIONS

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project no. : 23051
drawing no. : A202
rev. no. : 5



5	RE-ISSUED FOR PERMIT	2028-03-05	TB
4	RE-ISSUED FOR TENDER	2026-01-09	RG
3	RE-ISSUED FOR SPA	2026-01-09	TB
2	ISSUED FOR TENDER	2025-12-23	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB
no.	revisions	date	int.



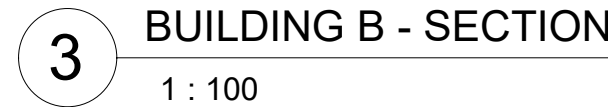
2026-03-06
KYLE J. REINDERS
LICENCE
8474

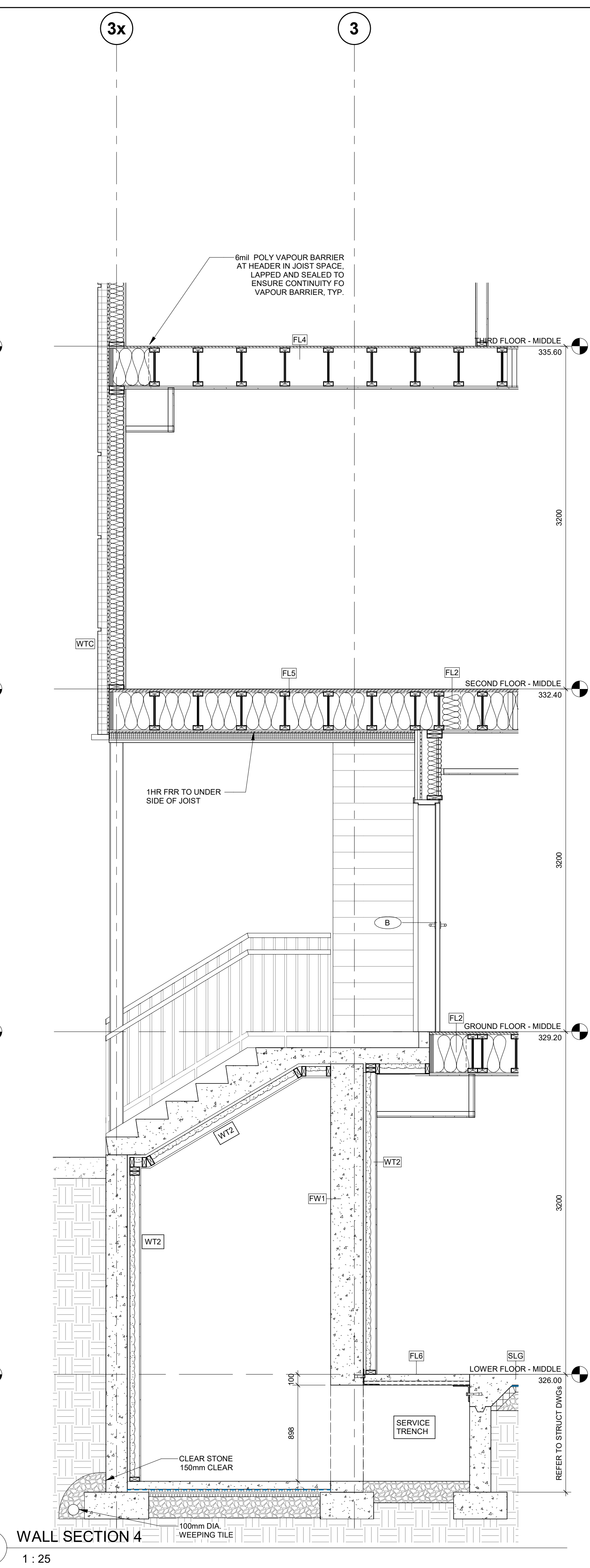
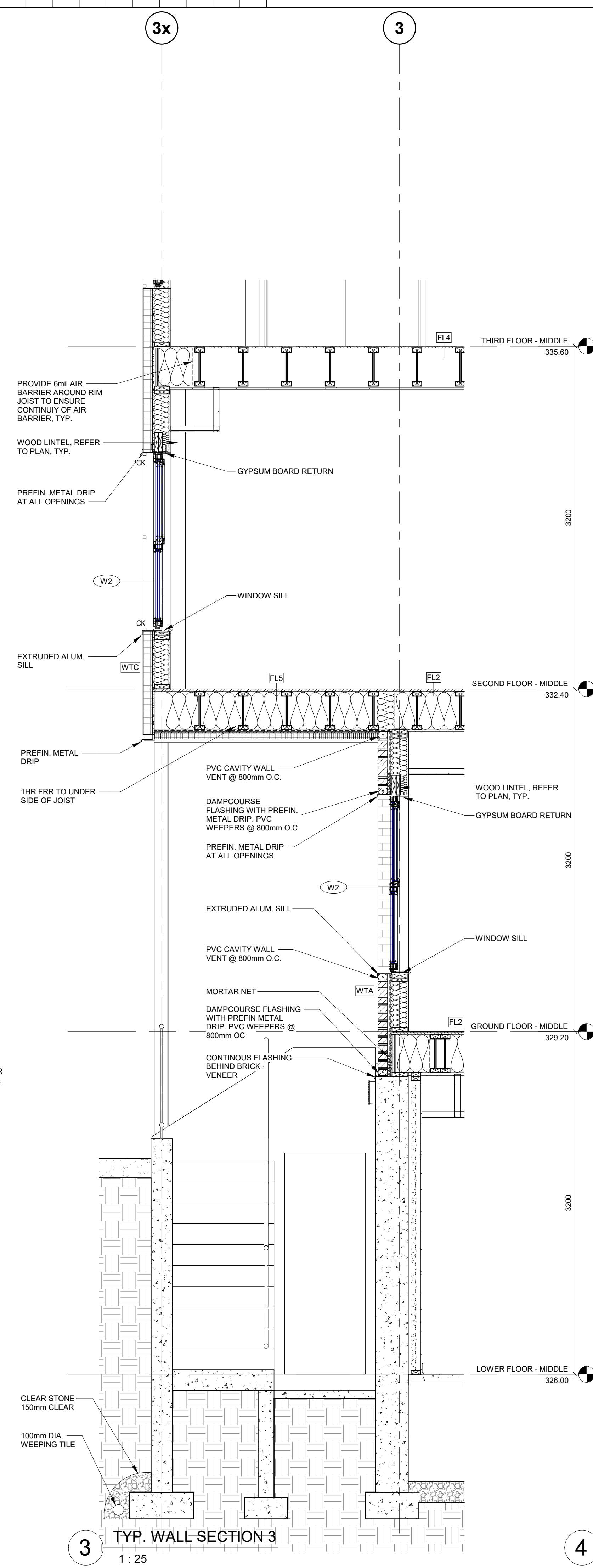
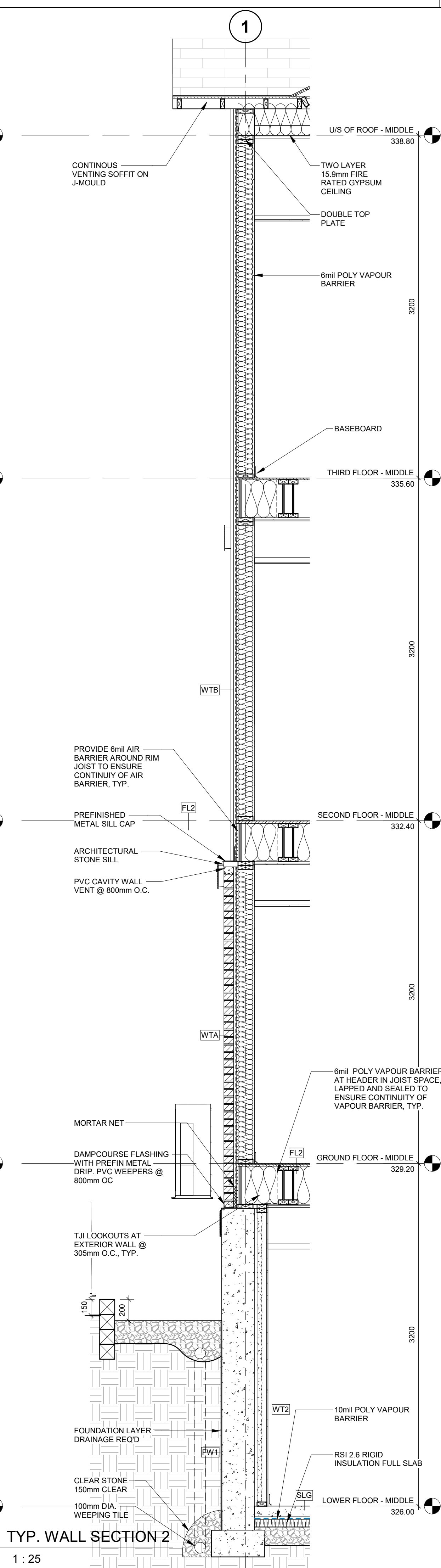
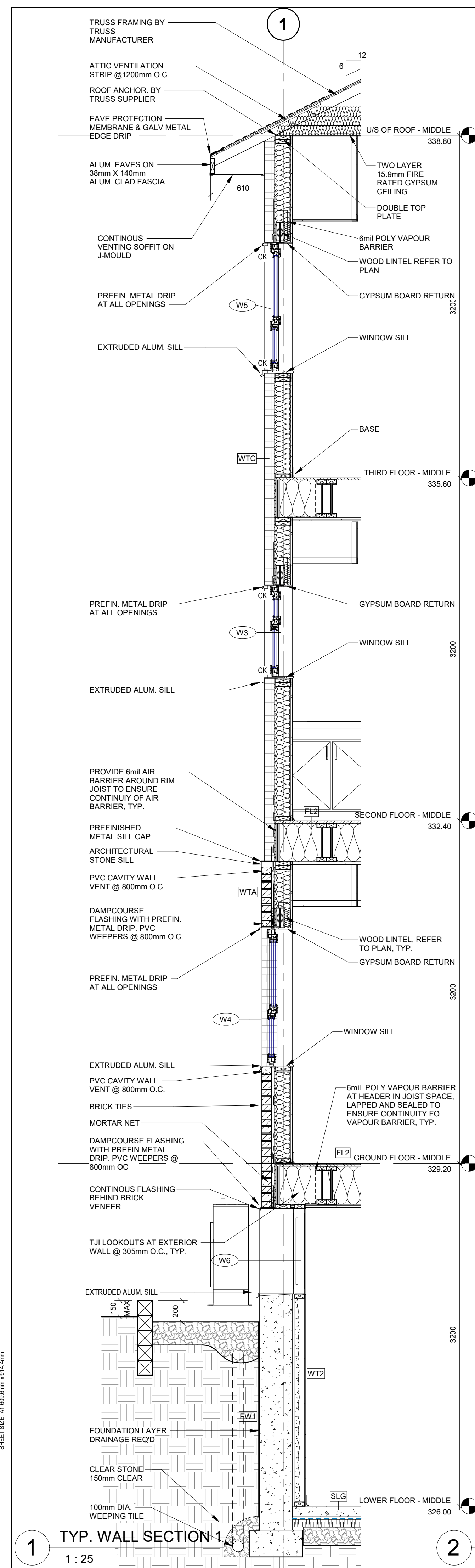
project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON



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project no. : 23051	drawing no. : A203	rev. no. : 5
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3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1 : 25
project :	WINDOW STACKS 32 WINDOW RD. KITCHENER, ON

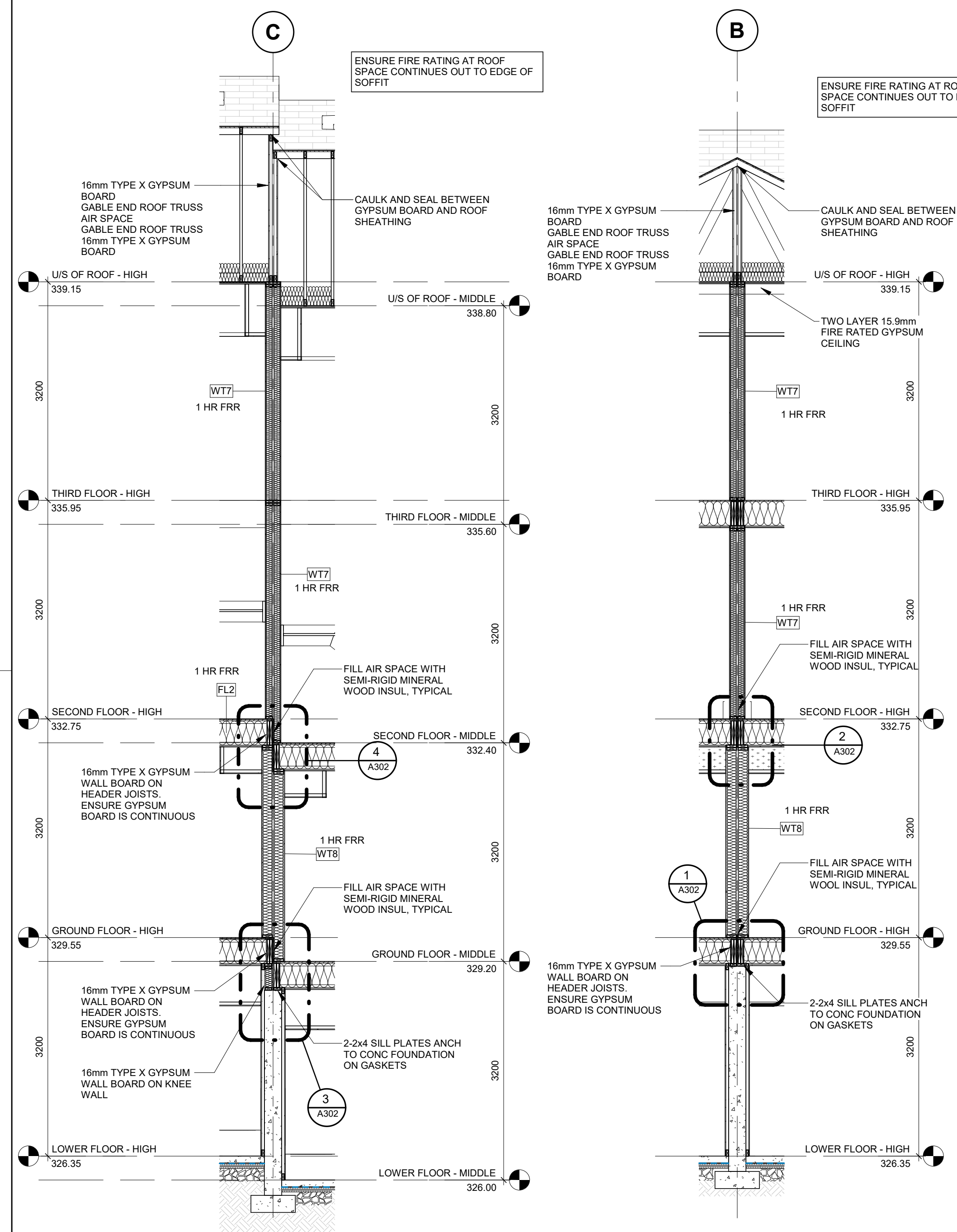
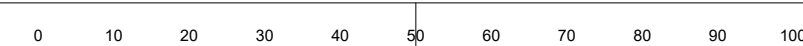
drawing :
WALL SECTIONS



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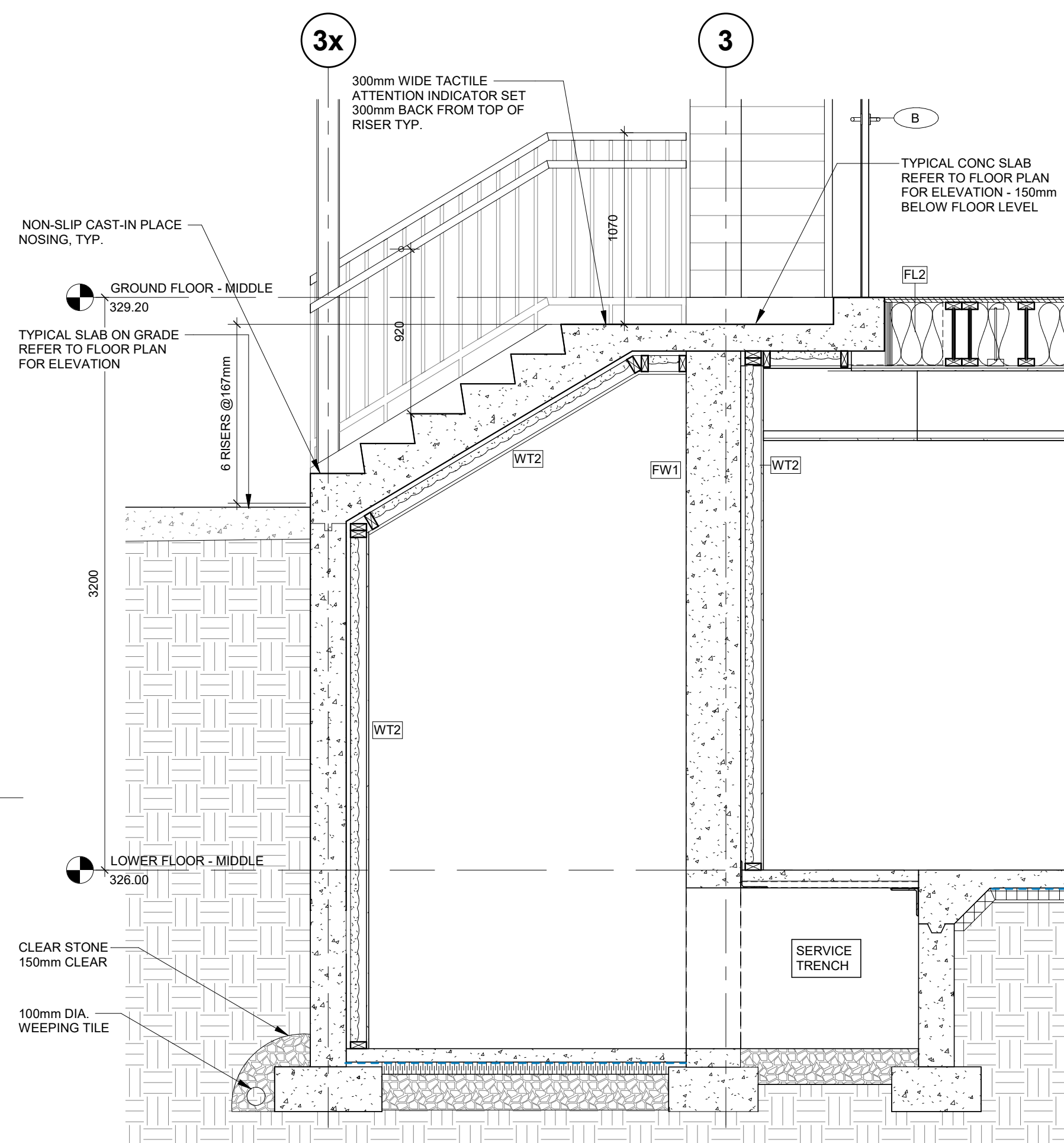
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project no. : 23051	drawing no. : A300	rev. no. : 3
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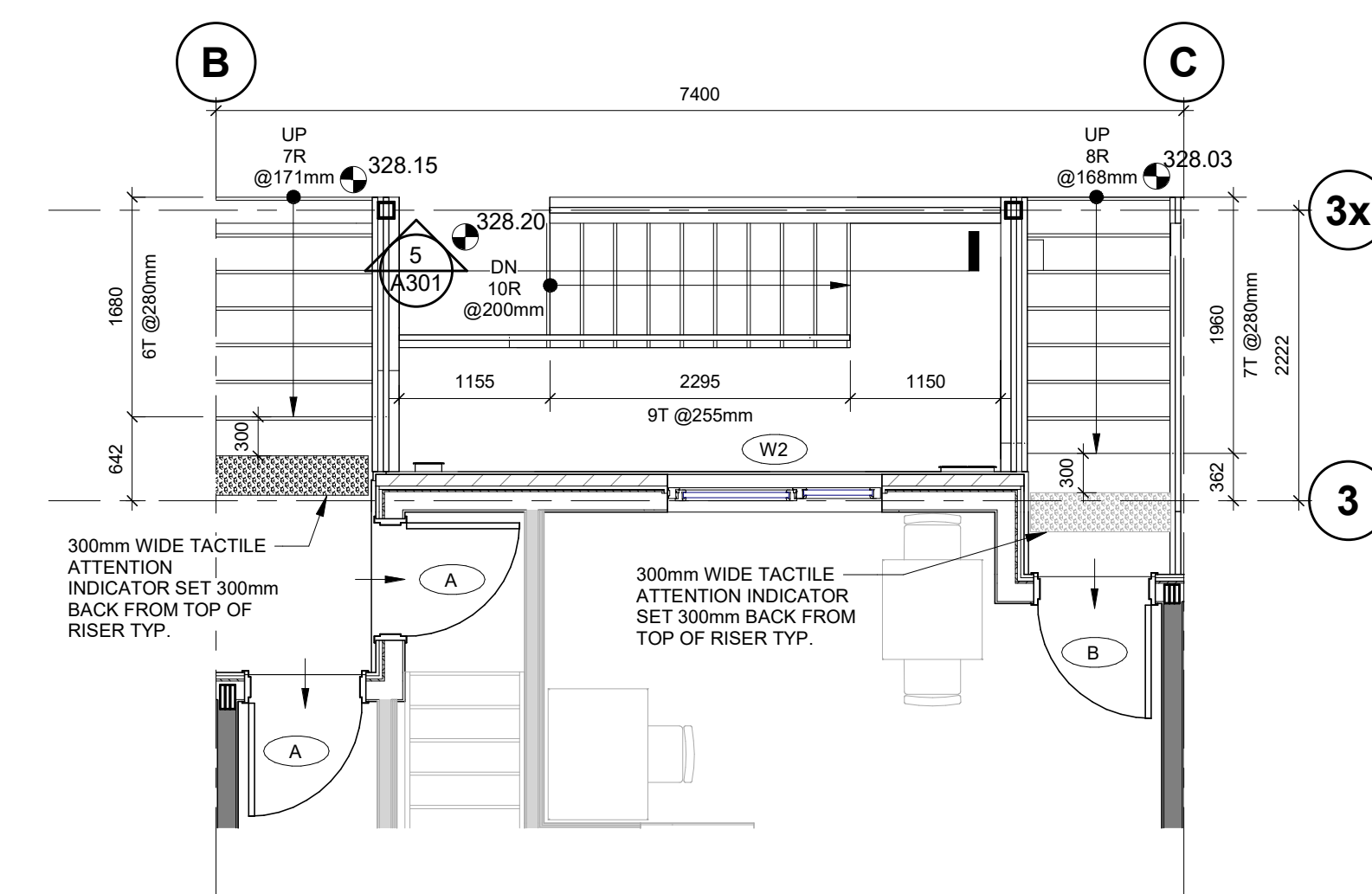


1 TYPICAL STEPPED FIREWALL SECTION
1 : 50

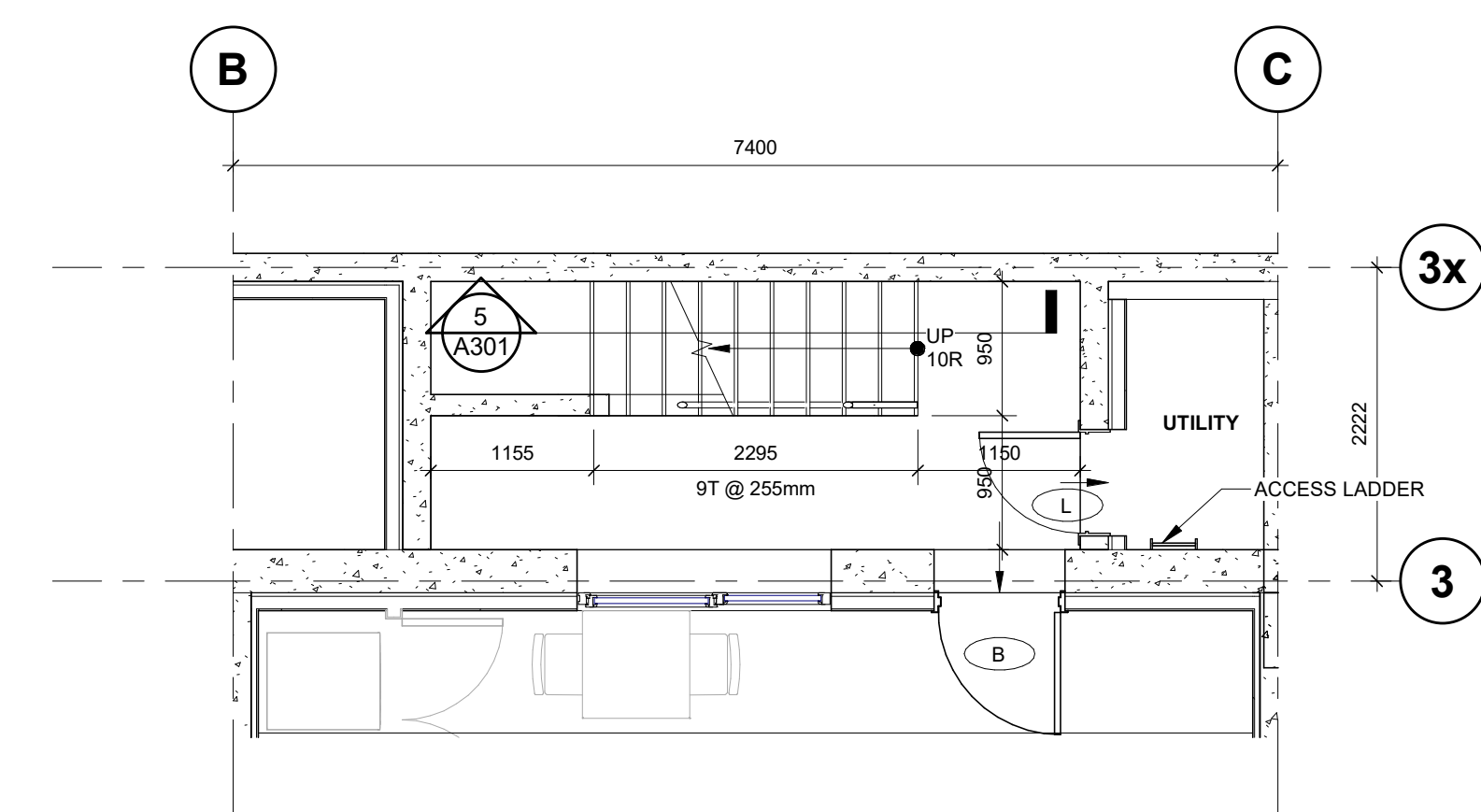
2 TYPICAL FIREWALL SECTION
1 : 50



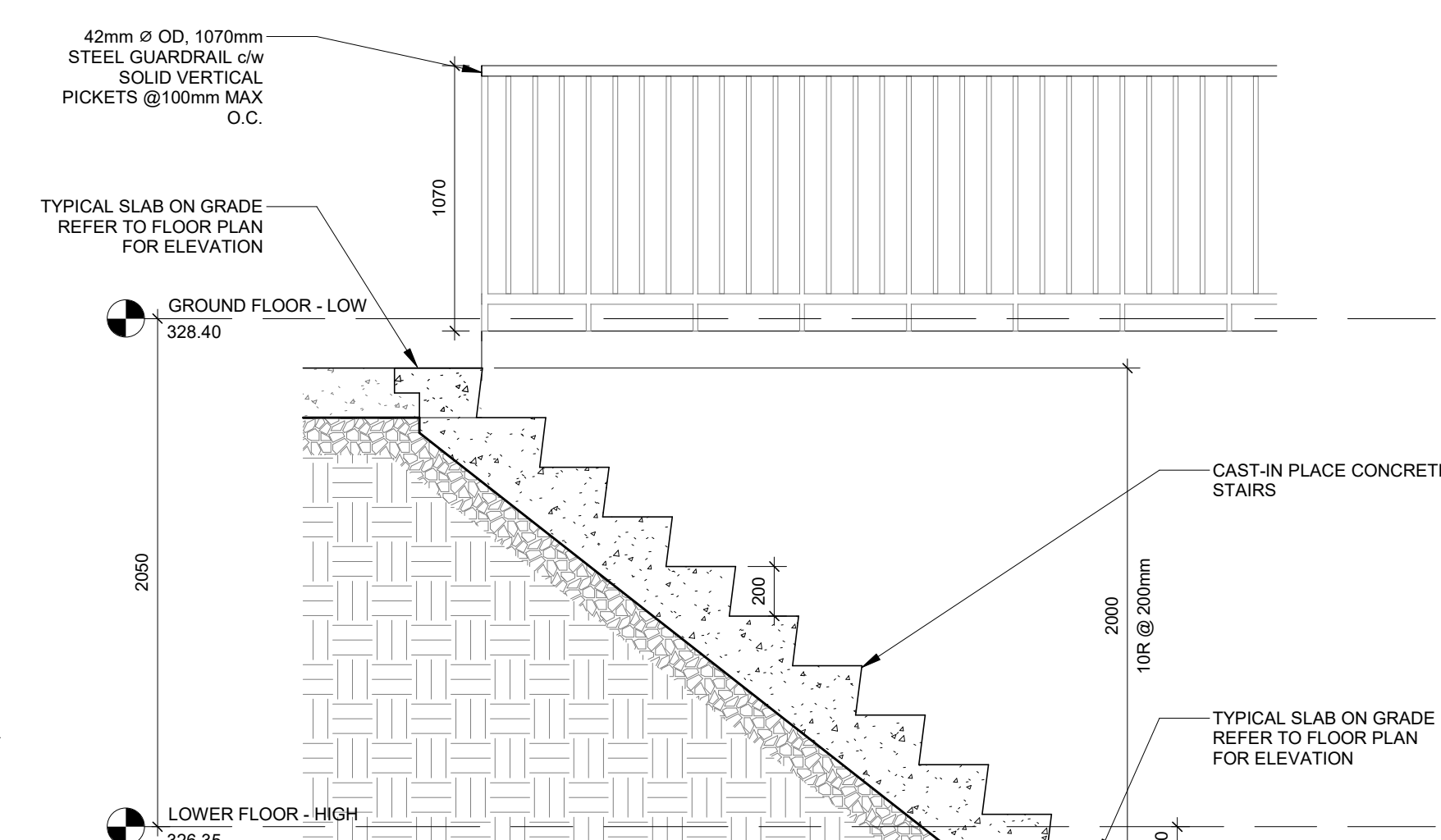
6 TYPICAL EXTERIOR PUBLIC STAIR TO GROUND FLOOR
1 : 25



4 GROUND FLOOR -TYP EXTERIOR STAIR PLAN
1 : 50



3 BASEMENT FLOOR -TYP EXTERIOR STAIR PLAN
1 : 50



5 TYPICAL EXTERIOR PRIVATE STAIR TO BASEMENT
1 : 25

3	RE-ISSUED FOR PERMIT	2026-03-05	
2	ISSUED FOR TENDER	2025-12-23	
1	RE-ISSUED FOR PERMIT	2025-10-08	
0	ISSUED FOR PERMIT	2025-06-22	
no	archiving	date	

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drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	AS NOTED
project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

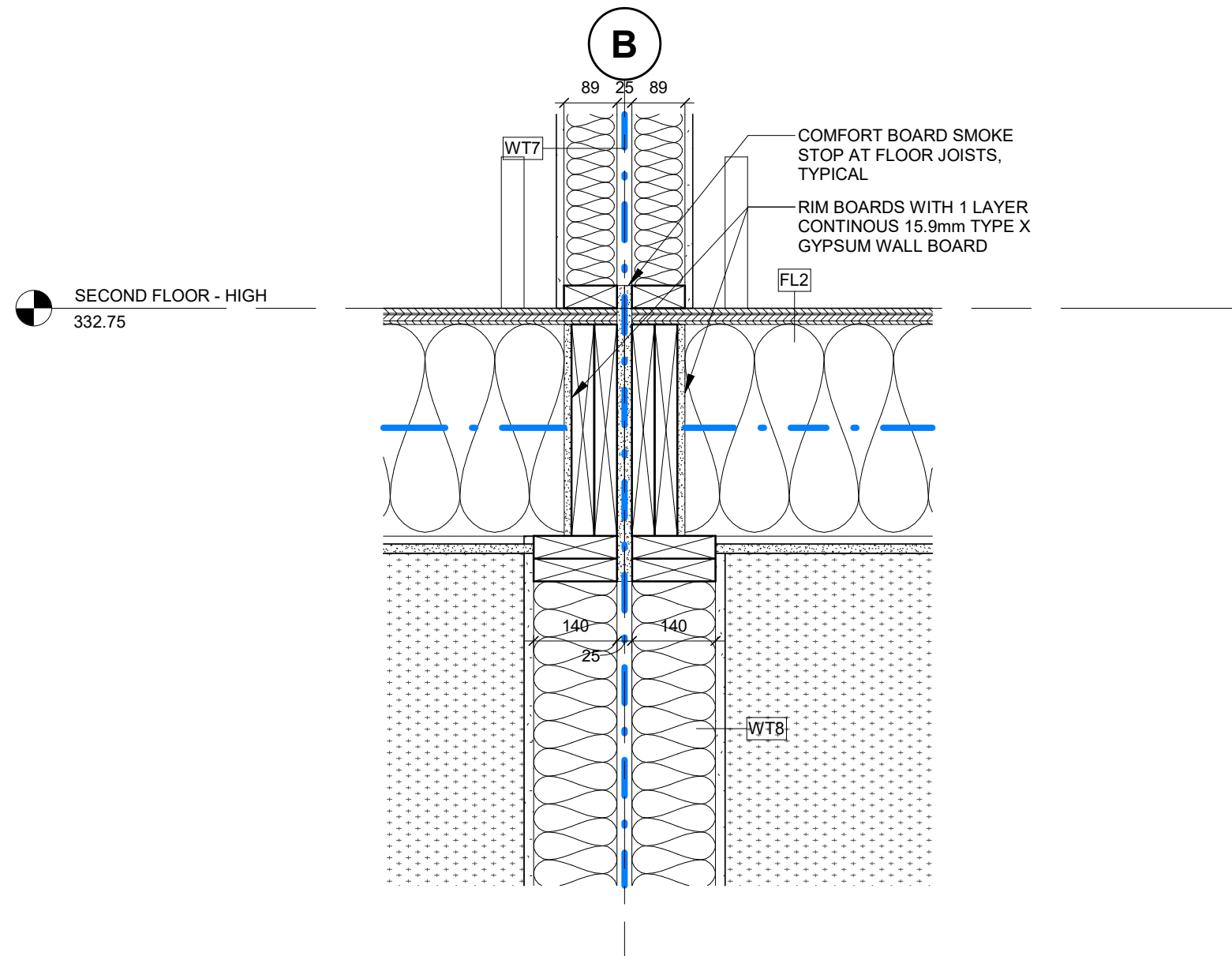
drawing : WALL SECTIONS & EXTERIOR STAIR DETAILS



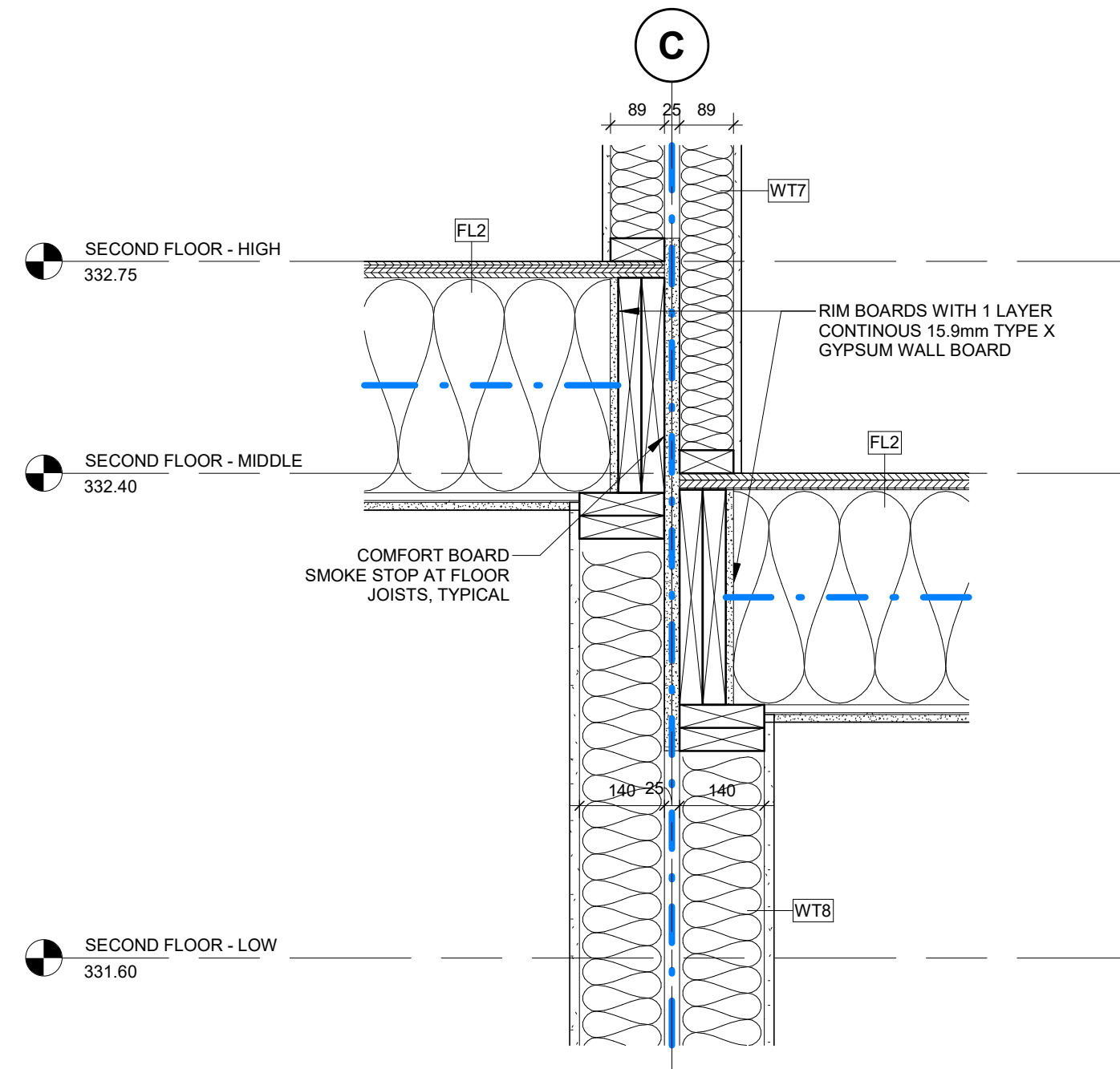
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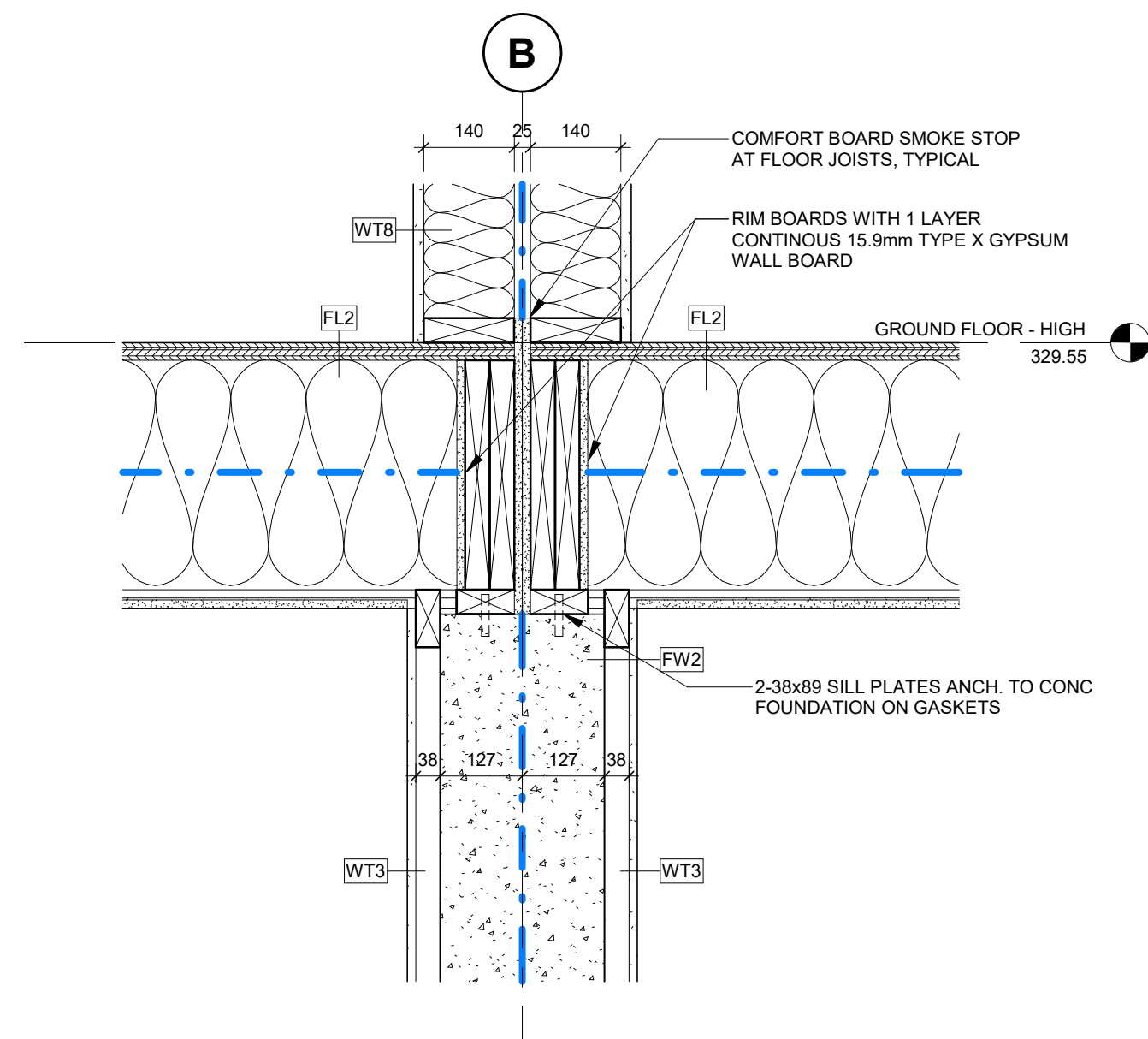
project no. : 23051	drawing no. : A301	rev. no. : 3
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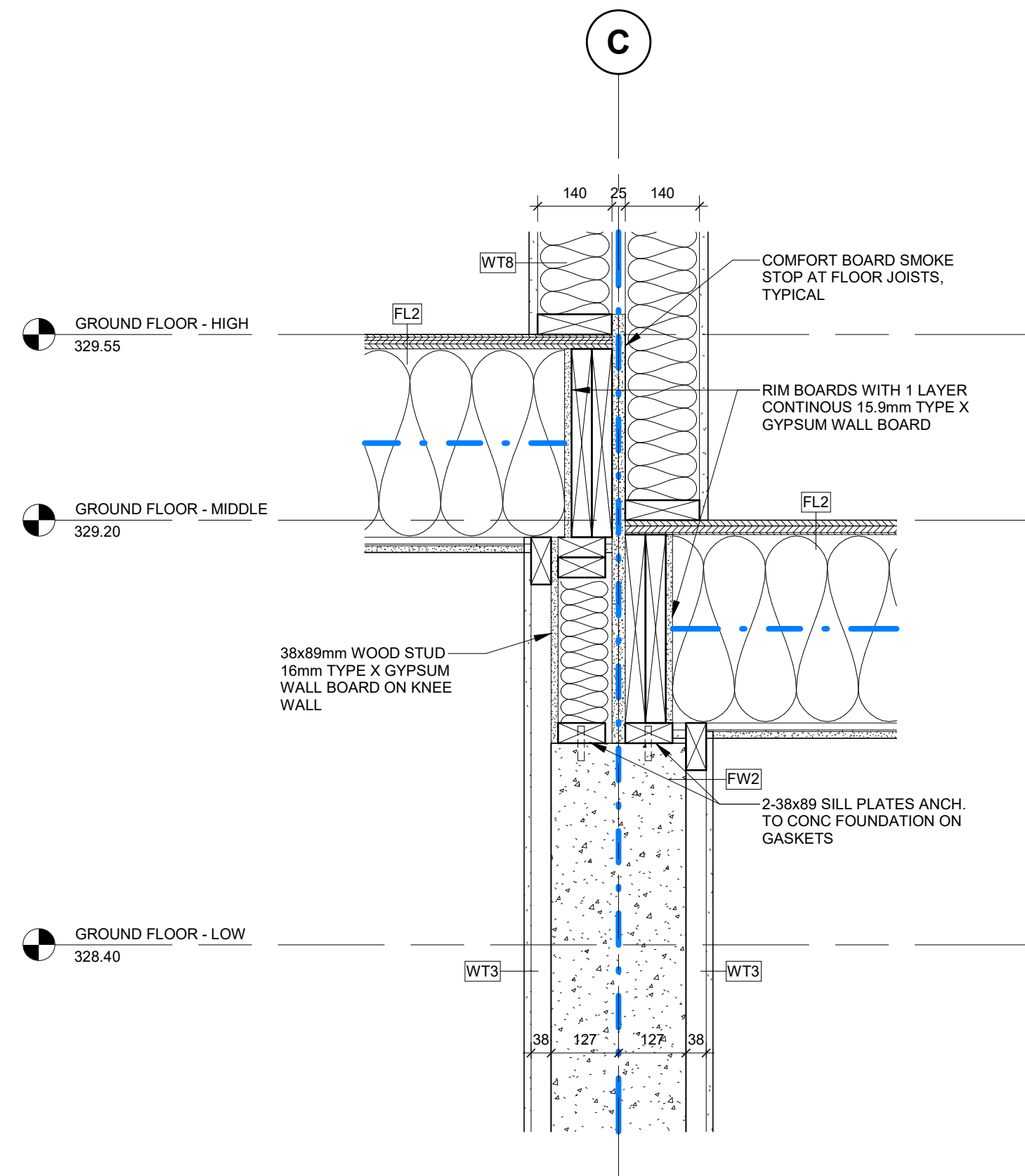
2 SECTION - UNIT DEMISING WALL AT FLOOR LEVEL
1 : 10



4 SECTION - UNIT DEMISING WALL AT STEPPED FLOOR LEVELS
1 : 10



1 SECTION - UNIT DEMISING WALL AT FLUSH FOUNDATION WALL
1 : 10



3 SECTION - UNIT DEMISING WALL AT STEPPED FOUNDATION WALL
1 : 10

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:10

project :
WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

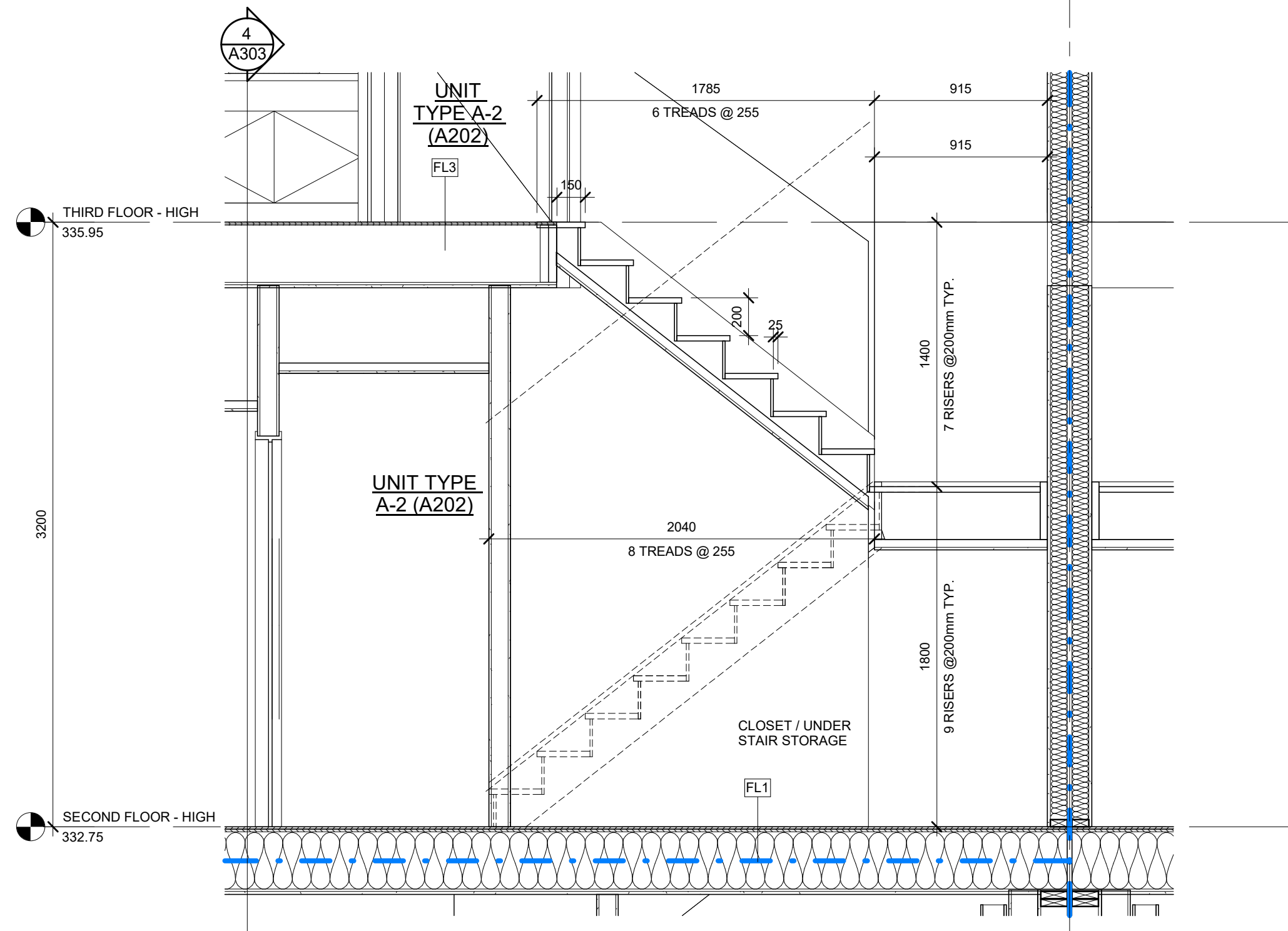
drawing :
TYPICAL DETAILS



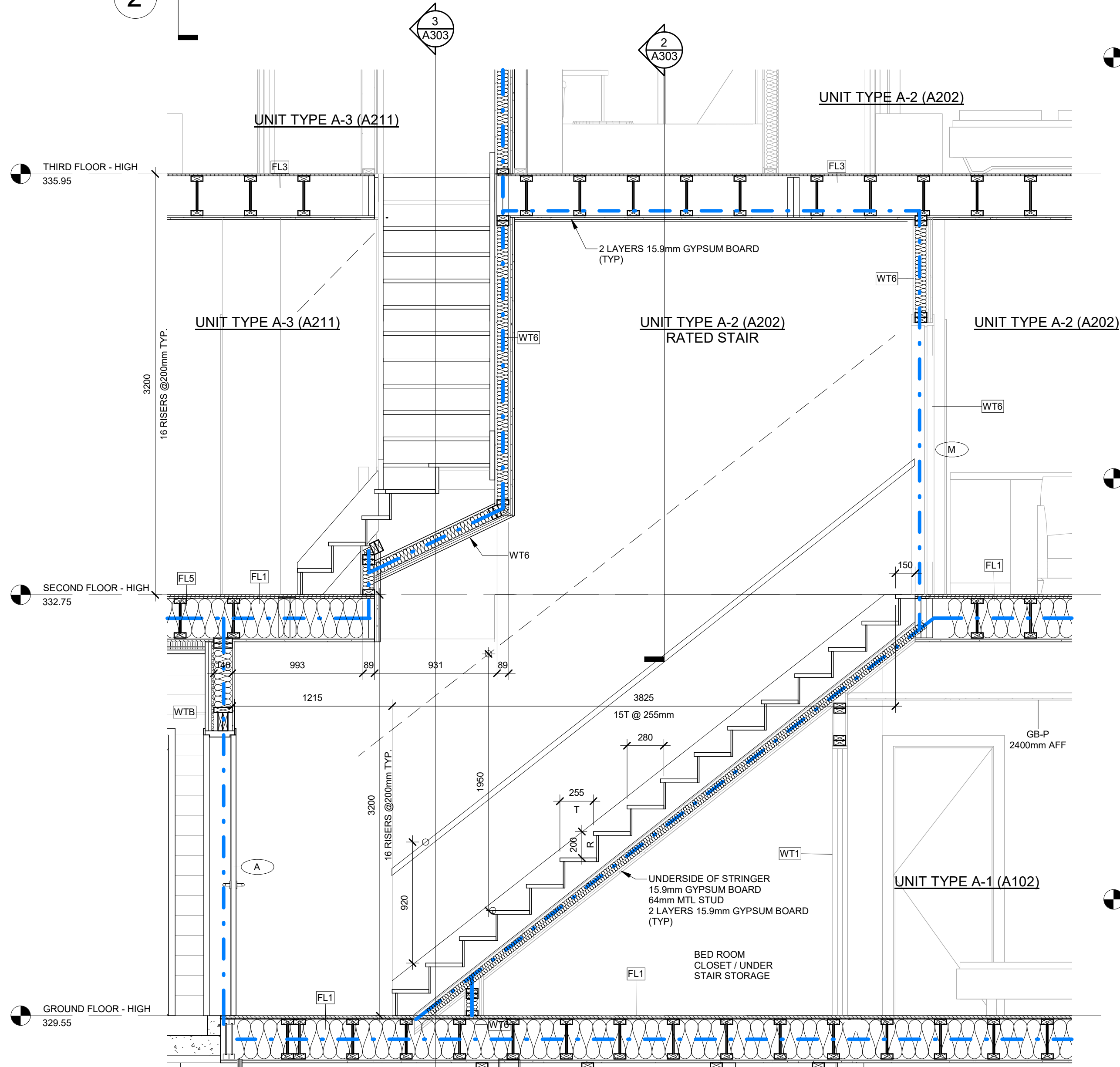
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project no. :	drawing no. :	rev. no. :
23051	A302	3

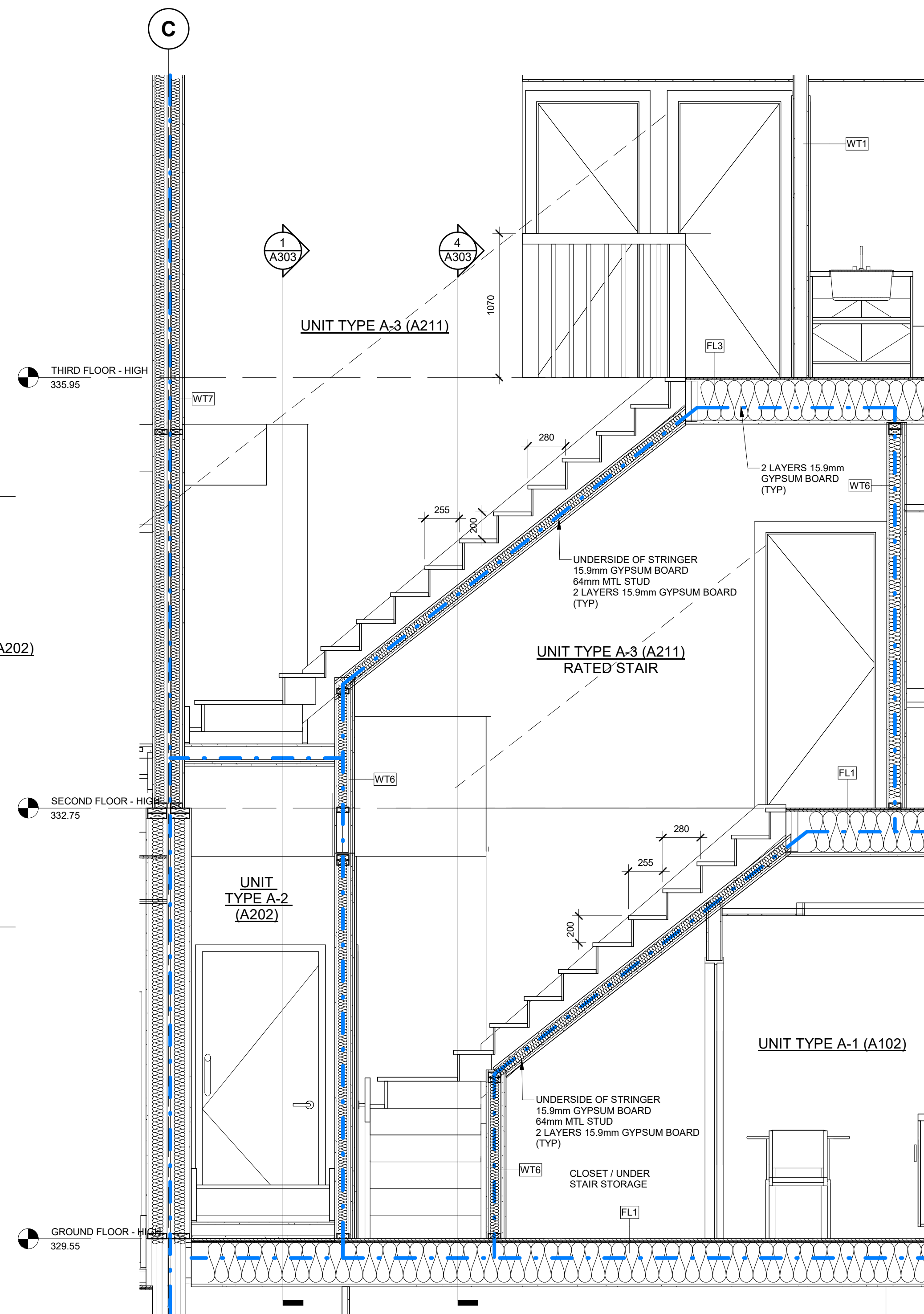
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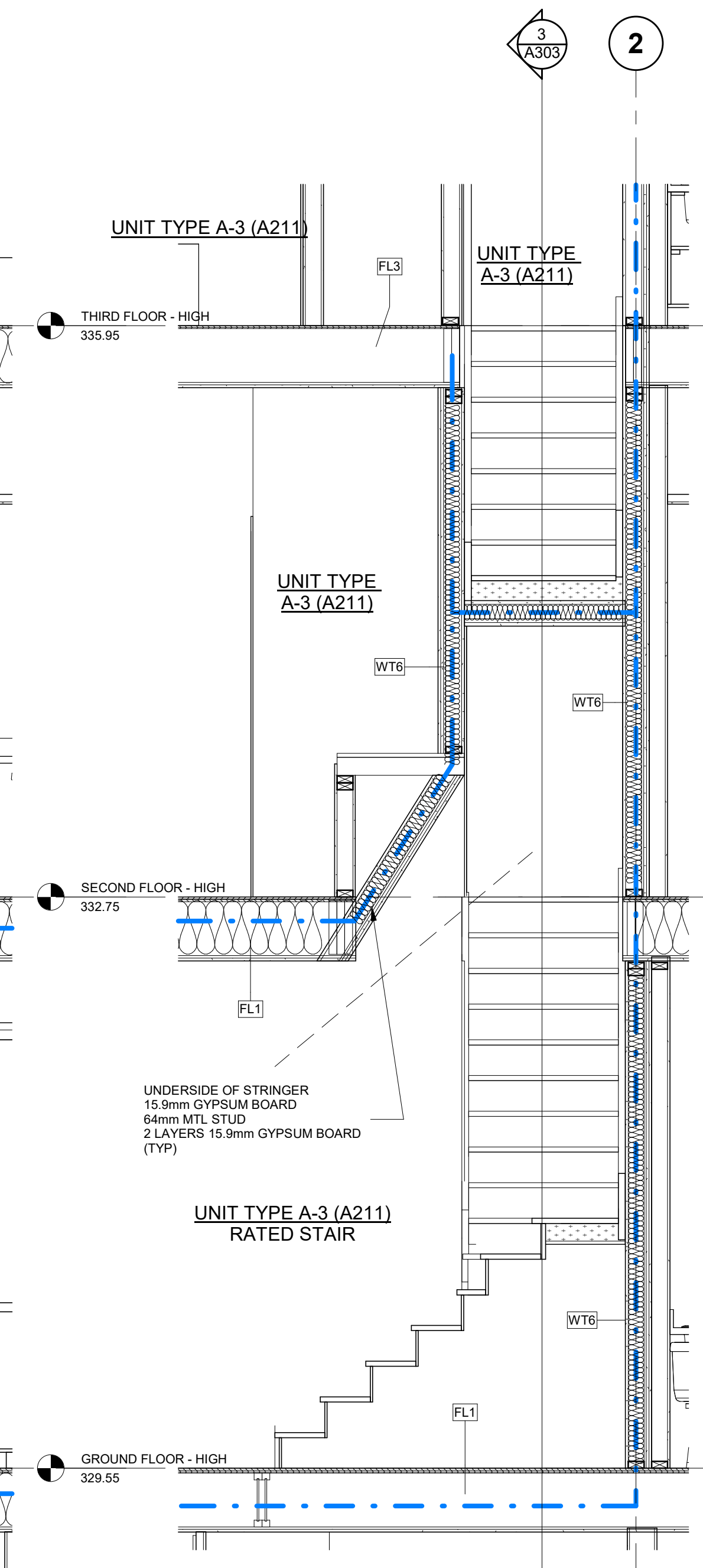
2 TYPICAL STAIR SECTION - UNIT TYPE A2



1 TYPICAL STAIR SECTION - UNIT TYPE A-2
1 : 25



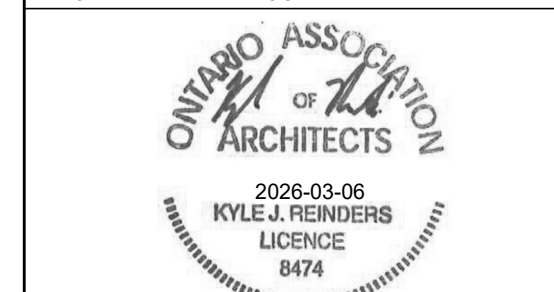
3 TYPICAL STAIR SECTION - UNIT TYPE A3 RATED



4 TYPICAL STAIR SECTION - UNIT TYPE A3

no.	revisions	date	int.
1	RE-ISSUED FOR PERMIT	2026-03-05	TB
0	ISSUED FOR TENDER	2025-12-23	RG

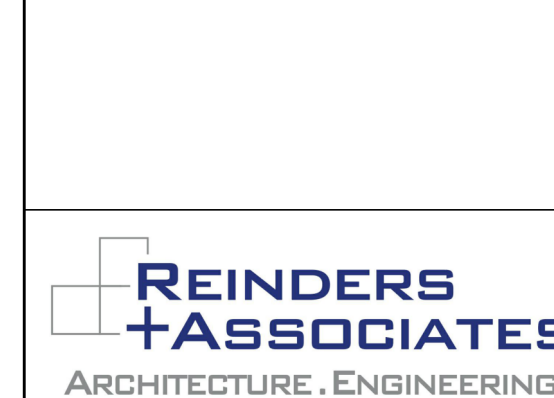
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drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1 : 25
project :

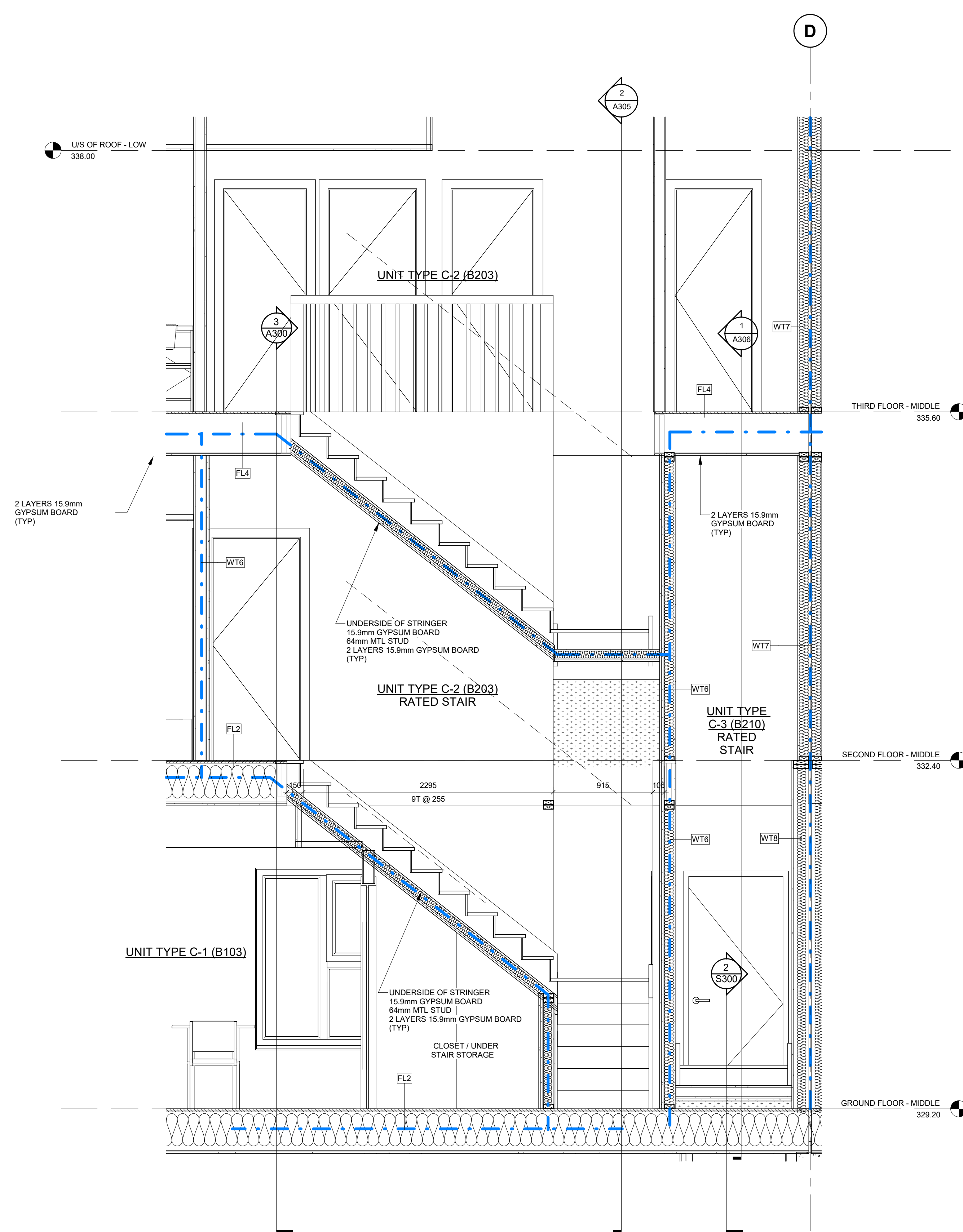
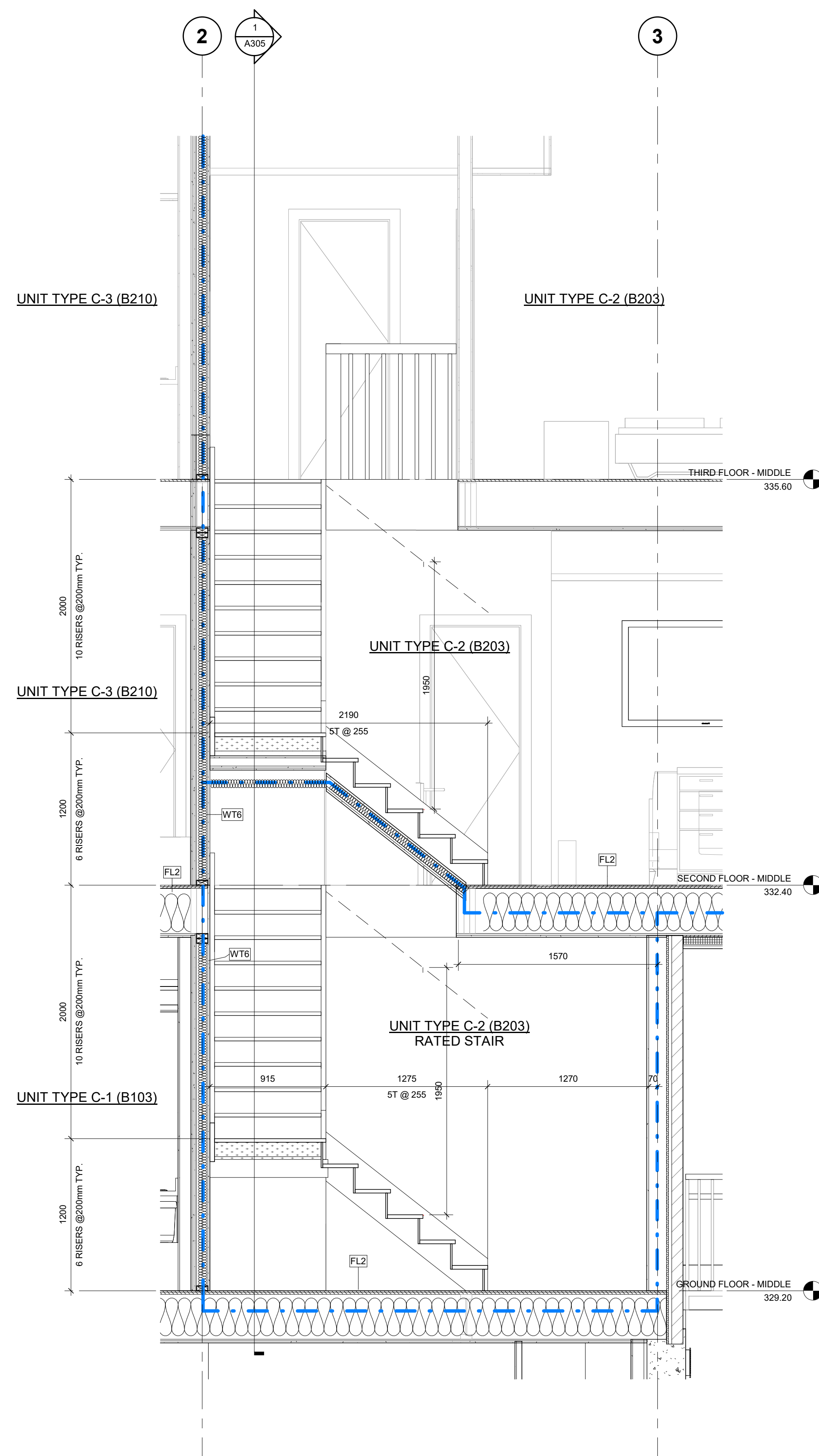
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
STAIR SECTIONS UNIT A



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project no. : 23051
drawing no. : A303
rev. no. : 1



0	RE-ISSUED FOR PERMIT	2026-03-05		

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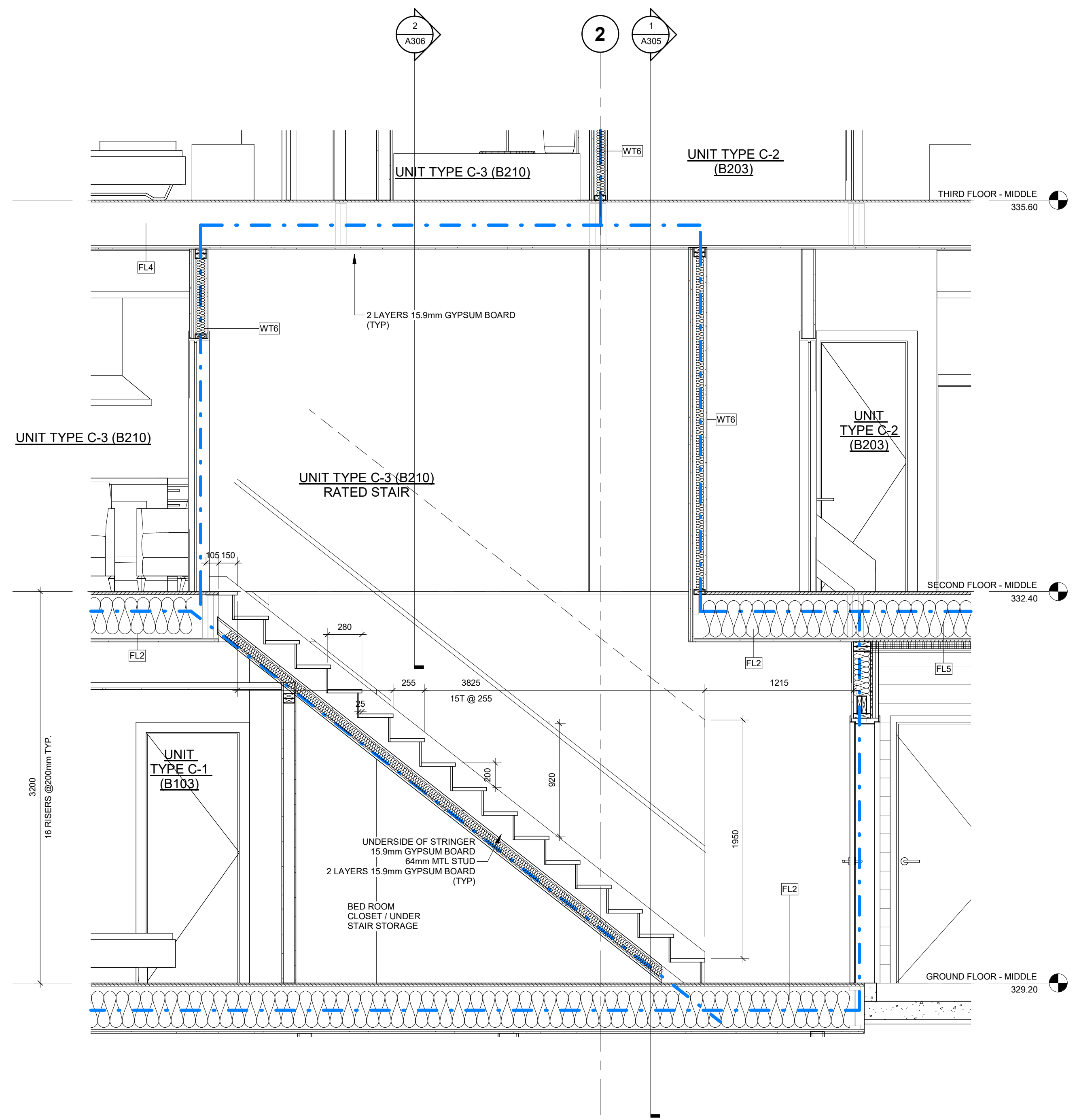
drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1:10
project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

drawing :
STAIR SECTIONS UNITS C1

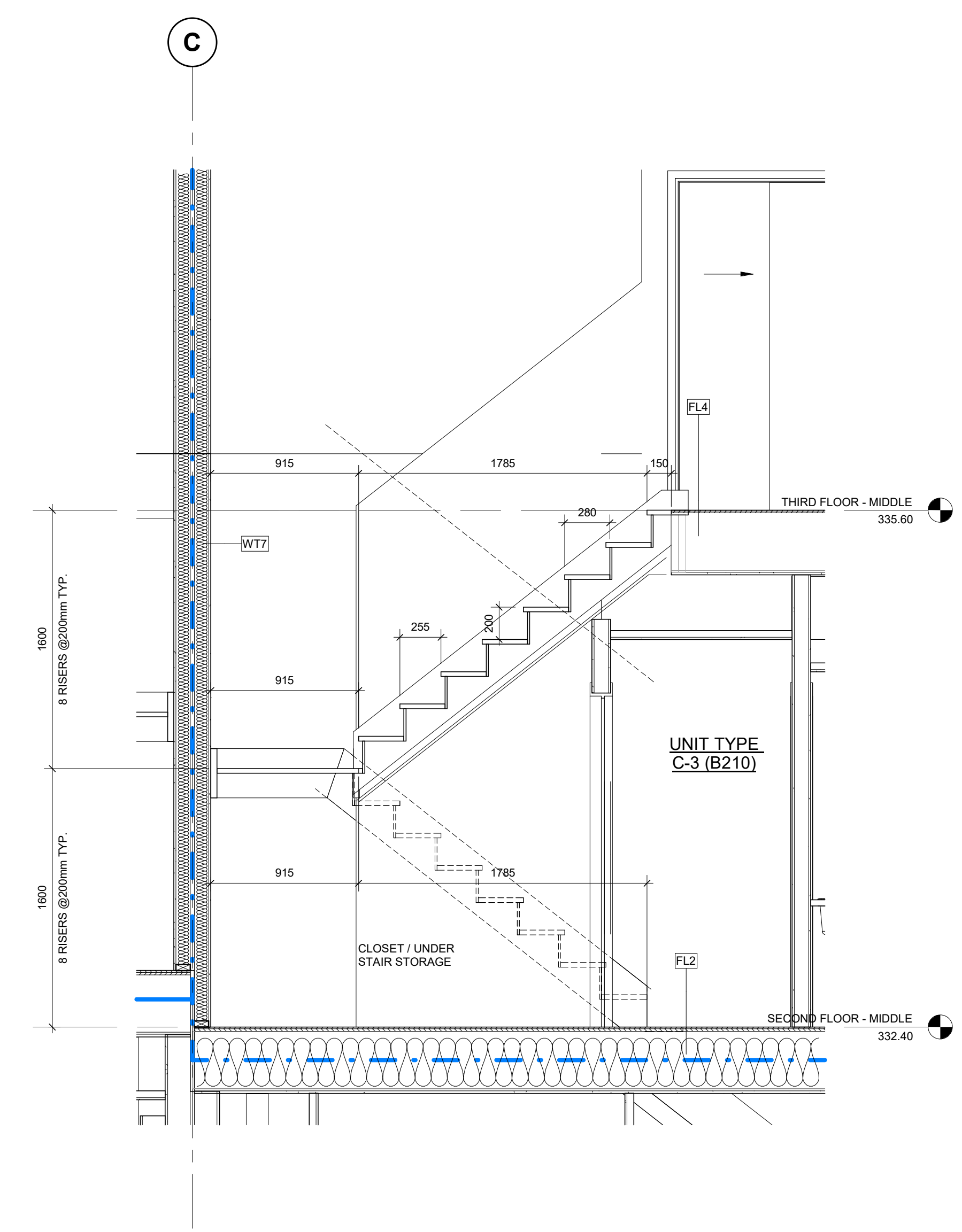
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project no. : 23051	drawing no. : A305	rev. no. : 0
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0 10 20 30 40 50 60 70 80 90 100



1 TYPICAL STAIR SECTION - UNIT TYPE C-2 RATED



2 TYPICAL STAIR SECTION - UNIT TYPE C-2

no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-06	TB
2	ISSUED FOR TENDER	2025-12-23	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1:10

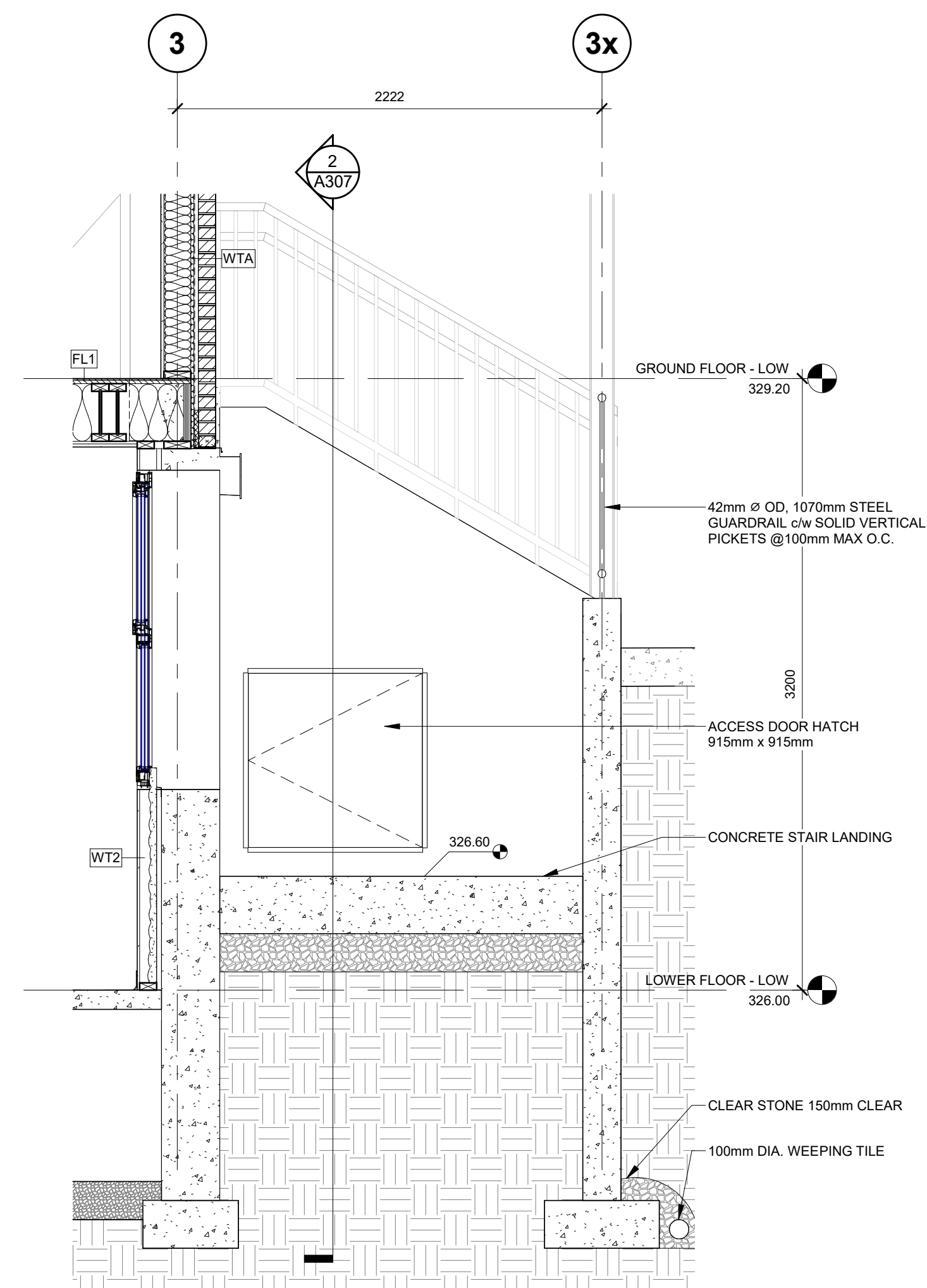
project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
STAIR SECTIONS UNITS C2

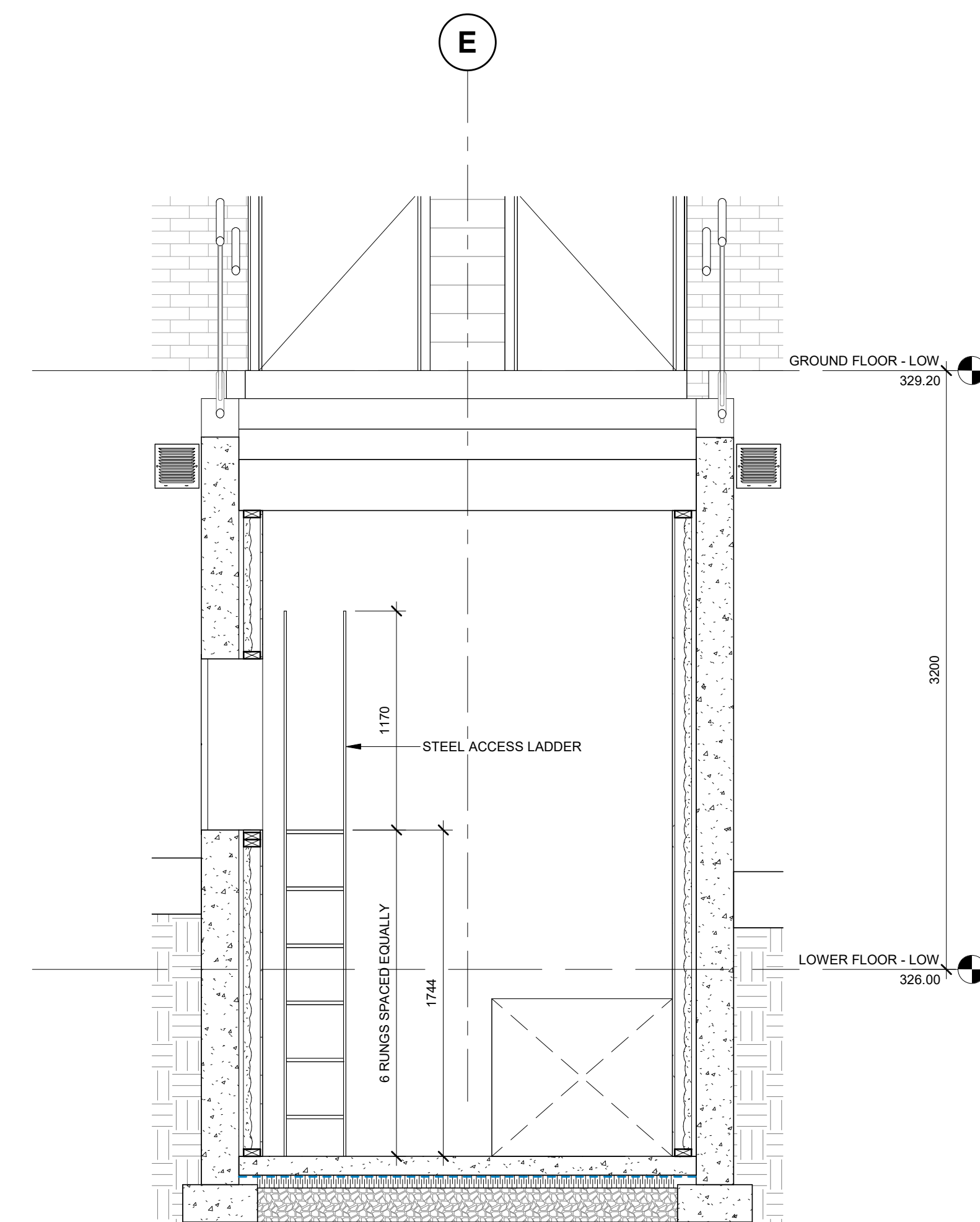


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project no. :	drawing no. :	rev. no. :
23051	A306	3



1 TYPICAL ACCESS DOOR FROM STAIR LANDING



2 TYPICAL SECTION THROUGH UTILITY ROOM

1	RE-ISSUED FOR PERMIT	2026-03-05	TB
0	ISSUED FOR TENDER	2025-12-23	RG
no.	revisions	date	init.

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drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06

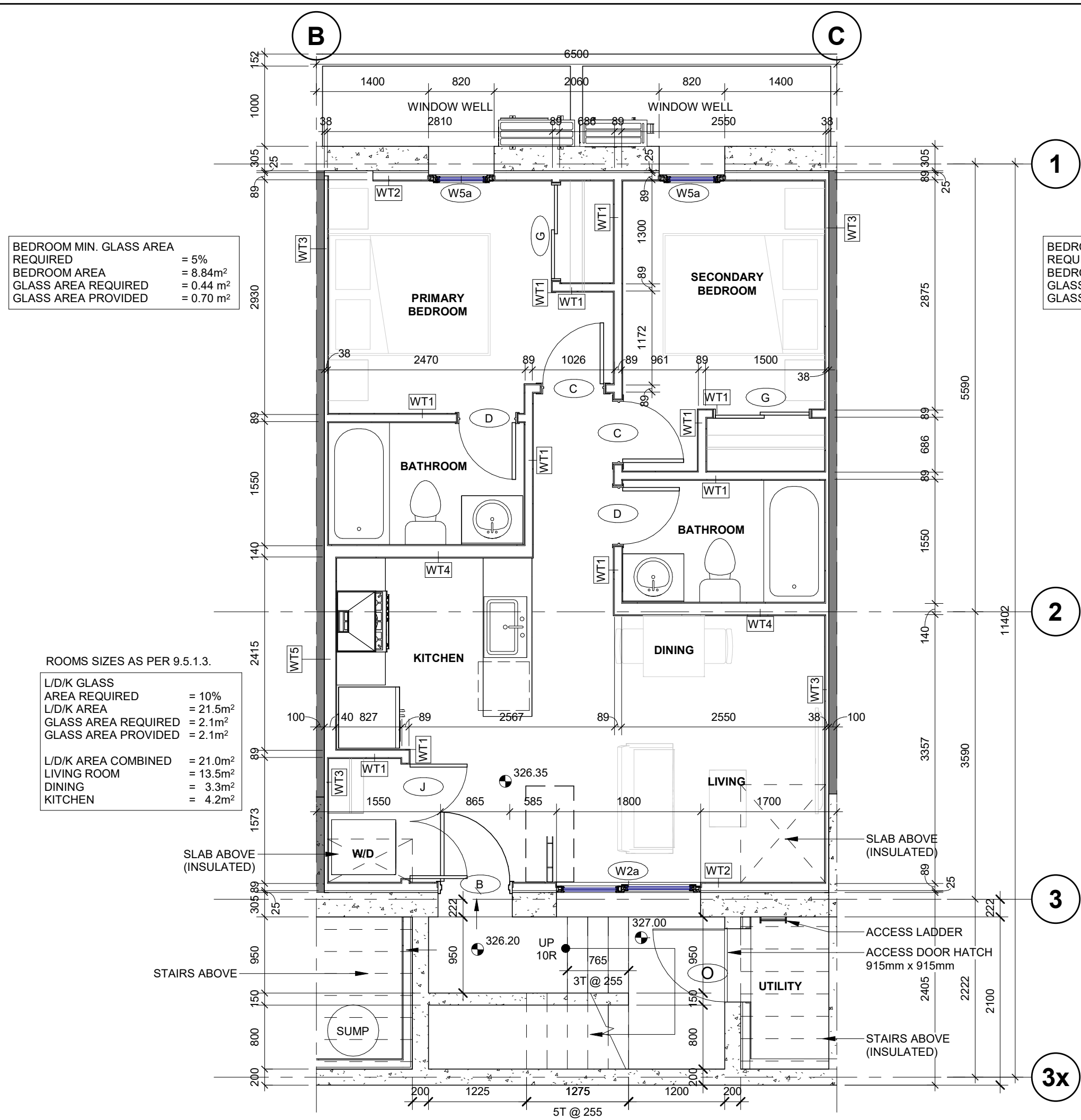
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project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

drawing :
SECTIONS & DETAILS

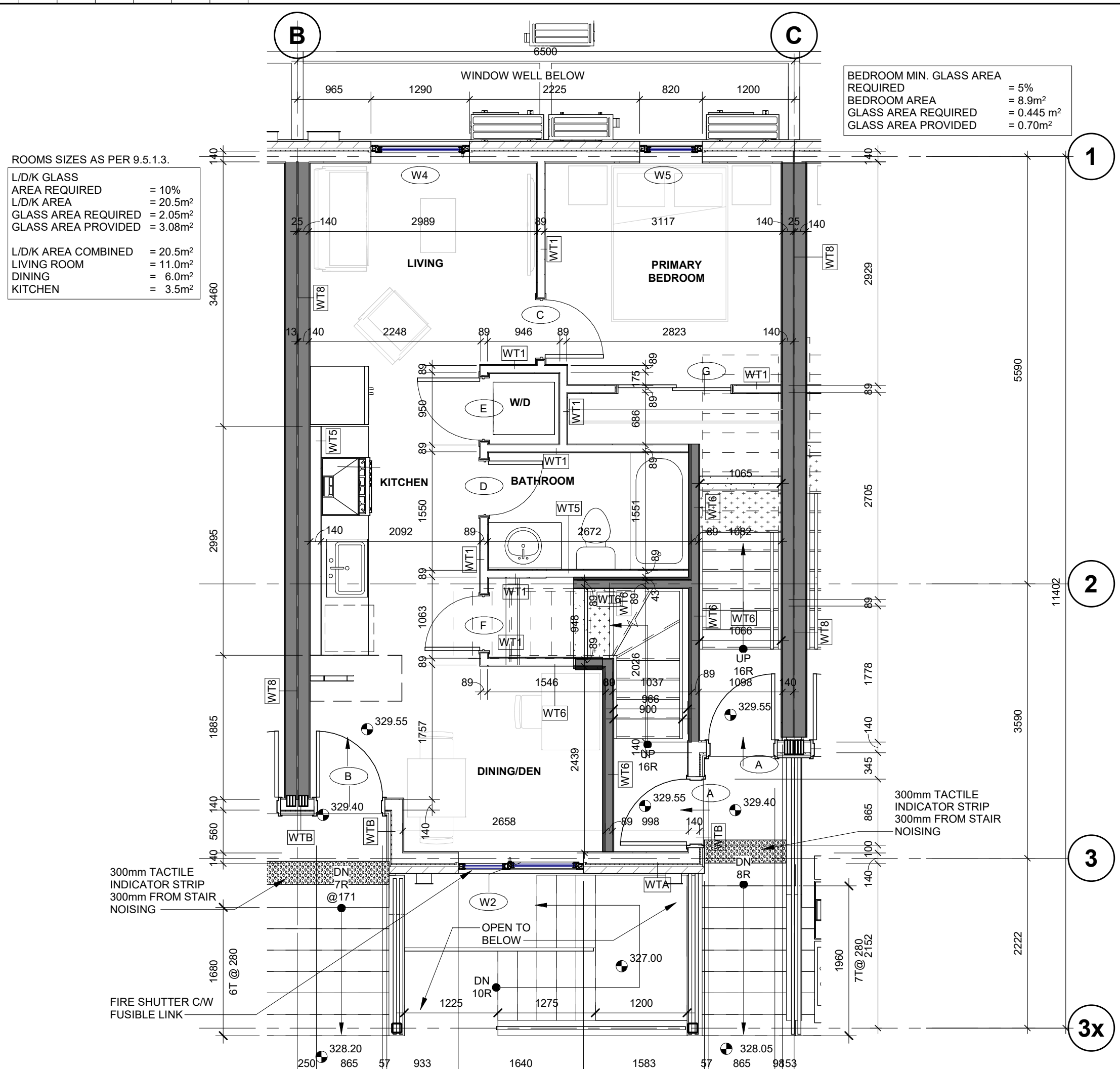
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project no. : 23051	drawing no. : A307	rev. no. : 1
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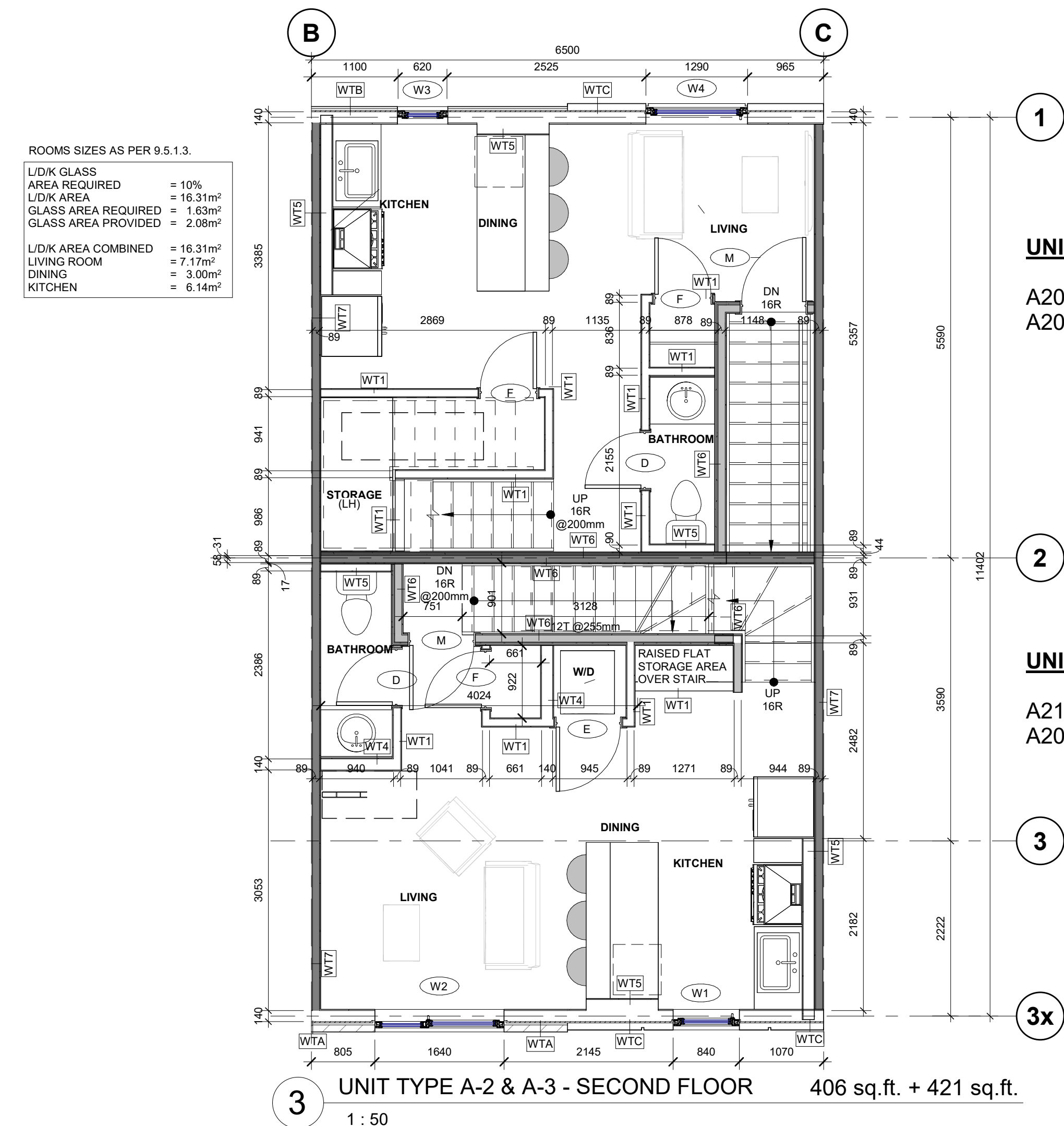
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1 UNIT TYPE A - LOWER FLOOR 705 sq.ft.
1 : 50 A002 (A001 REV/SIM, A003 REV/SIM, A004 SIM, A005 REV/SIM)



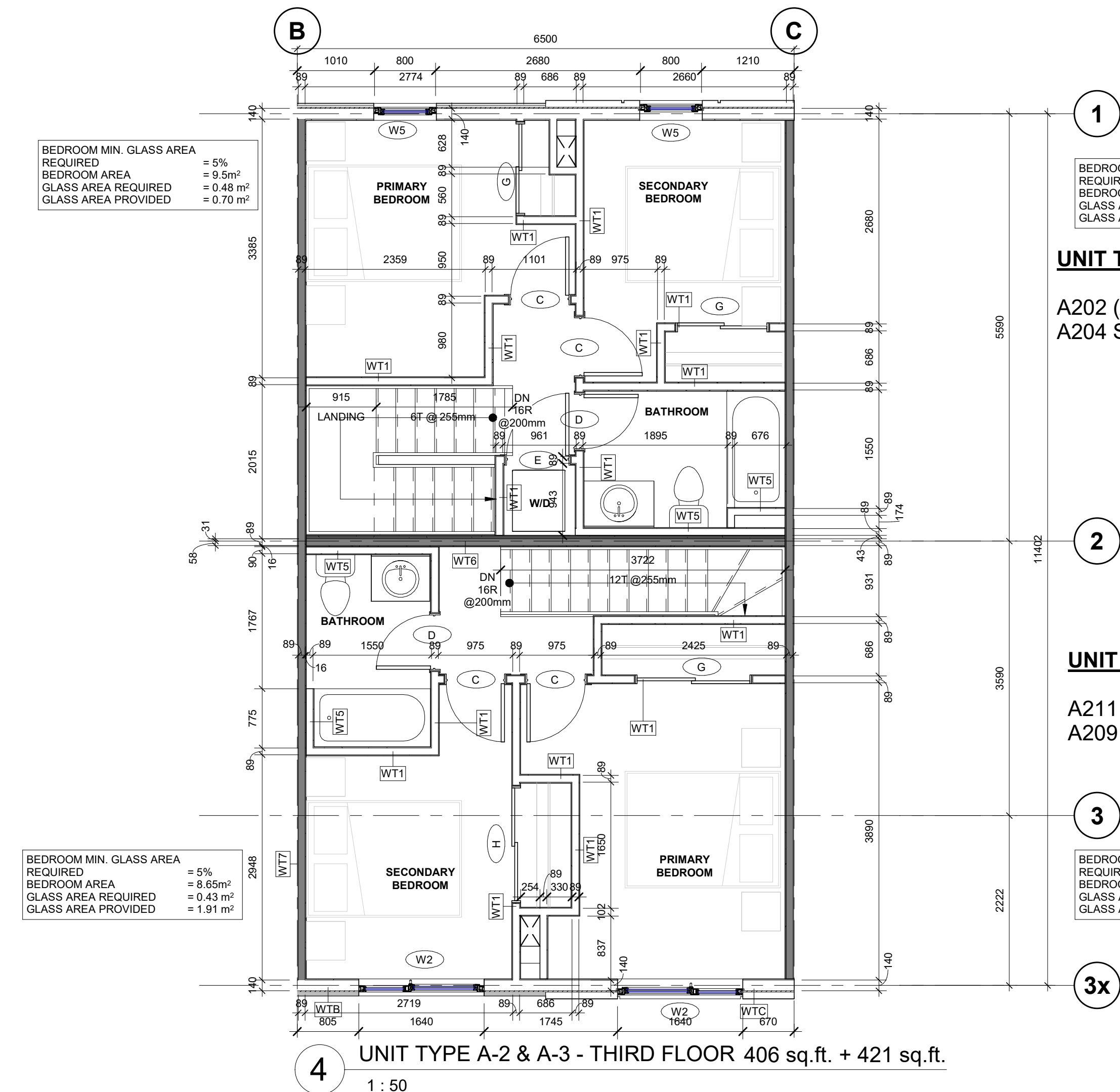
2 UNIT TYPE A-1 - GROUND FLOOR 530 sq.ft.
1 : 50 A102 (A101 REV/SIM, A103 REV/SIM, A104 SIM, A105 REV/SIM)



3 UNIT TYPE A-2 & A-3 - SECOND FLOOR 406 sq.ft. + 421 sq.ft.
1 : 50

UNIT TYPE A-2
A202 (A201 REV/SIM, A203 REV/SIM, A204 SIM, A205 REV/SIM)

UNIT TYPE A-3
A211 (A212 REV/SIM, A210 REV/SIM, A209 SIM, A208 REV/SIM)



4 UNIT TYPE A-2 & A-3 - THIRD FLOOR 406 sq.ft. + 421 sq.ft.
1 : 50

UNIT TYPE A-2
A202 (A201 REV/SIM, A203 REV/SIM, A204 SIM, A205 REV/SIM)

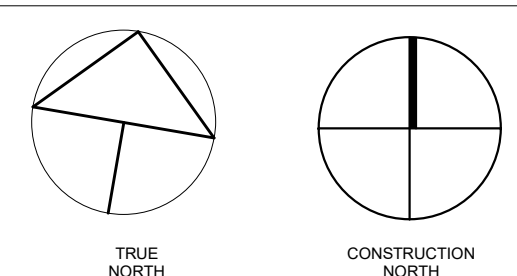
UNIT TYPE A-3
A211 (A212 REV/SIM, A210 REV/SIM, A209 SIM, A208 REV/SIM)

UNIT PLAN KEY NOTES

- OWNER TO SUPPLY FRIDGE, STOVE AND DISHWASHER. CONTRACTOR TO COORDINATE INSTALLATION.
- INSTALL BATHTUB AND/OR SHOWER BASE, WATER CLOSET AND SINK ALL CW FAUCETS AND SHOWER CURTAIN ROD. (REFER TO MECH. DWGS)
- SUPPLY AND INSTALL MIRROR, TOILET PAPER DISPENSER & 600mm TOWEL ROD AS SPECIFIED. PROVIDE MIN. 13mm PLYWOOD BACKING BEHIND GYPSUM BOARD TO ENSURE ADEQUATE SECUREMENT.
- SUPPLY AND INSTALL BLOCKING FOR FUTURE GRAB BARS IN WALLS AROUND TOILET AND BATH TUB/SHOWER STALL
- SUPPLY AND INSTALL 460mm DEEP WIRE SHELVING c/w INTEGRATED HANGER ROD AT ALL CLOSET LOCATIONS AS PER SPECIFICATION.
- OWNER TO SUPPLY STACKING WASHER AND DRYER. CONTRACTOR TO COORDINATE INSTALLATION.
- PREFINISHED COMMUNICATION PANEL (REFER TO ELEC. DWGS)
- PREFINISHED ELECTRICAL PANEL (REFER TO ELEC. DWGS)
- FIVE FULL DEPTH WIRE SHELVES FOR LINEN
- DIFFUSERS IN U/S OF GBB TO BE CENTERED IN BULKHEAD OR WHEN THERE ARE MULTIPLE DUCTS THEN DIFFUSER TO BE MIN. 100mm FROM VERTICAL FACE OF GBB UNLESS OTHERWISE NOTED.
- CEILING DIFFUSER TO HAVE MIN. 100mm SEPARATION FROM MAP
- WATER METER

UNIT PLAN GENERAL NOTES

- REFER TO OVERALL FLOOR PLANS A100 SERIES FOR LOCATIONS AND VARIATIONS IN PLAN.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME DETAILS.
- SITE VERIFY LOCATIONS OF WALLS PRIOR TO LAYING OUT SUITES. NOTIFY ARCHITECT OF ANY MAJOR VARIATIONS FROM DRAWINGS.
- COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS.
- PARTITIONS WHICH SUPPORT FIXTURES, MILLWORK AND/OR ACCESSORIES ARE TO BE REINFORCED WITH WOOD BLOCKING OR SHEET STEEL AS REQUIRED TO PROVIDE RIGID SUPPORT AND A FASTENING SURFACE.
- SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF DOORS, WINDOWS AND MILLWORK.
- INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD. TO/FROM FACE OF CONCRETE WALL, TO/FROM FACESTUD, UNLESS NOTED OTHERWISE.
- REPLACE 12.7mm GYPSUM BOARD WITH 15.9mm GYPSUM BOARD IN NECESSARY LOCATIONS TO KEEP GYPSUM BOARD THICKNESS CONSISTENT.
- DEMISING WALLS TO BE BUILT IN THEIR ENTIRETY AND FIRE TAPED FIRE STOPPED PRIOR TO CONSTRUCTION OF OTHER SUITE INTERIOR WALLS AND FITMENTS.
- 'MAP' IS MECHANICAL ACCESS PANEL.



no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-05	TB
3	RE-ISSUED FOR TENDER	2026-01-09	RG
2	RE-ISSUED FOR SPA	2025-01-09	TB
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:50
project : WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing : UNIT A, A-1, A-2 & A-3 - ENLARGED PLANS

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project no. : 23051
drawing no. : A400
rev. no. : 4

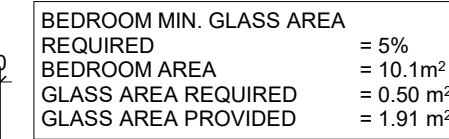
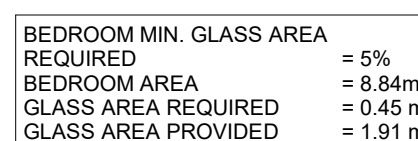
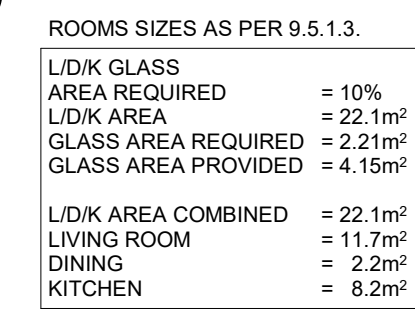
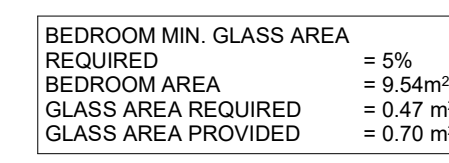



FIG.	REVISIONS	DATE
<p><u>GENERAL NOTE:</u></p> <p>THESE DRAWINGS ARE COPYRIGHT + ASSOCIATES AND THE PROPERTY OF REIMERS + ASSOCIATES LTD. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF REIMERS + ASSOCIATES LTD. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF REIMERS + ASSOCIATES IS STRICTLY PROHIBITED.</p> <p>DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY.</p>		



drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1 : 50

WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
UNIT B, B-1, B-2, & B-3 -
ENLARGED PLANS

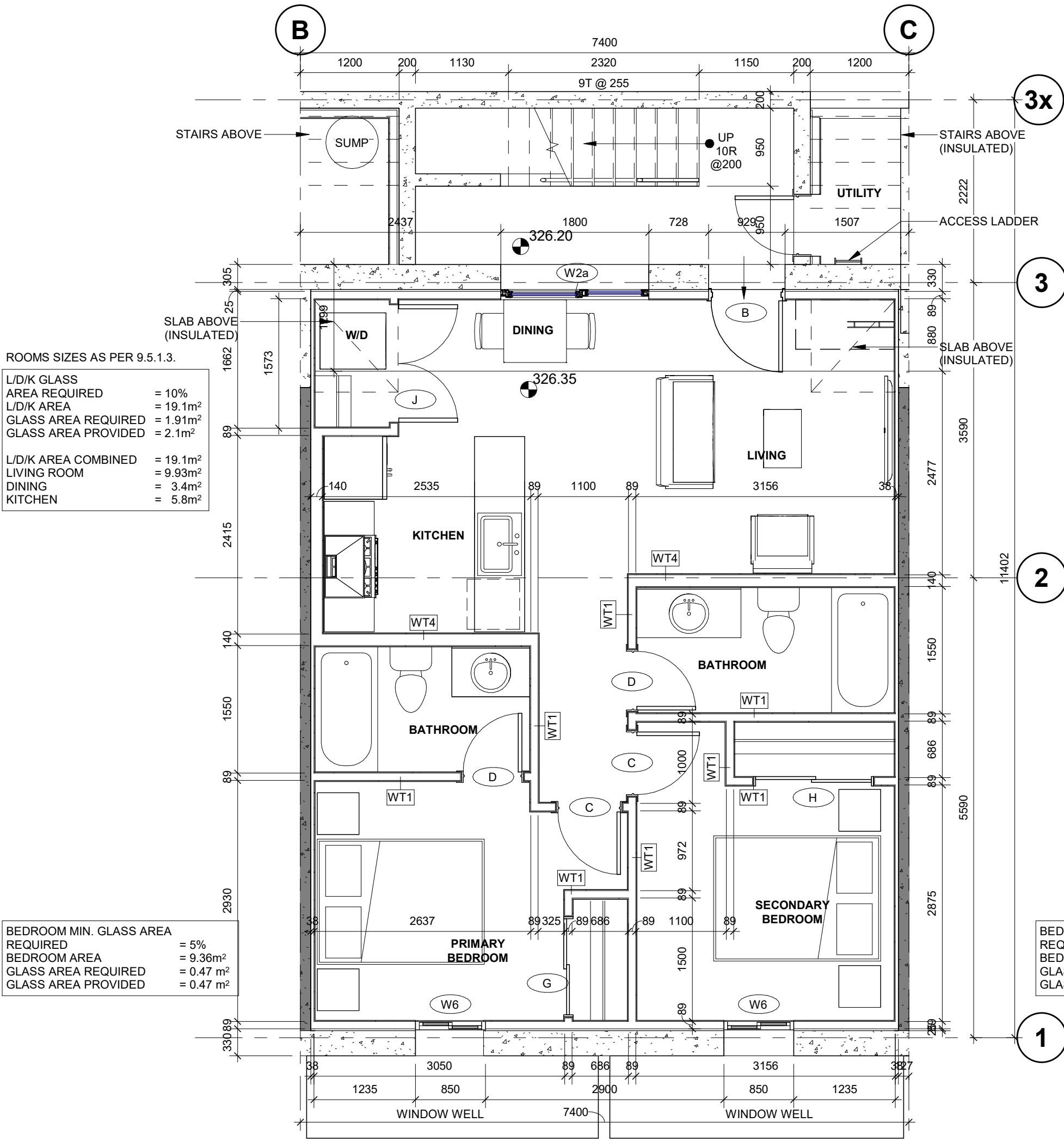


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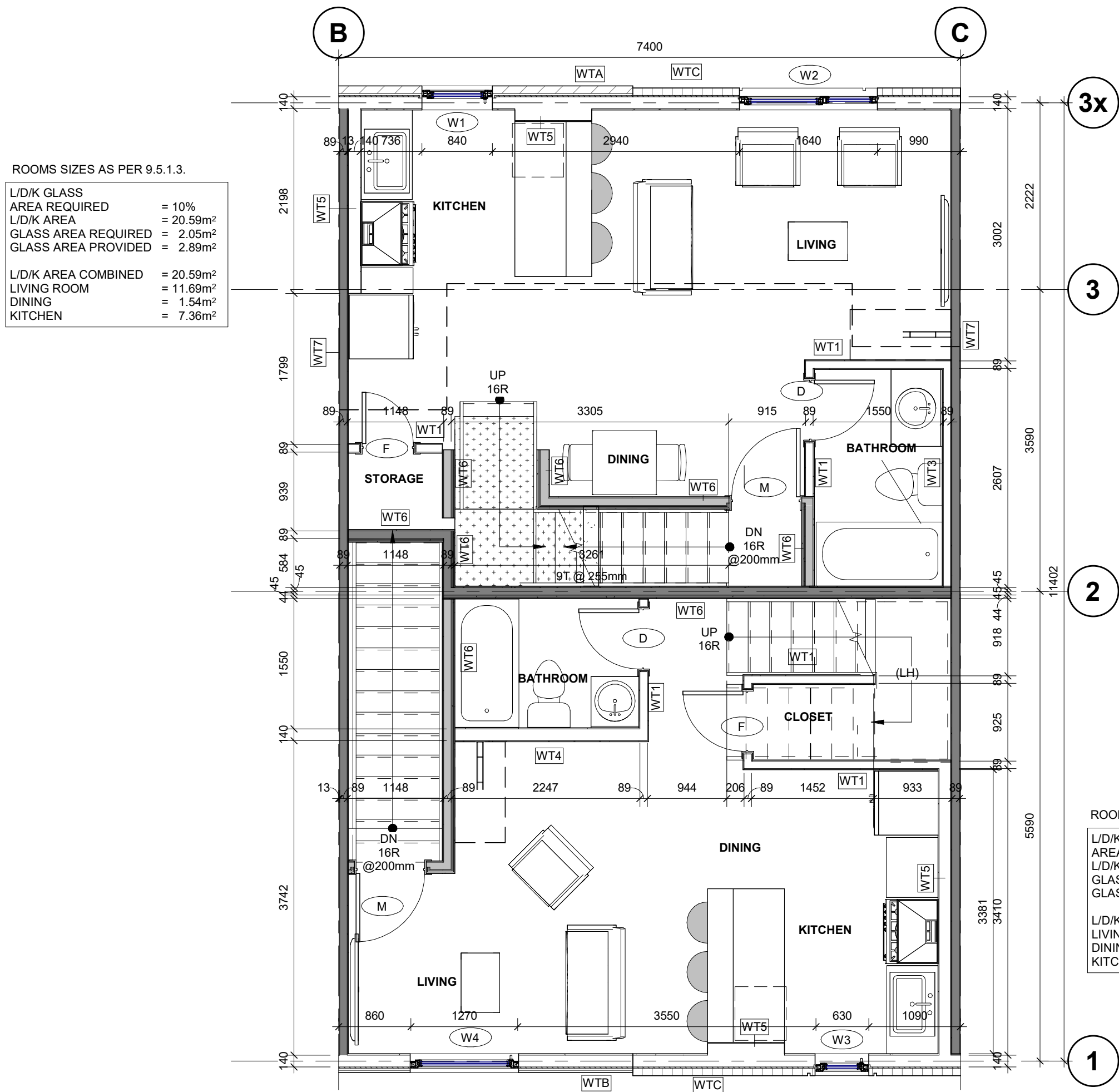
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project no. : 23051	drawing no. : A401	rev. no. : 4
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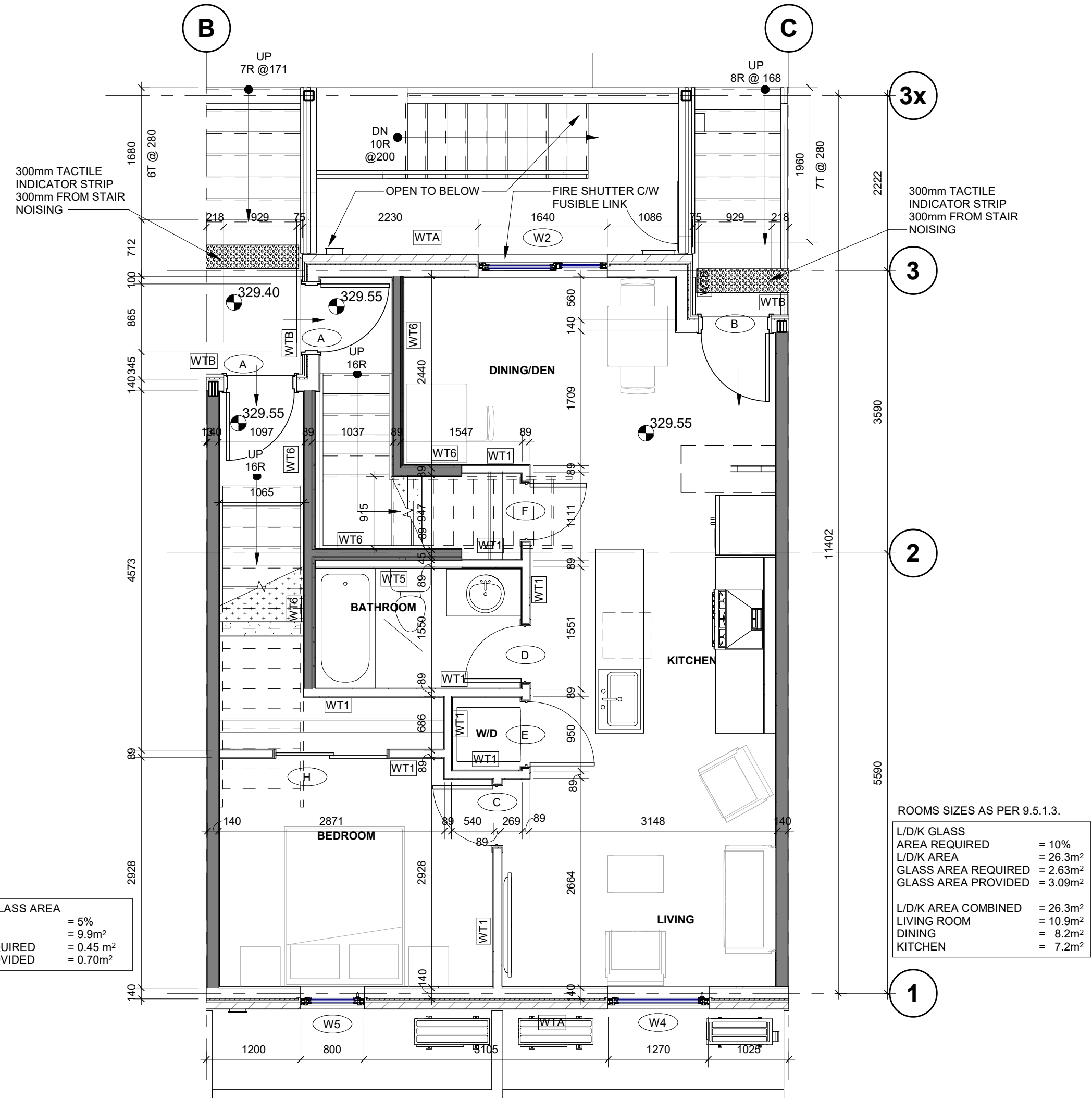
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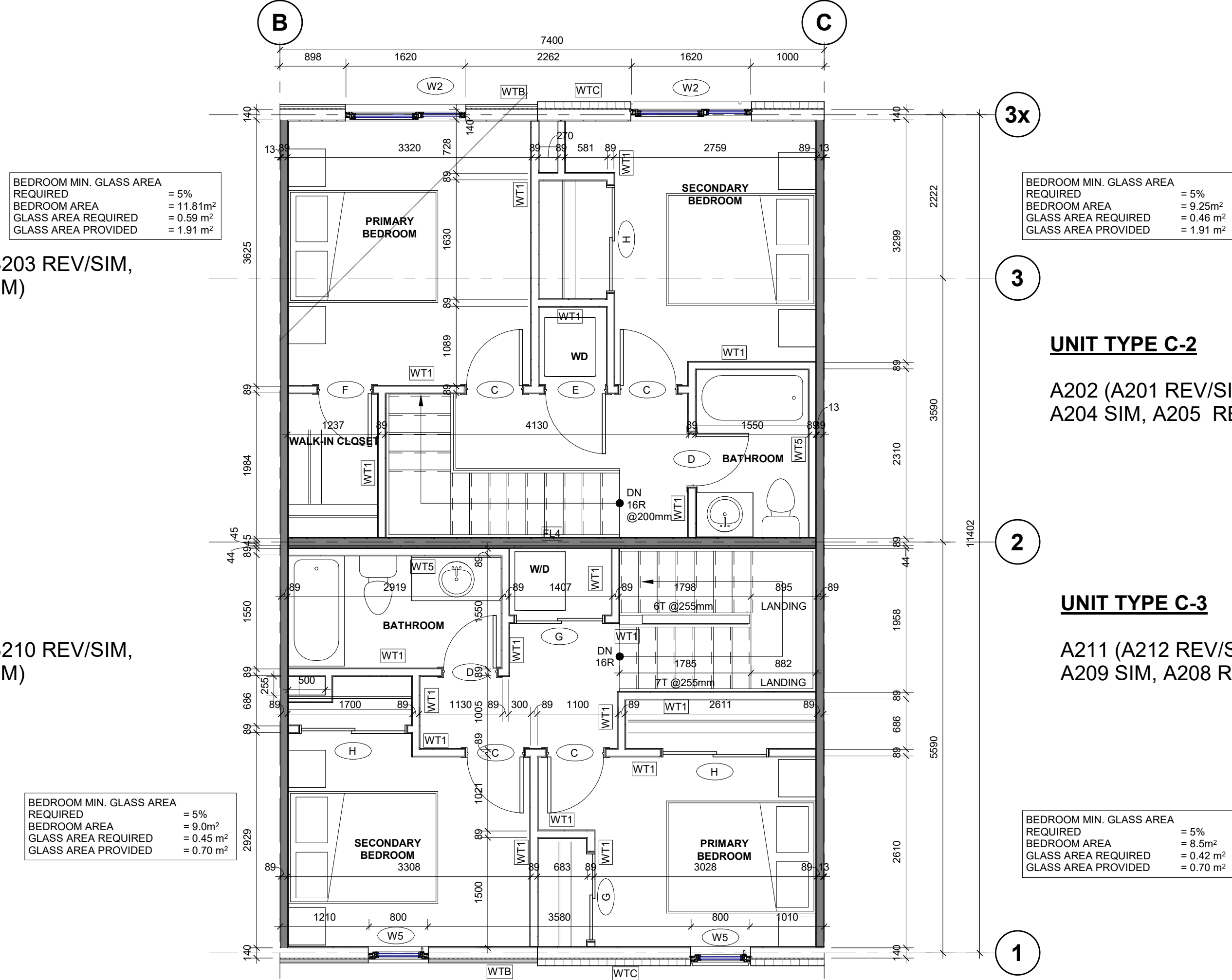
1 UNIT TYPE C - LOWER FLOOR 797 sq.ft.
1 : 50 B002 (B001 REV/SIM, B003 REV/SIM, B004 SIM, B005 REV/SIM)



3 UNIT TYPE C-2 & C-3 - SECOND FLOOR 468 sq.ft. + 471 sq.ft.
1 : 50



2 UNIT TYPE C-1 - GROUND FLOOR 626 sq.ft.
1 : 50 B102 (B101 REV/SIM, B103 REV/SIM, B104 SIM, B105 REV/SIM)



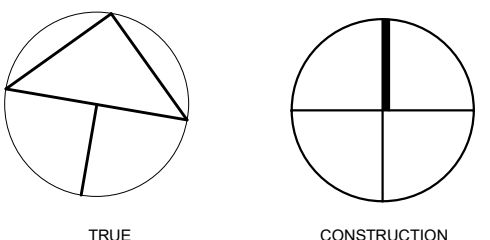
4 UNIT TYPE C-2 & C-3 - THIRD FLOOR 476 sq.ft. + 459 sq.ft.
1 : 50

UNIT PLAN KEY NOTES

- OWNER TO SUPPLY FRIDGE, STOVE AND DISHWASHER. CONTRACTOR TO COORDINATE INSTALLATION.
- INSTALL BATHTUB AND/OR SHOWER BASE, WATER CLOSET AND SINK ALL C/W FAUCETS AND SHOWER CURTAIN ROD. (REFER TO MECH. DWGS)
- SUPPLY AND INSTALL MIRROR, TOILET PAPER DISPENSER & 600mm TOWEL ROD AS SPECIFIED. PROVIDE MIN. 13mm PLYWOOD BACKING BEHIND GYPSUM BOARD TO ENSURE ADEQUATE SECUREMENT.
- SUPPLY AND INSTALL BLOCKING FOR FUTURE GRAB BARS IN WALLS AROUND TOILET AND BATH TUB/SHOWER STALL
- SUPPLY AND INSTALL 460mm DEEP WIRE SHELVING c/w INTEGRATED HANGER ROD AT ALL CLOSET LOCATIONS AS PER SPECIFICATION.
- OWNER TO SUPPLY STACKING WASHER AND DRYER. CONTRACTOR TO COORDINATE INSTALLATION.
- PREFINISHED COMMUNICATION PANEL (REFER TO ELEC. DWGS)
- PREFINISHED ELECTRICAL PANEL (REFER TO ELEC. DWGS)
- FIVE FULL DEPTH WIRE SHELVES FOR LINEN
- DIFFUSERS IN U/S OF GBB TO BE CENTERED IN BULKHEAD OR WHEN THERE ARE MULTIPLE DUCTS THEN DIFFUSER TO BE MIN. 100mm FROM VERTICAL FACE OF GBB UNLESS OTHERWISE NOTED.
- CEILING DIFFUSER TO HAVE MIN. 100mm SEPARATION FROM MAP
- WATER METER

UNIT PLAN GENERAL NOTES

- REFER TO OVERALL FLOOR PLANS A100 SERIES FOR LOCATIONS AND VARIATIONS IN PLAN.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME DETAILS.
- SITE VERIFY LOCATIONS OF WALLS PRIOR TO LAYING OUT SUITES. NOTIFY ARCHITECT OF ANY MAJOR VARIATIONS FROM DRAWINGS.
- COORDINATE STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS.
- PARTITIONS WHICH SUPPORT FIXTURES, MILLWORK AND/OR ACCESSORIES ARE TO BE REINFORCED WITH WOOD BLOCKING OR SHEET STEEL AS REQUIRED TO PROVIDE RIGID SUPPORT AND A FASTENING SURFACE.
- SITE VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OF DOORS, WINDOWS AND MILLWORK.
- INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD. TO/FROM FACE OF CONCRETE WALL, TO/FROM FACESTUD, UNLESS NOTED OTHERWISE.
- REPLACE 12.7mm GYPSUM BOARD WITH 15.9mm GYPSUM BOARD IN NECESSARY LOCATIONS TO KEEP GYPSUM BOARD THICKNESS CONSISTENT.
- DEMISING WALLS TO BE BUILT IN THEIR ENTIRETY AND FIRE TAPED FIRE STOPPED PRIOR TO CONSTRUCTION OF OTHER SUITE INTERIOR WALLS AND FITMENTS.
- 'MAP' IS MECHANICAL ACCESS PANEL.



no.	revisions	date	int.
5	RE-ISSUED FOR PERMIT	2026-03-05	TB
4	RE-ISSUED FOR TENDER	2026-01-09	RG
3	RE-ISSUED FOR SPA	2026-01-09	TB
2	ISSUED FOR TENDER	2026-01-08	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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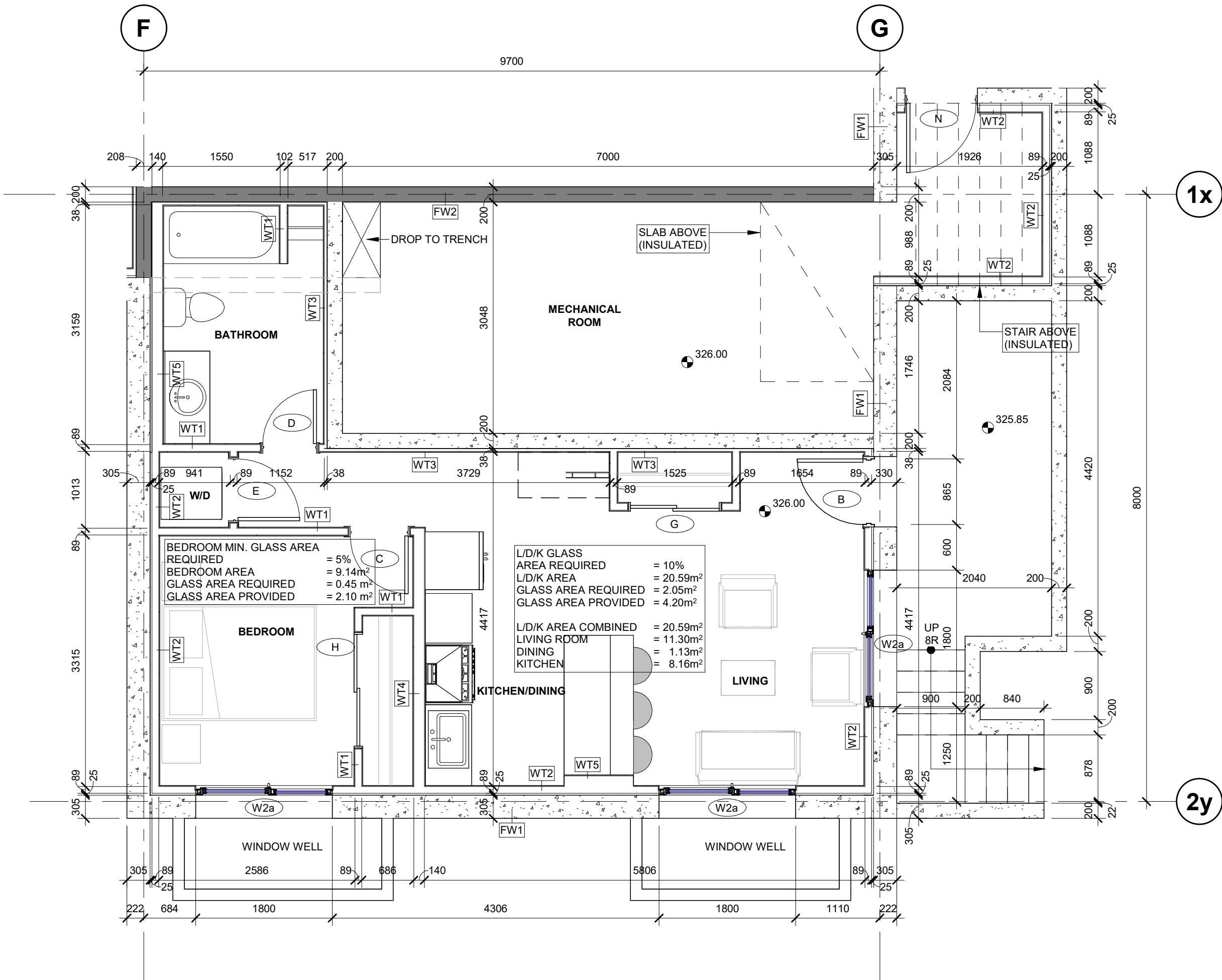
drawn : SM
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:50
project :
WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing :
UNIT C, C-1, C-2, & C-3 -
ENLARGED PLANS

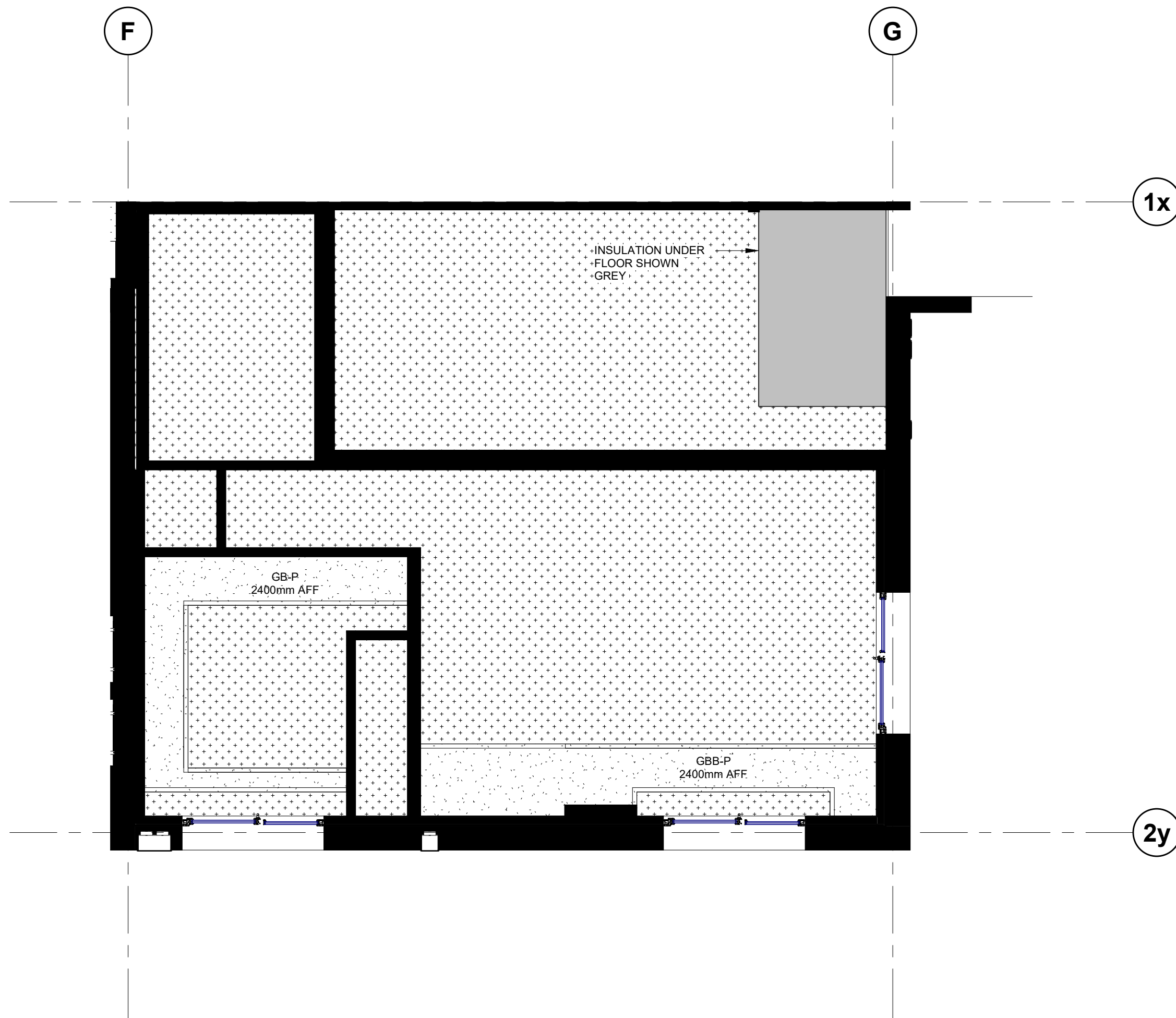
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project no. : 23051
drawing no. : A402
rev. no. : 5

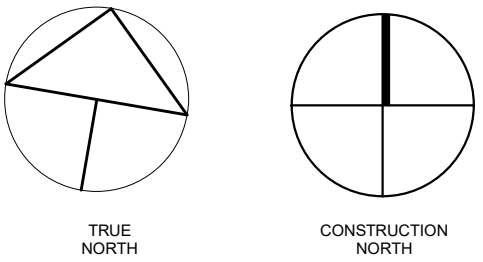


1 UNIT TYPE Ba - LOWER FLOOR 636 sq.ft.
1 : 50 A007 & B006 REV/SIM



2 UNIT TYPE Ba - LOWER FLOOR RCP

CEILING LEGEND	
	GYPSUM BOARD CEILING
<ul style="list-style-type: none">GYPSUM BOARD FINISH TO U/S WOOD STRUCTURE - REFER TO FLOOR PLANS AND FLOOR TYPE ASSEMBLY LEGEND DRAWING A007.SMOOTH PAINTED FINISH.	
	GYPSUM BOARD BULKHEADS
<ul style="list-style-type: none">12.7mm GYPSUM BOARD ON SUSPENDED 42mm METAL FURRINGREFER TO RCP FOR DROP HEIGHT.SMOOTH PAINTED FINISH	
	U/S STAIR CEILING 1HR FRR
<ul style="list-style-type: none">TWO LAYERS 15.9mm FIRE RATED GYPSUM BOARD ON12.5mm RESILIENT CHANNELSSMOOTH PAINTED FINISH	



no.	revisions	date	int.
3	RE-ISSUED FOR PERMIT	2026-03-05	TB
2	RE-ISSUED FOR TENDER	2026-01-09	KR
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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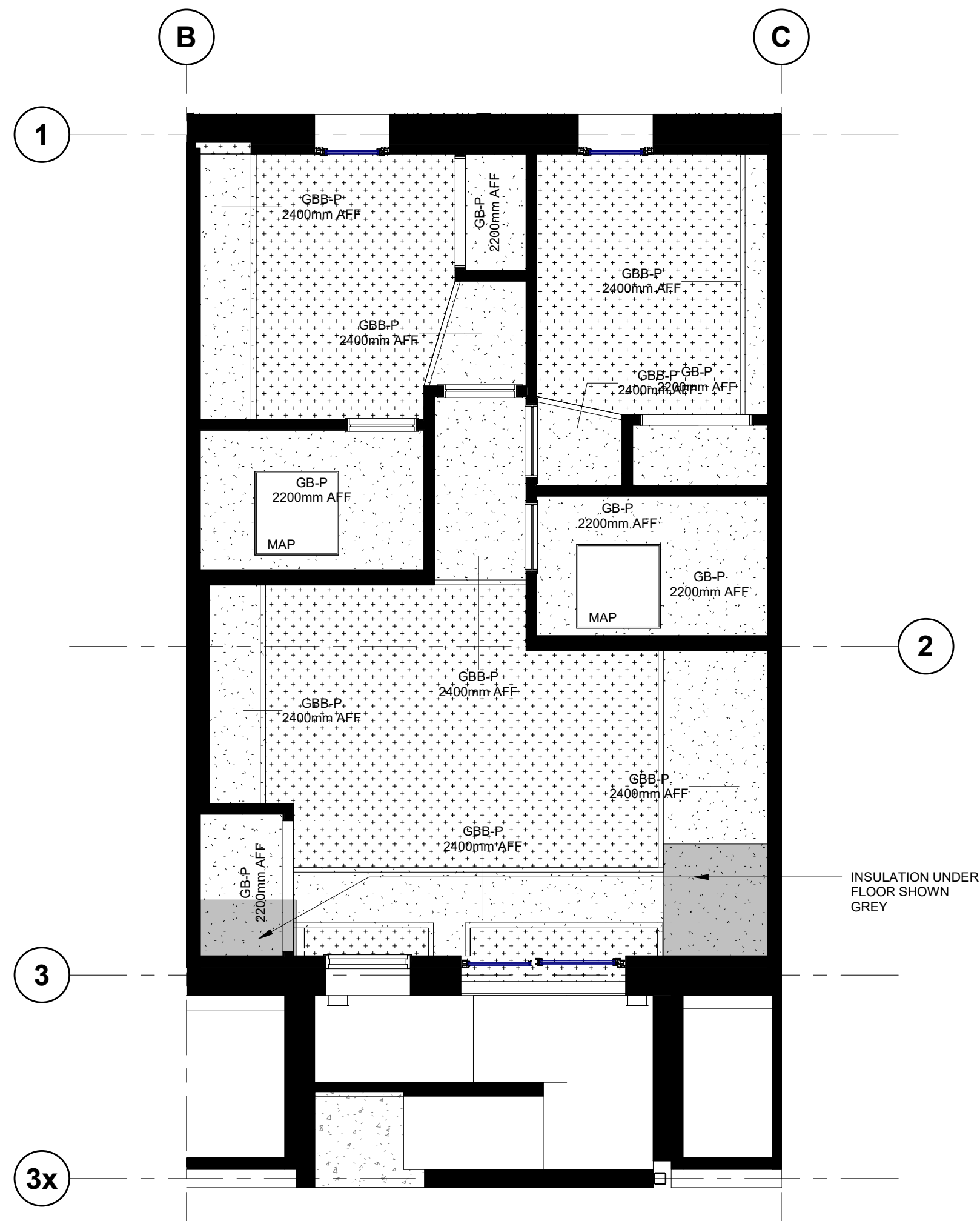
drawn :	SM
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	As indicated
project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

drawing :
UNIT Ba- ENLARGED PLAN & CEILING PLAN

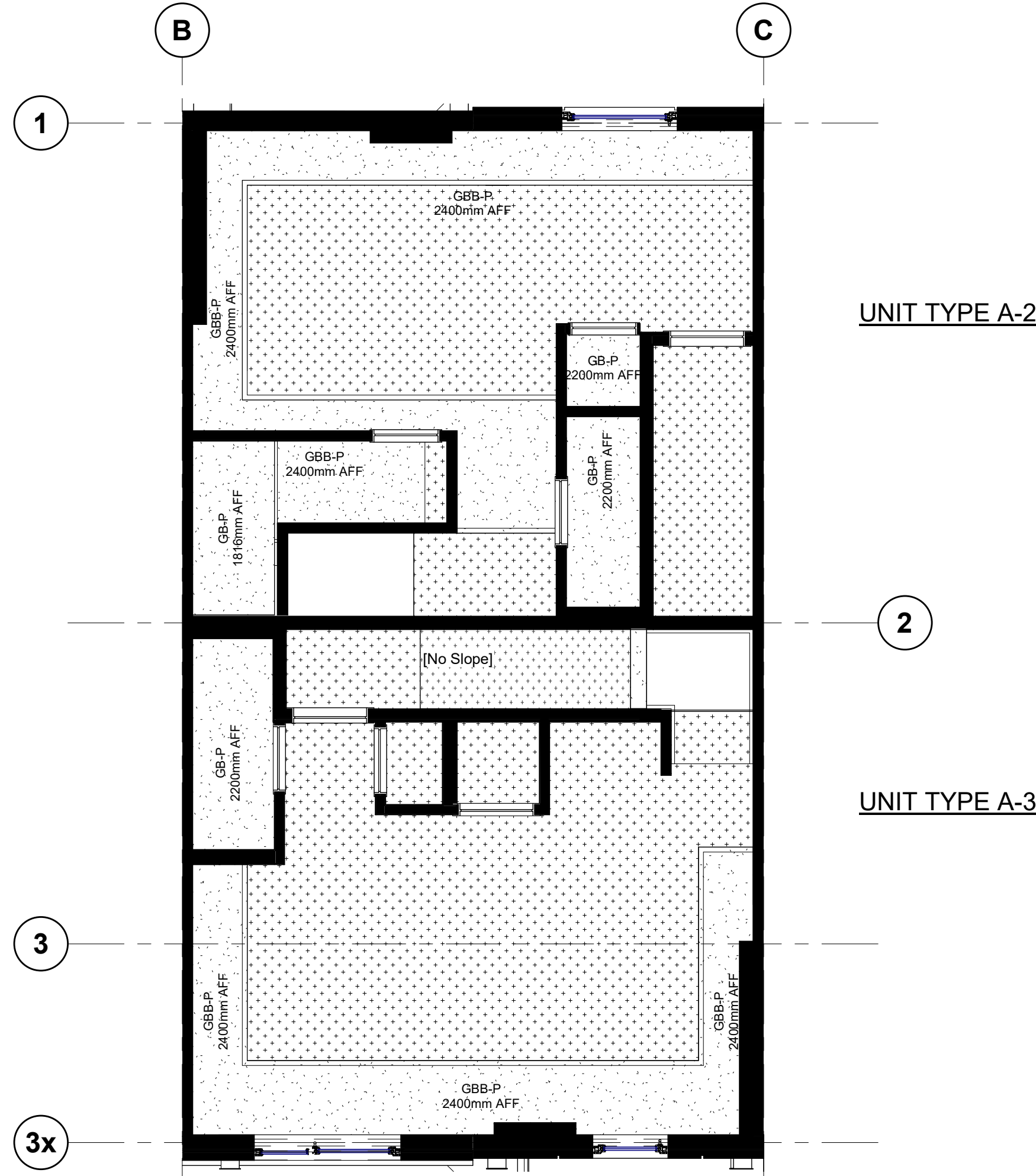


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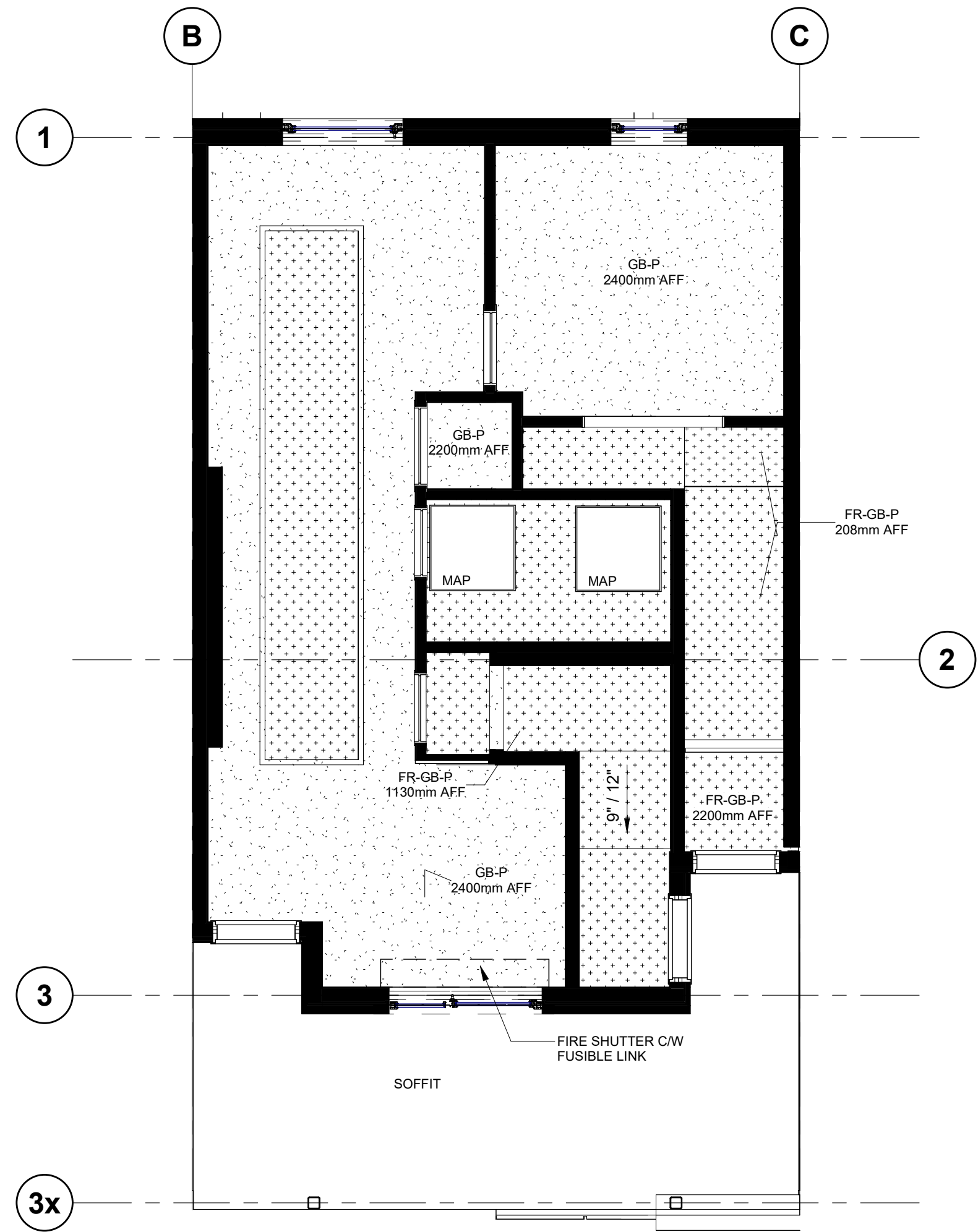
project no. :	drawing no. :	rev. no. :
23051	A403	3



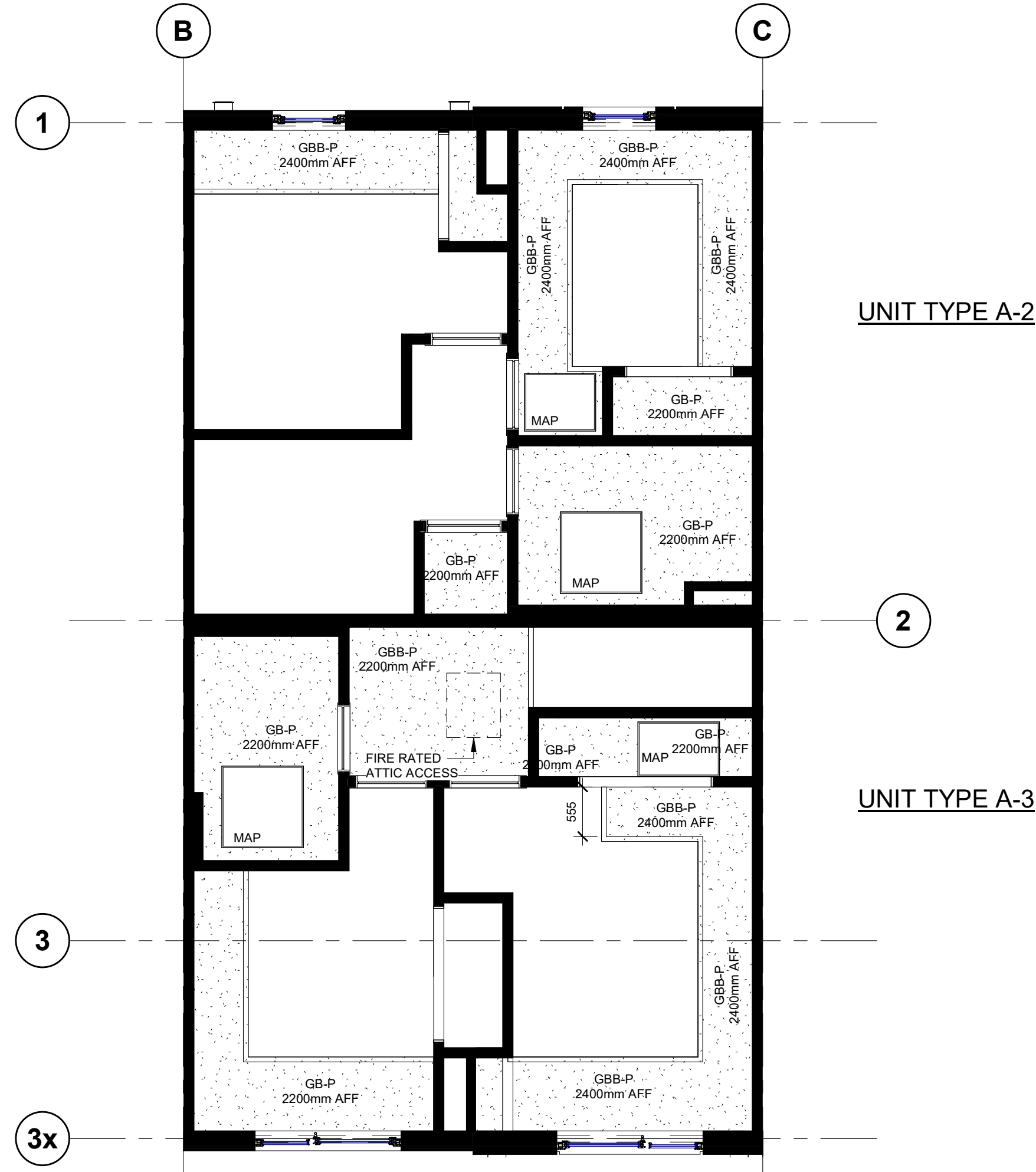
1 UNIT TYPE A - LOWER FLOOR RCP
1 : 50



3 UNIT TYPE A-2 & A-3 SECOND FLOOR RCP
1 : 50

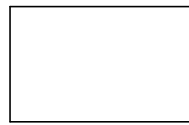


2 UNIT TYPE A-1 GROUND FLOOR RCP
1 : 50



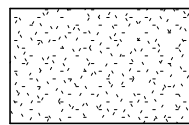
4 UNIT TYPE A-2 & A-3 THIRD FLOOR RCP
1 : 50

CEILING LEGEND



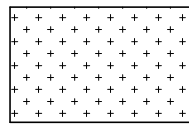
GYPSUM BOARD CEILING

- GYPSUM BOARD FINISH TO U/S WOOD STRUCTURE - REFER TO FLOOR PLANS AND FLOOR TYPE ASSEMBLY LEGEND DRAWING A007.
- SMOOTH PAINTED FINISH.



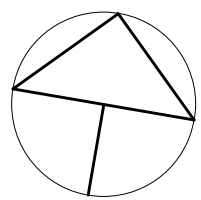
GYPSUM BOARD BULKHEADS

- 12.7mm GYPSUM BOARD ON SUSPENDED 42mm METAL FURRING
- REFER TO RCP FOR DROP HEIGHT.
- SMOOTH PAINTED FINISH

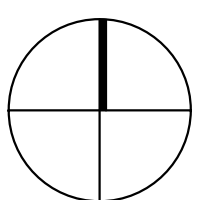


U/S STAIR CEILING 1HR FRR

- TWO LAYERS 15.9mm FIRE RATED GYPSUM BOARD ON
- 12.5mm RESILIENT CHANNELS
- SMOOTH PAINTED FINISH



TRUE NORTH



CONSTRUCTION NORTH

no.	revisions	date	int.
2	RE-ISSUED FOR PERMIT	2025-03-05	TB
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn : TB
designed : GDR
reviewed : KR
date : 2026-03-06
scale : 1:50

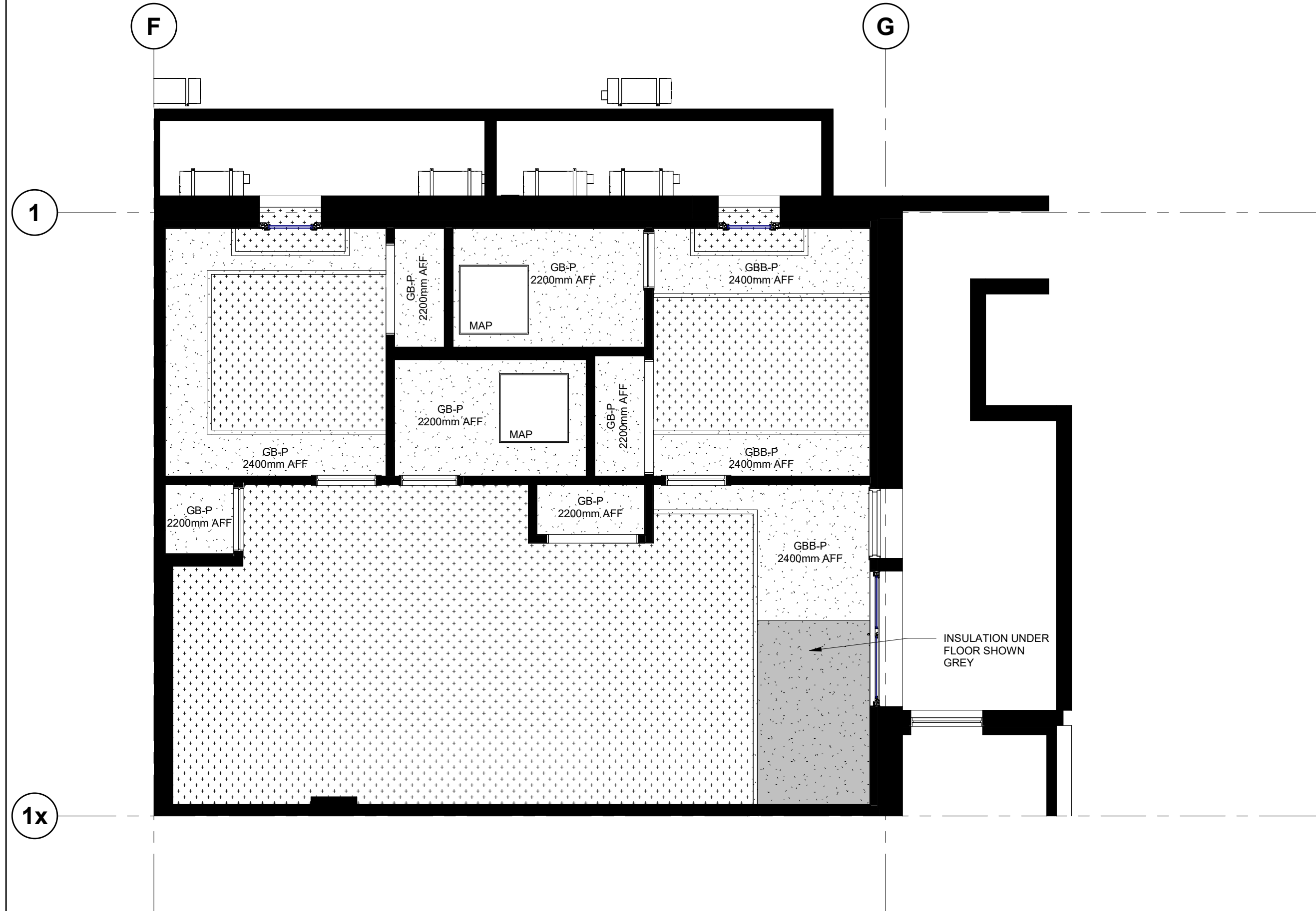
project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
UNIT A, A-1, A-2 & A-3 -
ENLARGED RCP

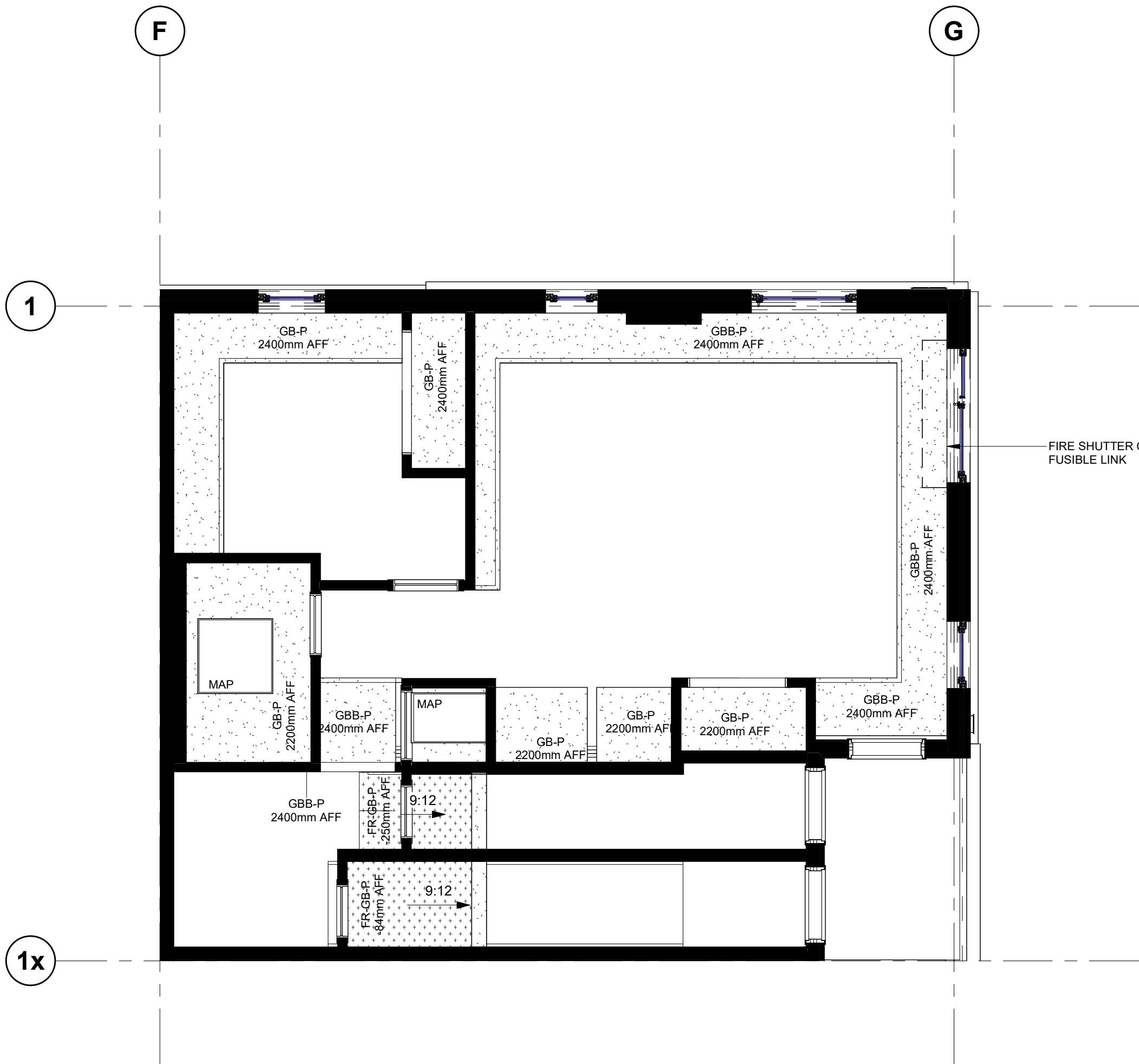
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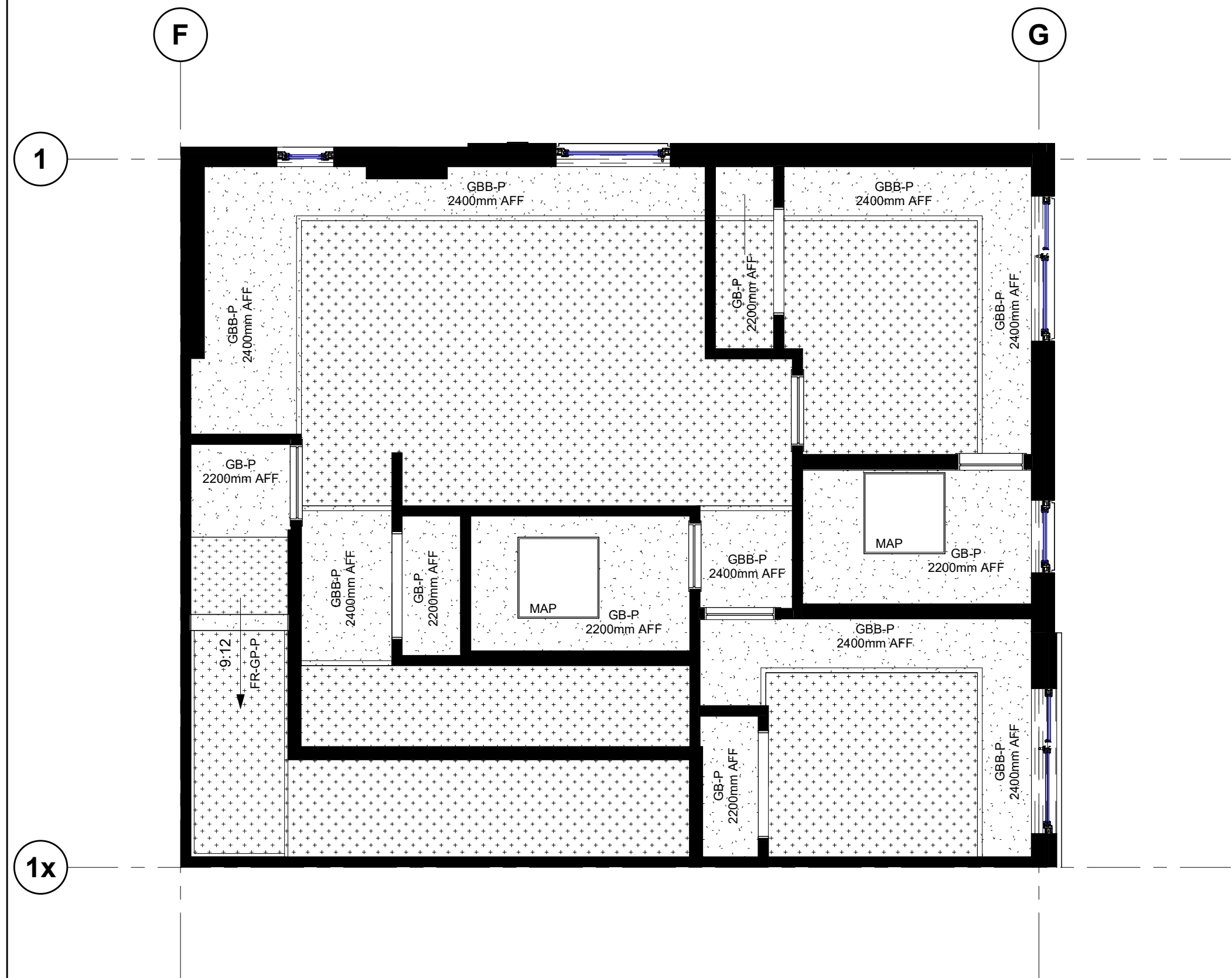
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rev. no. : 2



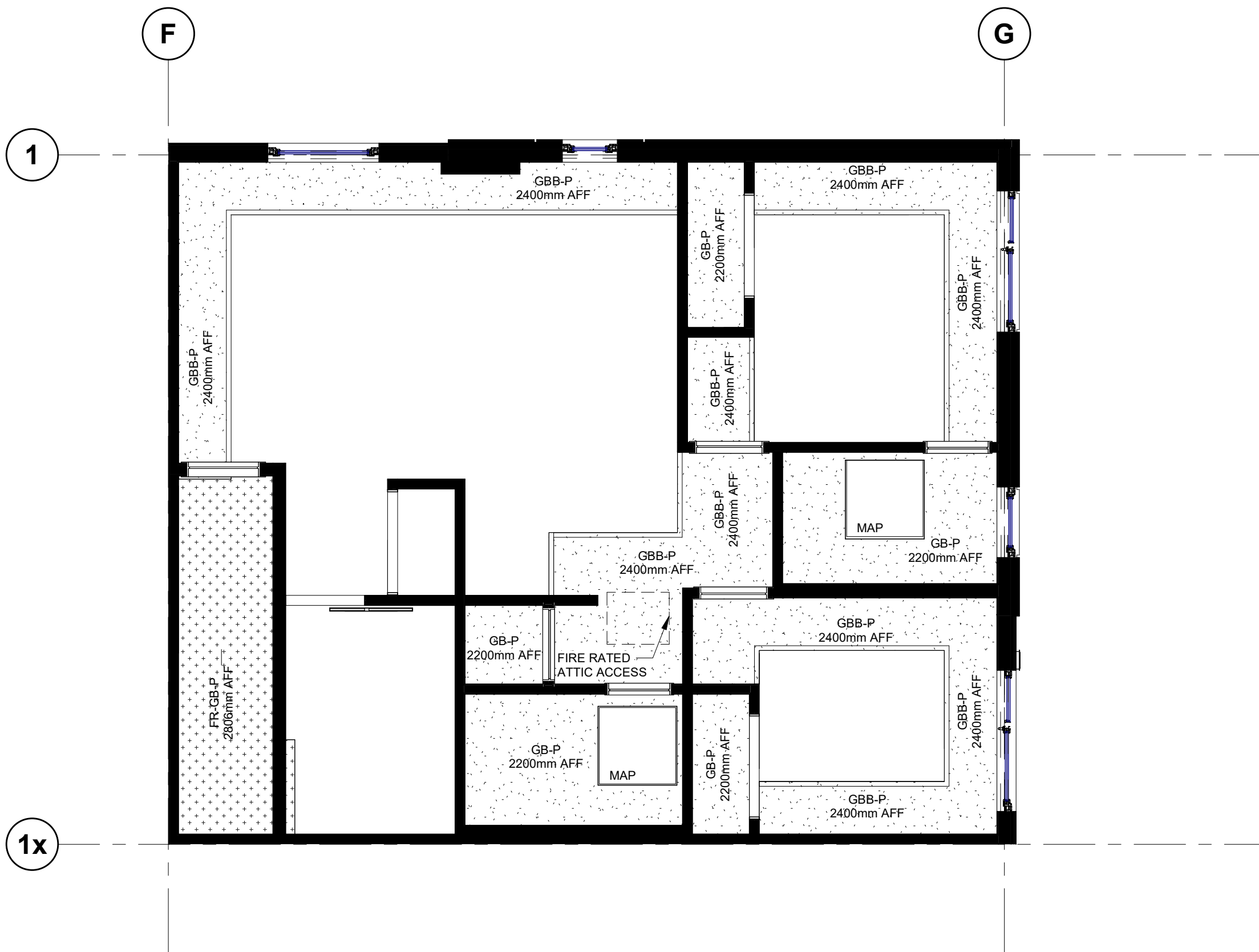
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1 : 50



2 UNIT TYPE B-1 GROUND FLOOR RCP
1 : 50

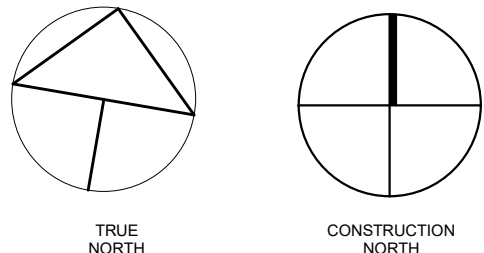


3 UNIT TYPE B-2 SECOND FLOOR RCP
1 : 50



4 UNIT TYPE B-3 THIRD FLOOR RCP
1 : 50

CEILING LEGEND	
	GYPSUM BOARD CEILING
<ul style="list-style-type: none">GYPSUM BOARD FINISH TO U/S WOOD STRUCTURE - REFER TO FLOOR PLANS AND FLOOR TYPE ASSEMBLY LEGEND DRAWING A007.SMOOTH PAINTED FINISH.	
	GYPSUM BOARD BULKHEADS
<ul style="list-style-type: none">12.7mm GYPSUM BOARD ON SUSPENDED 42mm METAL FURRINGREFER TO RCP FOR DROP HEIGHT.SMOOTH PAINTED FINISH	
	U/S STAIR CEILING 1HR FRR
<ul style="list-style-type: none">TWO LAYERS 15.9mm FIRE RATED GYPSUM BOARD ON12.5mm RESILIENT CHANNELSSMOOTH PAINTED FINISH	



no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-05	TB
3	RE-ISSUED FOR TENDER	2026-01-09	RG
3	ISSUED FOR TENDER	2025-12-23	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn :	TB
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1:50
project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

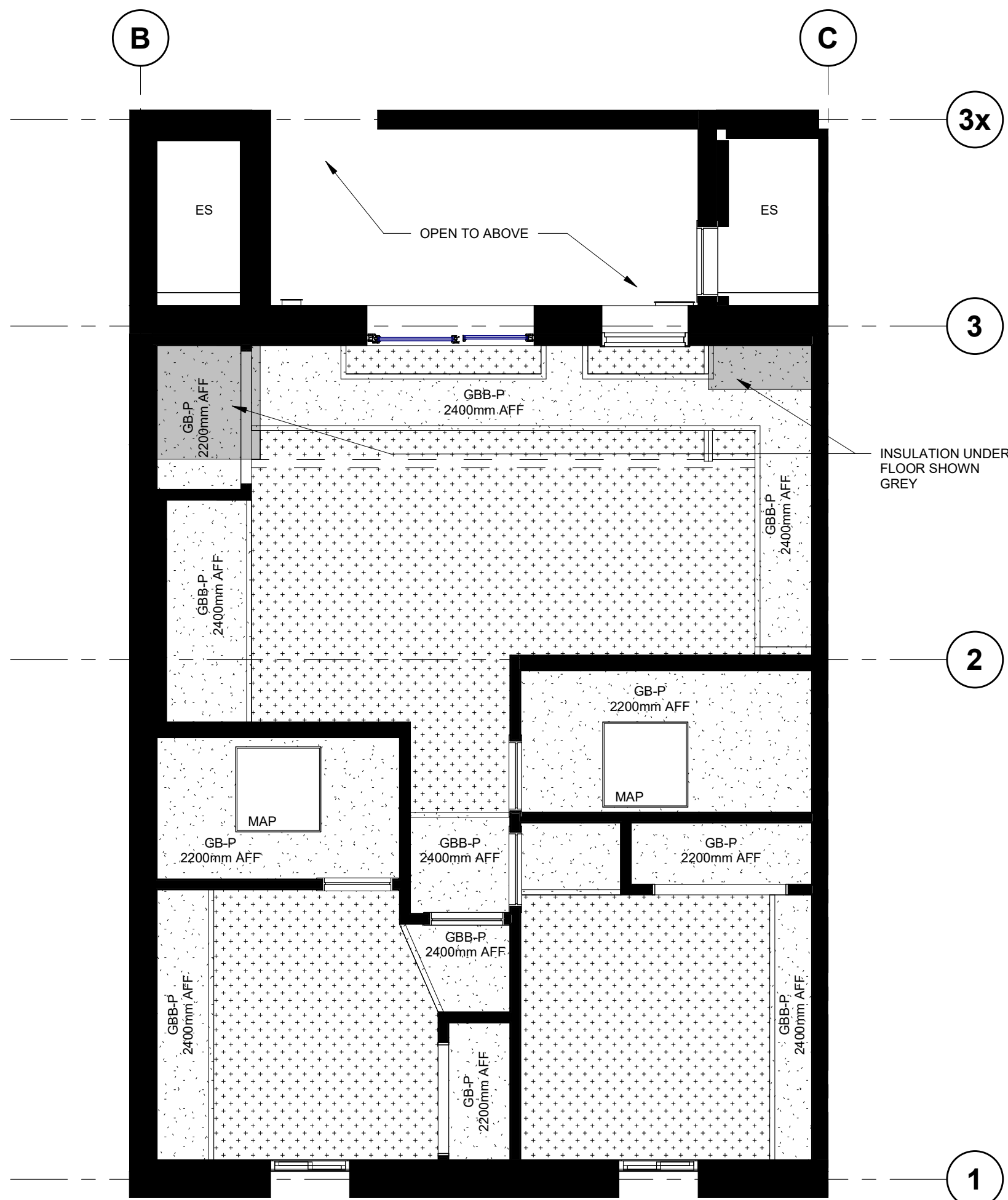
drawing :
UNIT B, B-1, B-2, & B-3 -
ENLARGED PLANS RCP



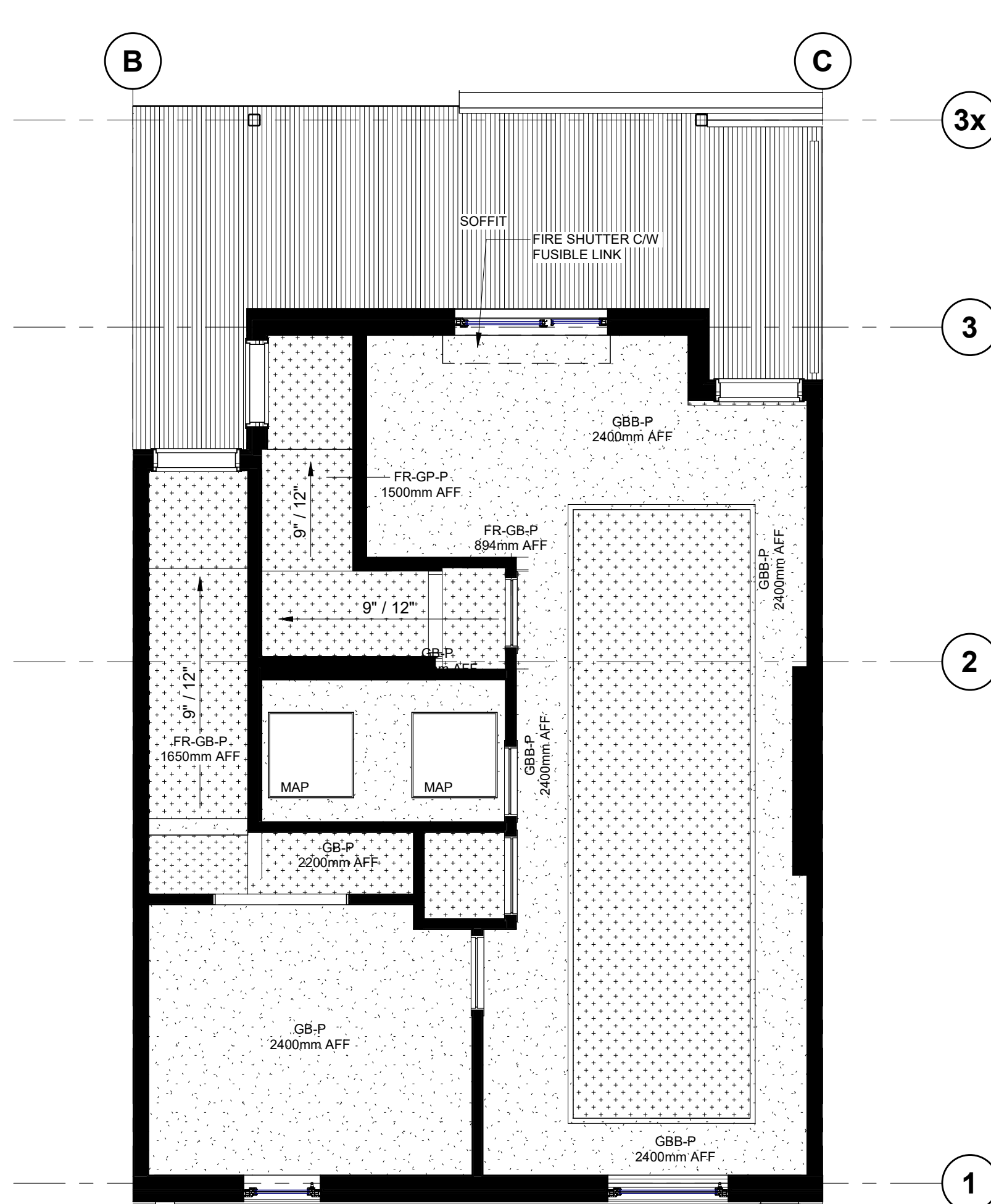
64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

project no. :	drawing no. :	rev. no. :
23051	A701	4

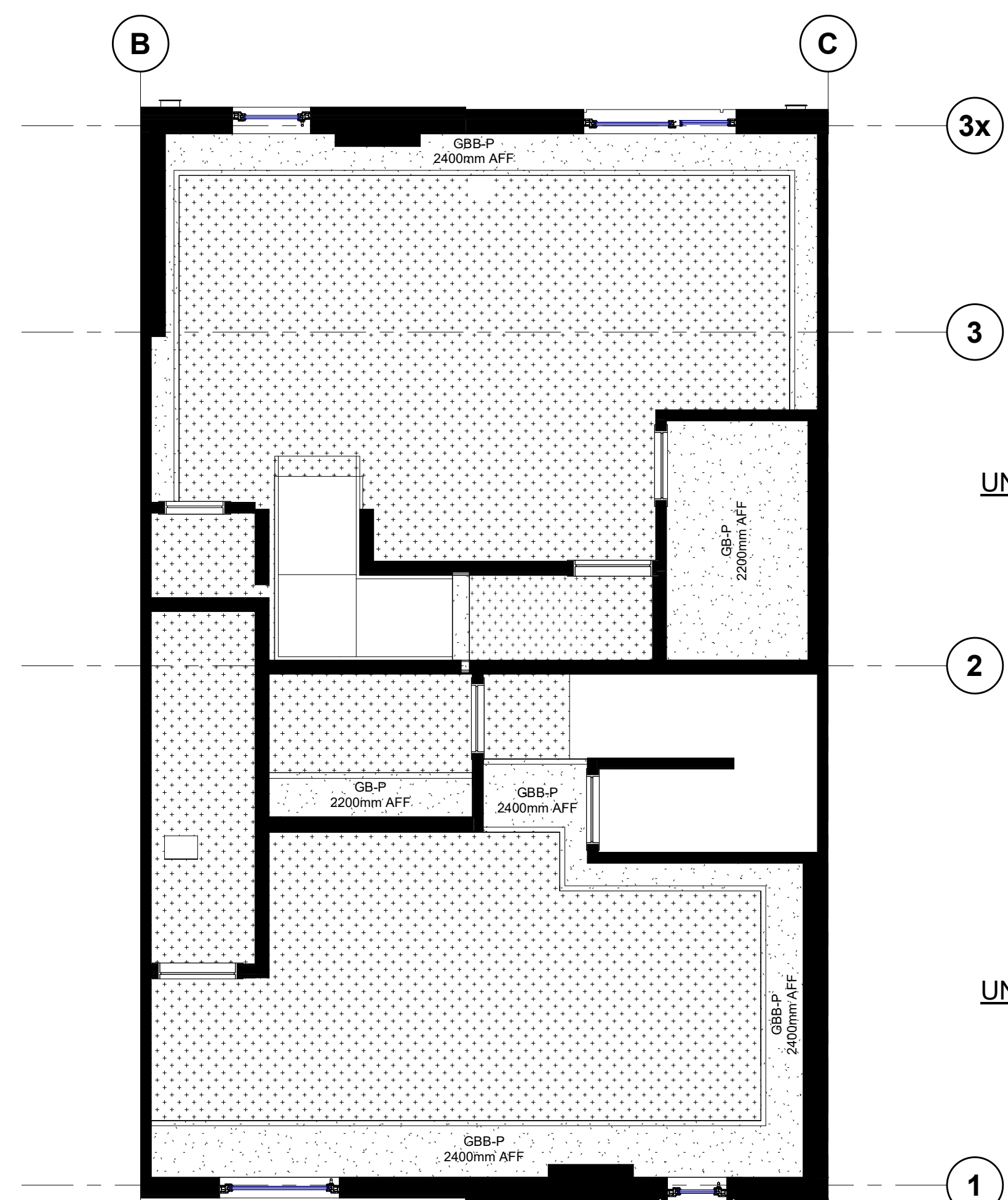
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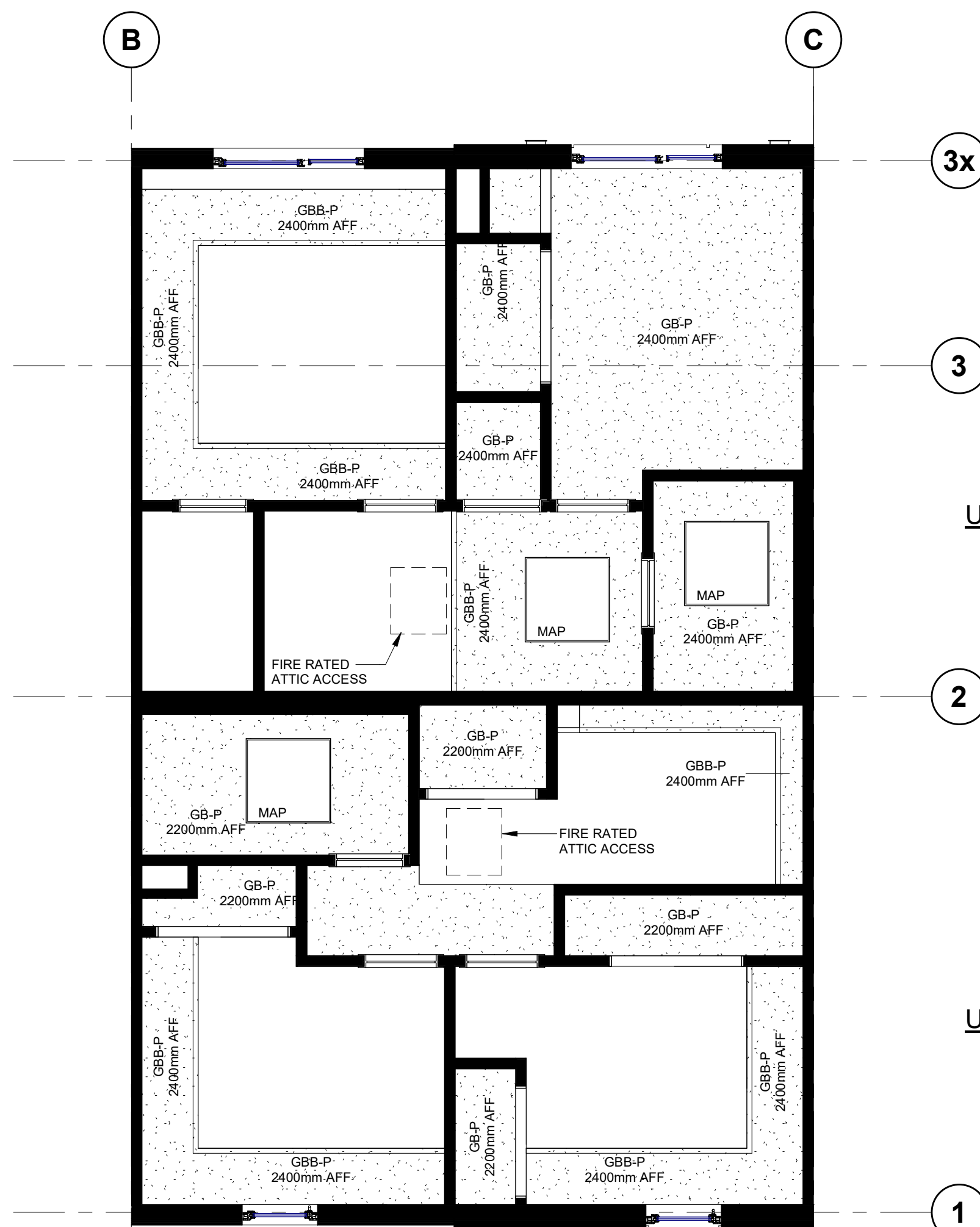
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1 : 50



2 UNIT TYPE C-1 - GROUND FLOOR RCP
1 : 50

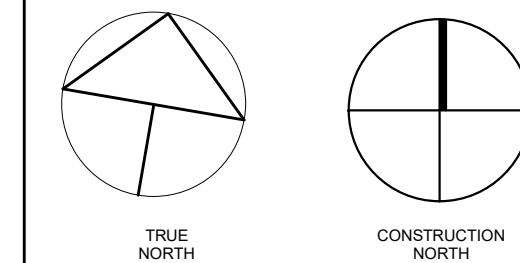


3 UNIT TYPE C-2 & C-3 - SECOND FLOOR RCP
1 : 50



4 UNIT TYPE C-2 & C-3 - THIRD FLOOR RCP
1 : 50

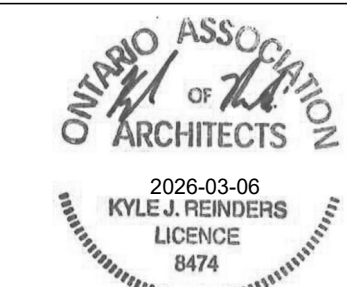
CEILING LEGEND	
	GYPSUM BOARD CEILING
<ul style="list-style-type: none">GYPSUM BOARD FINISH TO U/S WOOD STRUCTURE - REFER TO FLOOR PLANS AND FLOOR TYPE ASSEMBLY LEGEND DRAWING A307.SMOOTH PAINTED FINISH.	
	GYPSUM BOARD BULKHEADS
<ul style="list-style-type: none">12.7mm GYPSUM BOARD ON SUSPENDED 42mm METAL FURRINGREFER TO RCP FOR DROP HEIGHT.SMOOTH PAINTED FINISH	
	U/S STAIR CEILING 1HR FRR
<ul style="list-style-type: none">TWO LAYERS 15.9mm FIRE RATED GYPSUM BOARD ON12.5mm RESILIENT CHANNELSSMOOTH PAINTED FINISH	



no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-05	TB
3	RE-ISSUED FOR TENDER	2026-01-09	RG
3	ISSUED FOR TENDER	2026-01-09	RG
1	RE-ISSUED FOR PERMIT	2025-10-08	TB
0	ISSUED FOR PERMIT	2025-08-22	TB

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drawn :	TB
designed :	GDR
reviewed :	KR
date :	2026-03-06
scale :	1:50

project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
UNIT C, C-1, C-2, & C-3 -
ENLARGED RCP



64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

project no. :	drawing no. :	rev. no. :
23051	A702	4

SURVEY INFO:

PART OF LOTS 36 & 37 MUNICIPAL
COMPILED PLAN 959
IN THE CITY OF KITCHENER REGIONAL
MUNICIPALITY OF WATERLOO

OWNERS:

WINDOM HOLDINGS (KITCHENER)
LIMITED 1 QUEEN ST. N. SUITE 201
KITCHENER ON N2H 2G7
ATTN: BASSEM SAWERIS
50 KING ST. E. HAMILTON, ON
P (519)208-9675

APPLICANT:

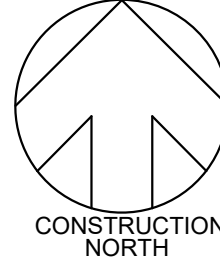
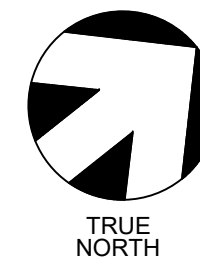
REINDERS + ASSOCIATES LTD.
64 ONTARIO STREET NORTH,
MILTON ON L9T 2T1
P (905)457-1618
F (905)457-8852

LEGEND:

- PROPERTY LINE
BUILDING SETBACK LINE
PROPOSED FIRE ROUTE (USING HEAVY DUTY PAVING)
HEAVY DUTY ASPHALT
LIGHT DUTY ASPHALT
CONCRETE PAD OR SIDEWALK
PROPOSED CONCRETE CURB
PROPOSED CONCRETE CURB WITH CURB CUT OR DEPRESSION CURB
NEW BUILDING AREA (FOOTPRINT)
PRINCIPAL ENTRANCE TO THE BUILDING
SECONDARY ENTRANCES TO, OR EGRESS FROM THE BUILDING
FIRE ROUTE SIGNS
BARRIER FREE SIGNS (RB93)
BARRIER FREE LOGO (PAINTED ON ASPHALT)
TACTILE STRIPS ON CONCRETE OR ASPHALT SURFACES (AODA COMPLIANT)
EXISTING MANHOLE
EXISTING CATCH BASIN
DAYLIGHTING TRIANGLE (SHADED)
FIRE HYDRANT (EXISTING)
TABLE, REFER TO DETAIL
PROPOSED BOARD FENCE
FUTURE ELECTRIC VEHICLE READY PARKING SPACE
VISITOR PARKING SPACE
STOP SIGN

SITE STATISTICS:

ITEM	EXISTING ZONING BY-LAW REQUIREMENTS	PROPOSAL	COMPLIANCE
ZONING CATEGORY	RES-5, 390	RES-5, 390	YES
LOT AREA (m ²)	N/A	3480.1 sq.m	YES
LOT WIDTH (m)	19 m	48.7 m	YES
GROUND COVERAGE AREA (m ²)	N/A	983 sq.m	YES
LOT COVERAGE (%)	N/A	27.2%	YES
FRONT YD. (m)	4.5 m	4.5 m	YES
REAR YD. (m)	7.5 m	19.6 m	YES
SIDE YARD NORTH (m)	2.5 m	2.0 m	NO
SIDE YARD SOUTH (m)	2.5 m	2.0 m	NO
NUMBER OF RESIDENTIAL PARKING SPACES (Req. 0.41 Space/Unit)	46	57	YES
NUMBER OF VISITOR PARKING (10% of required parking)	5	5	YES
NUMBER OF TYPE "A" ACCESSIBLE PARKING SPACES	1	1	YES
NUMBER OF TYPE "B" ACCESSIBLE PARKING SPACES	2	2	YES
NUMBER OF FUTURE ELECTRIC VEHICLE READY (FEVR) PARKING SPACES	10	10	YES
NUMBER OF COMPACT PARKING STALL (MAX.)	5	5	YES
PARKING STALL DIMENSIONS (m)	2.6m x 5.5m	2.6m x 5.5m	YES
COMPACT PARKING STALL DIMENSIONS (m)	2.4m x 4.6m	2.4m x 5.5m	YES
TYPE "A" ACCESSIBLE PARKING SPACE (m)	3.4 x 5.5	3.4 x 5.5	YES
TYPE "B" ACCESSIBLE PARKING SPACE (m)	2.4 x 5.5	2.4 x 5.5	YES
ACCESSIBLE PARKING AISLE (m)	1.5 x 5.5	1.5 x 5.5	YES
LANDSCAPED OPEN SPACE	20%	981.7 sq.m (28.1%)	YES
BUILDING HEIGHT	15.1 m	15.1 m	YES
FSR - ABOVE GRADE	Max 1.4	3236/3480.1 = 0.93	YES
FSR - INCLUDING LOWER LEVEL	Max 1.4	4296/3480.1 = 1.23	YES
BIKE PARKING (CLASS "A" - MAXIMUM 2 BIKES)	56	56	YES
CLASS "B" - OUTDOOR	6	6	YES



5	ISSUED FOR SITE PLAN	2026-02-26	KR
4	ISSUED FOR SITE PLAN	2025-01-09	KR
3	REISSUED FOR SITE PLAN	2025-12-05	KR
2	REISSUED FOR SITE PLAN	2025-11-05	KR
1	REISSUED FOR SITE PLAN	2025-10-21	KR
0	ISSUED FOR SITE PLAN	2025-07-16	KR

no. revisions date init.

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cad file 23051_SP1
date plotted 2026-02-26 plot scale 1:1



drawn HA
designed KR
reviewed KR
date 2026-02-26
scale 1:150

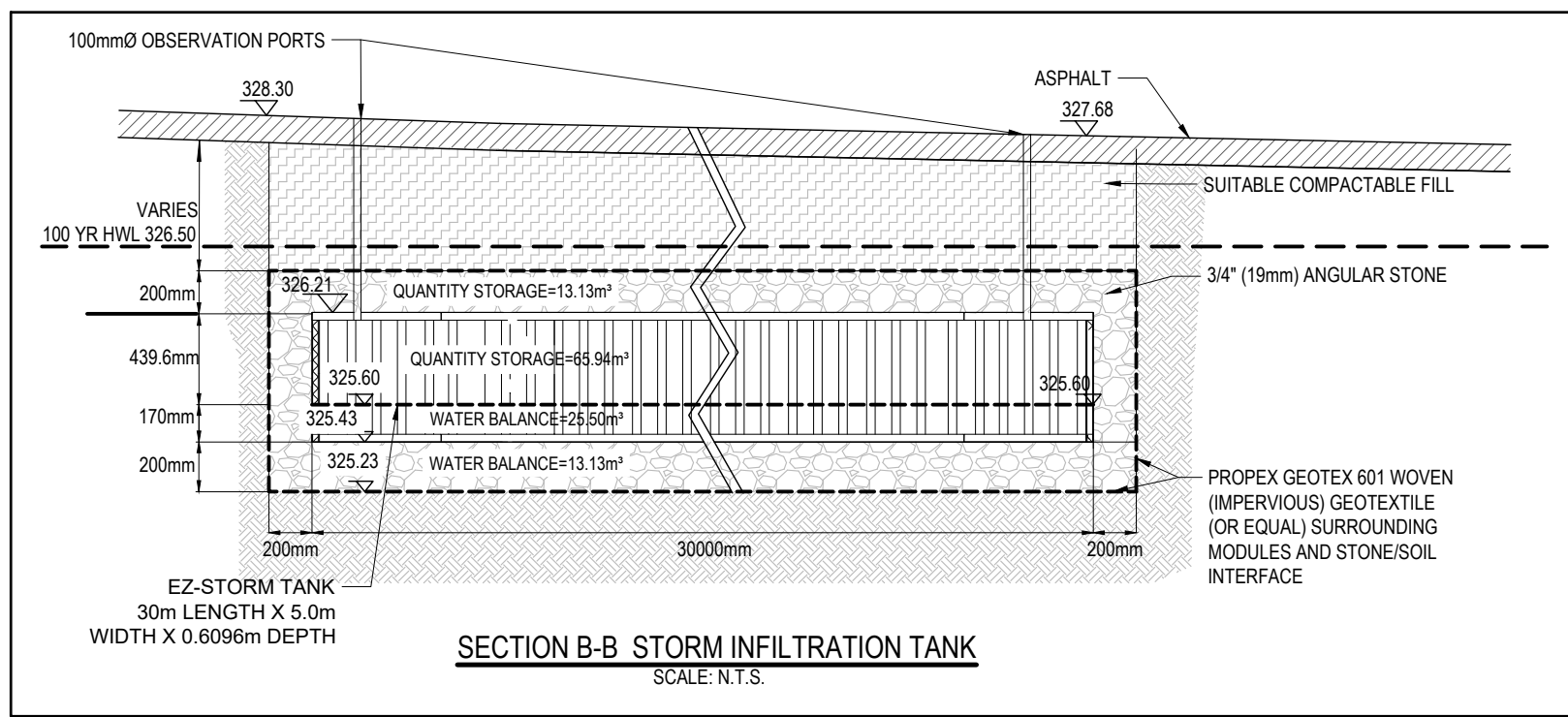
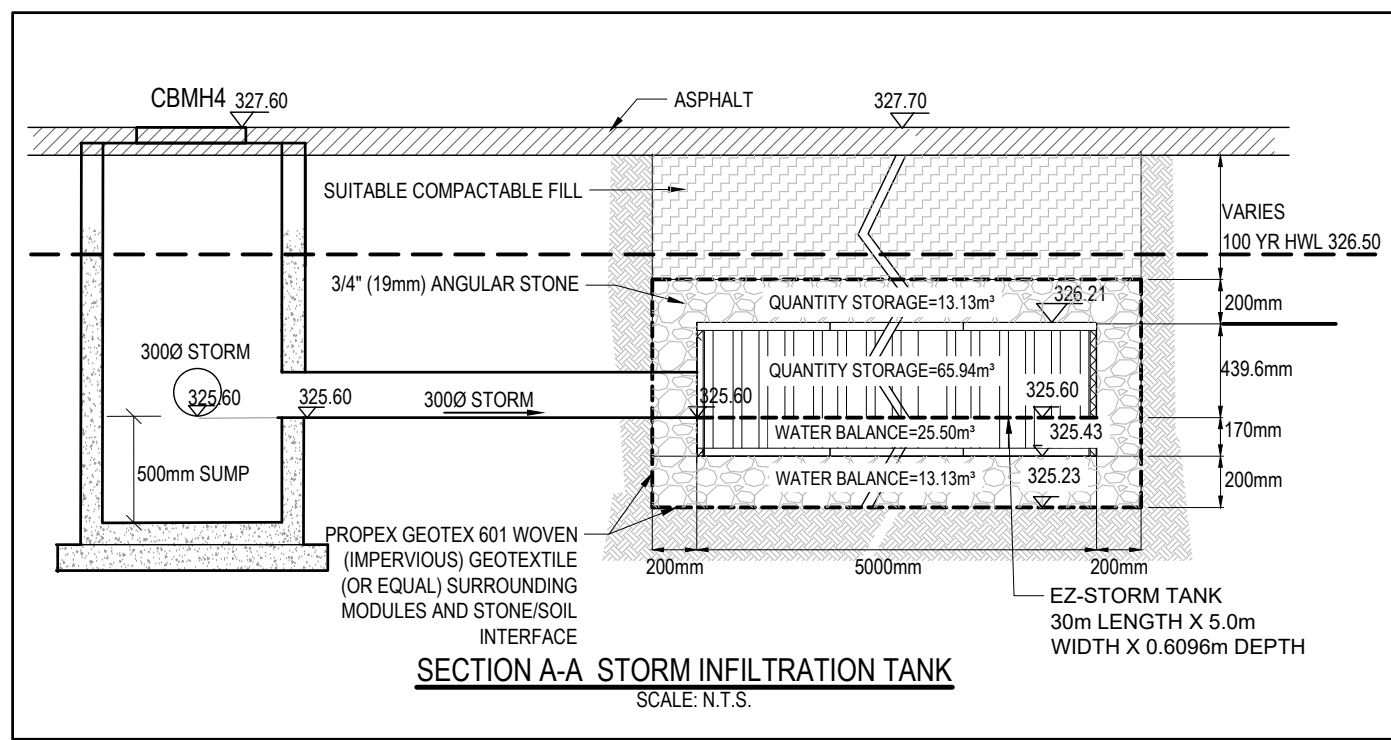
project
32-42 WINDOM RD.
KITCHENER, ON

drawing
ARCHITECTURAL SITE PLAN

REINDERS + ASSOCIATES
ARCHITECTURE . ENGINEERING
64 ONTARIO STREET NORTH
MILTON, ON L9T 2T1
T. 905.457.1618 F. 905.457.8852
EMAIL@REINDERS.OA WWW.REINDERS.OA

drawing no. 23051_SP1 rev. no. 5

0 10 20 30 40 50 60 70 80 90 100



GRADING

1. CONTRACTOR TO RESTORE AREAS ON PUBLIC R.O.W. OR ADJACENT LANDS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION TO A PREVIOUS OR BETTER CONDITION.
2. ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
3. ALL FILL WITHIN THE SITE TO BE COMPACTED TO A MIN. OF 98% S_d PROCTOR MEDIAN DRY DENSITY. ALL FILL WITHIN THE SITE PARKING AREA TO BE COMPACTED TO A MIN. OF 98% SPMD. THE SUITABILITY OF ALL FILL MATERIALS ARE TO BE CONFIRMED BY A RECOGNIZED SOILS CONSULTANT PRIOR TO INSTALLATION OF ANY ROAD BASE MATERIALS.
4. LANDSCAPING SHALL NOT ENCROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
5. SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS. SILTATION CONTROL METHODS ARE TO BE AS NOTED ON THE DRAWINGS IN THE LOCATIONS SHOWN AND SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION AND SHALL BE IN GOOD REPAIR THROUGHOUT THE CONSTRUCTION AND GRADING PHASES.
6. ANY CHANGES IN GRADES, CATCH BASINS, SERVICE LATERALS, STORM AND SANITARY SEWERS REQUIRE THE APPROVAL OF THE ENGINEER.
7. THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE MUNICIPALITY.
8. ALL LANDSCAPING TO BE INSTALLED AS SOON AS POSSIBLE OR PRIOR TO THE END OF THE FIRST GROWING SEASON. LANDSCAPING TO BE MAINTAINED UNTIL IT IS ESTABLISHED.
9. ALL CURBS ARE TO BE 150mm ABOVE THE PROPOSED GUTTER LINE (GL) UNLESS NOTED OTHERWISE.
10. PAVEMENT GRADE SHALL BE MIN. 0.5%, MAX. 5%.
11. SLOPES IN LANDSCAPE AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
12. THE GRADING PLAN IS TO BE READ IN CONJUNCTION WITH THE SITE SERVICES DRAWING.
13. IF, FOR UNFORESEEN REASONS, THE OWNER AND/OR HIS/HER REPRESENTATIVE MUST ENCROACH ONTO PRIVATE LANDS TO UNDERTAKE ANY WORKS, HE/SHE MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON THE PRIVATE PROPERTY TO PERFORM ANY WORKS. COPIES OF THESE LETTERS OF CONSENT MUST BE SUBMITTED TO THE DEVELOPMENT ENGINEERING DIVISION, PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT THE PROPERTY OWNERS OWN RISK.
14. THIS PLAN TO BE READ IN CONJUNCTION WITH THE EXISTING CONDITIONS PLAN, SITE SERVICING PLAN, THE STORMWATER MANAGEMENT REPORT AND LANDSCAPING PLAN.
15. THE FINAL GRADING OF THE PROPERTY SHALL NOT ADVERSELY AFFECT THE DRAINAGE OF ADJACENT PROPERTIES OR THE OVERALL GRADING CONTROL PLAN (SUBDIVISION).
16. THE PROPERTY OWNER IS RESPONSIBLE FOR RESTORATION OF ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO CITY OF KITCHENER STANDARDS DRAWING 118.

SURVEY INFO:

PART OF LOTS 36 & 37 MUNICIPAL
COMPILED PLAN 959
IN THE CITY OF KITCHENER REGIONAL
MUNICIPALITY OF WATERLOO

OWNERS:

WINDOM HOLDINGS (KITCHENER)
LIMITED 1 QUEEN ST. N. SUITE 201
KITCHENER ON N2H 2G7
ATTN: BASSEM SAWEIS
50 KING ST. E. HAMILTON, ON
P (519)208-9675

APPLICANT:

REINDERS + ASSOCIATES LTD.
64 ONTARIO STREET NORTH,
MILTON ON L9T 2T1
P (905)457-1618
F (905)457-8852

CURBING/SIDEWALKS/ASPHALT/DRIVEWAYS:

1. ALL PROPOSED INTERNAL CURBING TO BE BARRIER CURB TYPE AS PER O.P.S.D. 800.110. ALL TOPS OF CURBS TO BE 150mm ABOVE PROPOSED GUTTER LINE, UNLESS OTHERWISE NOTED.
2. ALL REQUIRED CURB CUTTING AT ENTRANCE AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE MUNICIPALITY AND AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
3. CURB CUTS WITHIN THE PUBLIC R.O.W. TO BE PERFORMED BY DEVELOPER SELECTED CONTRACTOR UPON APPLICATION.
4. ALL PROPOSED ROAD CUTS TO BE PERFORMED AND RESTORED TO THE SATISFACTION OF MUNICIPAL FORCES UPON APPLICATION.
5. ALL CONCRETE SIDEWALKS TO BE MINIMUM 125mm THICK (200mm THROUGH ENTRANCES) AND HAVE 150-200mm GRANULAR "A" BEDDING (98% SPMD).
6. CONCRETE SIDEWALKS AND SIDEWALK RAMPS AS PER OPSD 310.010. MUNICIPAL SIDEWALK TO BE 125mm THICK, 100mm GRANULAR "A" BASE, 98% SPD, WITH 30 MPa CONCRETE, 7% AIR, AND No. 9 GAUGE MESH AT ENTRANCES, WIDTH AS PER EXISTING.
7. MAXIMUM CROSS FALL ON ALL SIDEWALK NOT TO EXCEED 2%.

NOTE:

I HEREBY CERTIFY THAT THIS SITE GRADING, DRAINAGE & EROSION CONTROL, AND STORM WATER MANAGEMENT PLAN CONFORMS TO THE LANDSCAPE PLANS FOR THIS PROJECT.

SIGNATURE: [Signature]
DATE: FEB 18, 2026

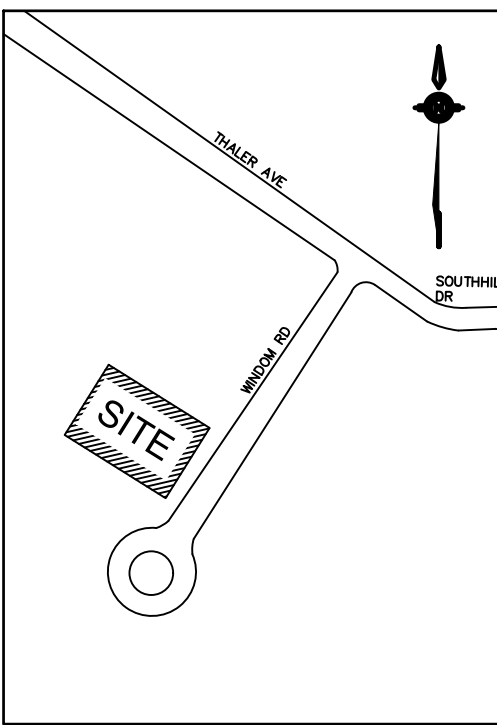
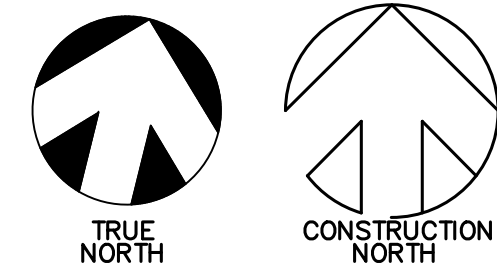
SIGNATURE OF LANDSCAPE ARCHITECT
DATE: FEB 18, 2026

LEGEND:

- PROPERTY LINE
- ▲ BUILDING ENTRANCE
- ▲ BARRIER FREE LOGO (PAVED ON ASPHALT)
- ▲ BARRIER FREE SIGNS (RB93)
- EXISTING DOUBLE CATCH BASIN
- EXISTING DOUBLE CATCH BASIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- + EXISTING ELEVATIONS FROM SURVEY
- + EXISTING ELEVATIONS TO REMAIN
- + PROPOSED ELEVATION
- + PROPOSED SWALE ELEVATION
- PROPOSED SWALE
- PROPOSED STORM MANHOLE
- PROPOSED STORM CATCHBASIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED OIL GRIT SEPARATOR
- 3.0% PROPOSED SLOPE
- OVERLAND FLOW ROUTE ARROW
- PROPOSED VALVE & BOX

REFERENCE PLANS:

1. THIS PLAN MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPING, ELECTRICAL & STRUCTURAL PLANS.
2. FOR SITE SERVICING PLAN REFER DRAWING No. SP3.
3. FOR EROSION CONTROL PLAN REFER DRAWING No. SP5.



KEY PLAN (N.T.S.)

PLAN ILLUSTRATING TOPOGRAPHY OF 32-42 WINDOM RD. CITY OF KITCHENER REGIONAL MUNICIPALITY OF WATERLOO

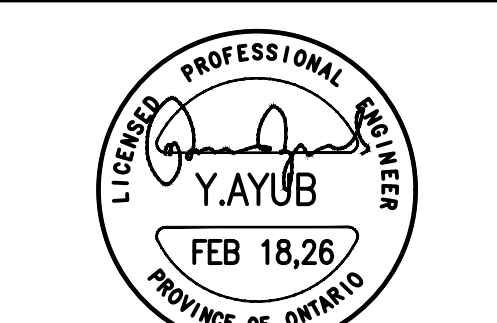
INFORMATION TAKEN FROM A SURVEY PERFORMED BY MacDONALD TAMBLYN LORD SURVEYING
4273 KING ST. E. #100, KITCHENER, ON, N2P 2P9
TELEPHONE: (519) 621-9600 FAX: (519) 650-5625
WEBSITE: www.jdbarnes.com
REFERENCE No. 23-40-070-00
DATED JULY 07, 2023.

3	ISSUED FOR APPROVAL	2026/02/18	Y.A
2	ISSUED FOR APPROVAL	2025/12/04	Y.A
1	ISSUED FOR APPROVAL	2025/10/16	Y.A
0	ISSUED FOR APPROVAL	2025/09/23	Y.A

no. revisions date init.

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cad file 23051_SP3.DWG
date plotted 2026/02/18 plot scale 1:1



drawn A.T.
designed U.A.
reviewed Y.A.
date 2025/06/19
scale 1:150
project 32-42 WINDOM RD.
KITCHENER, ONTARIO

drawing SITE GRADING PLAN

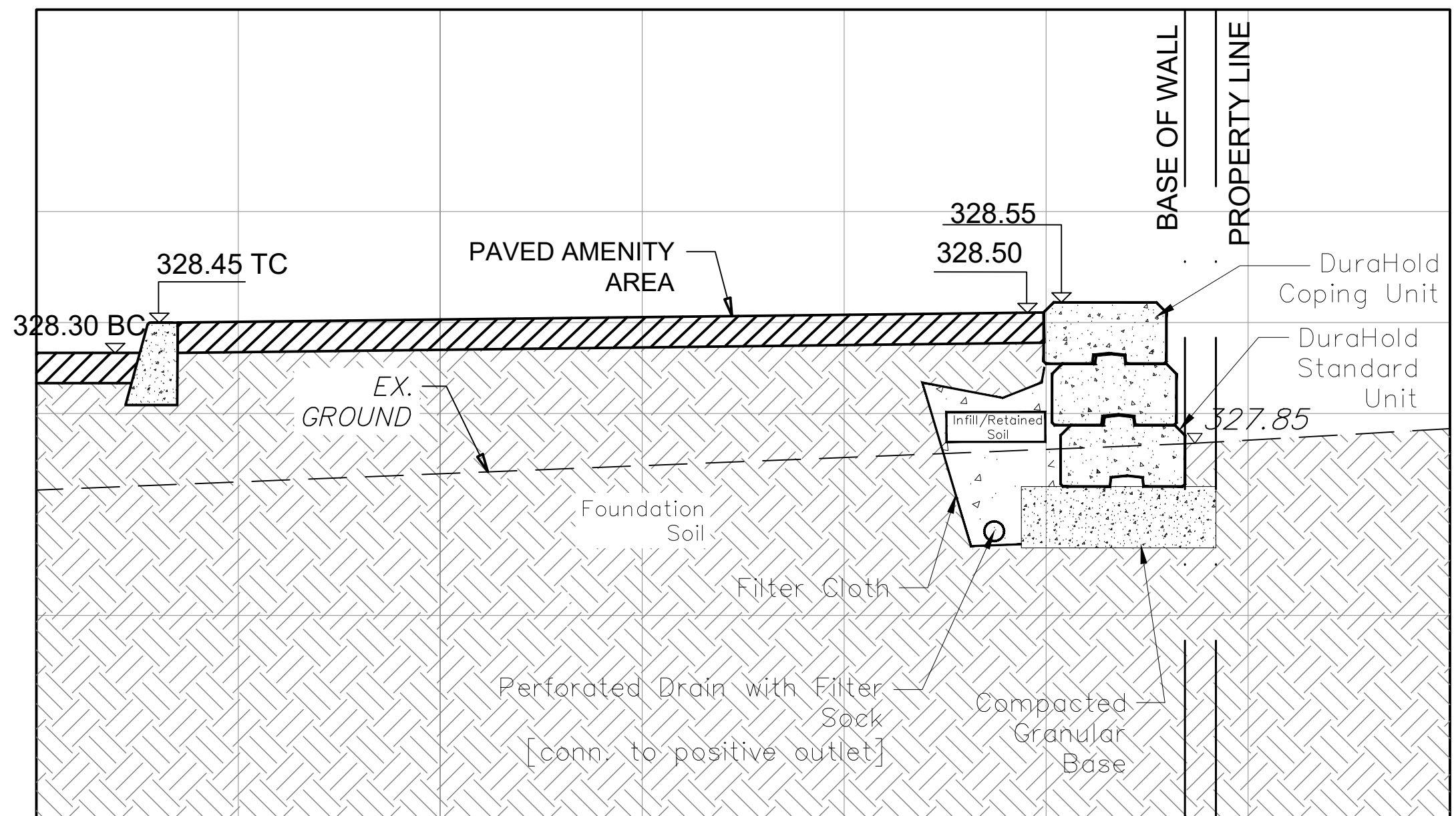
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ARCHITECTURE . ENGINEERING
64 ONTARIO STREET NORTH
MILTON, ON L9T 2T1
T. 905.457.1618 F. 905.457.8852
EMAIL@REINDERS.CA WWW.REINDERS.CA

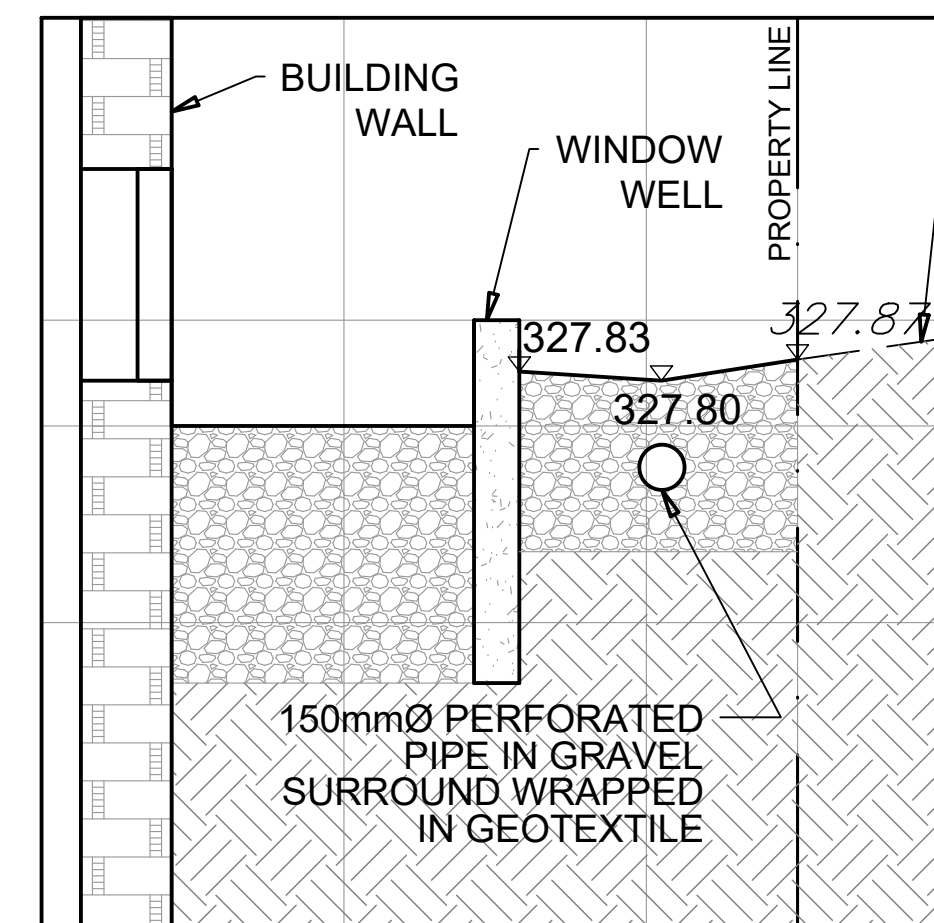
drawing no. 23051_SP4 rev. no. 0

SHEET SIZE: A1 609.6mm X 914.4mm

0 10 20 30 40 50 60 70 80 90 100



SECTION C-C
SCALE = 1:25



SECTION D-D
SCALE = 1:25

NOTE:
I HEREBY CERTIFY THAT THIS SITE GRADING, SERVICING AND STORM WATER MANAGEMENT PLAN CONFORMS TO THE LANDSCAPE PLANS FOR THIS PROJECT.
*SIGNATURE OF THE PROFESSIONAL CONSULTANT(S) FOR SITE GRADING, DRAINAGE AND SILTATION CONTROL AND STORM WATER MANAGEMENT:
DATE: FEB 18,2026
*SIGNATURE OF LANDSCAPE ARCHITECT
DATE: FEB 18,2026

SURVEY INFO:

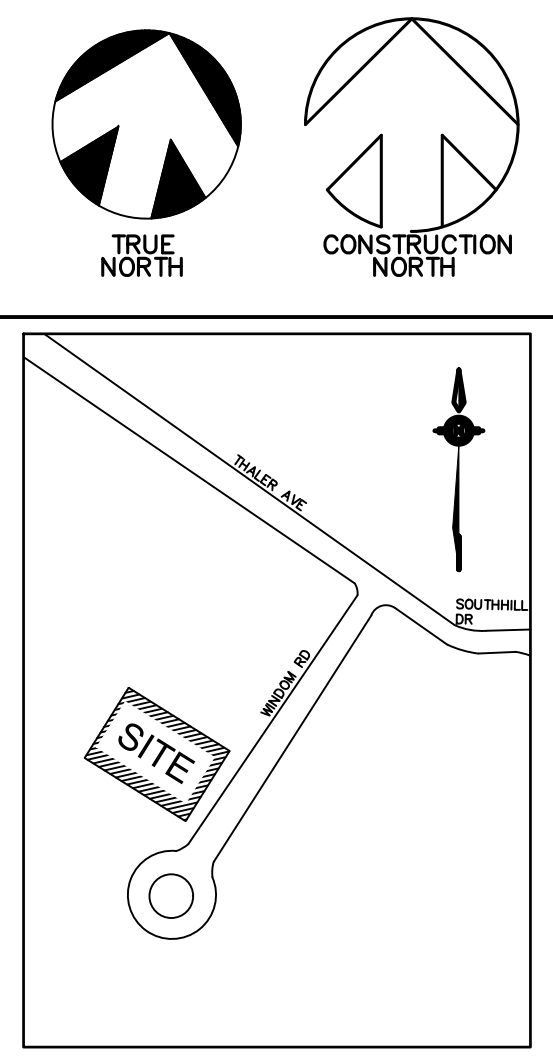
PART OF LOTS 36 & 37 MUNICIPAL COMPILED PLAN 959 IN THE CITY OF KITCHENER REGIONAL MUNICIPALITY OF WATERLOO

OWNERS:

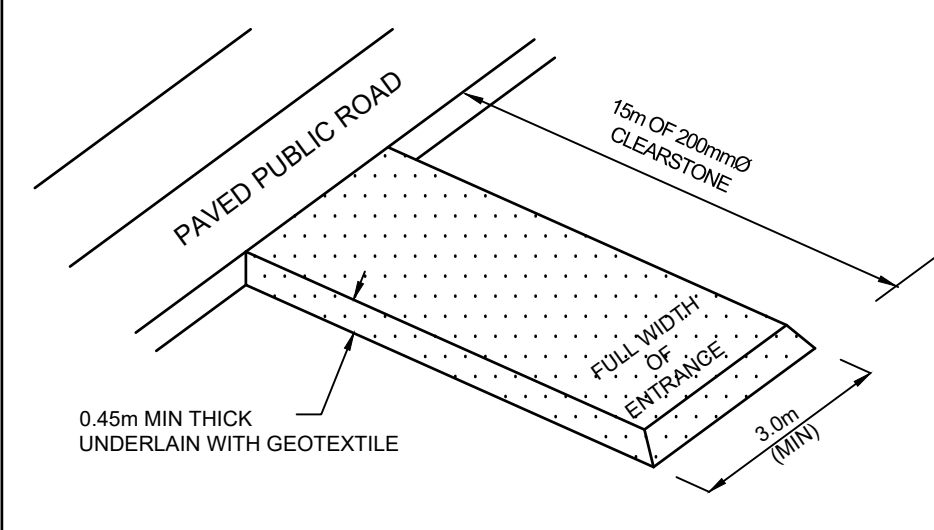
WINDOW HOLDINGS (KITCHENER) LIMITED 1 QUEEN ST. N. SUITE 201 KITCHENER ON N2H 2G7
ATTN: BASSEM SAVERS
50 KING ST. E. HAMILTON, ON P (519)208-9675

APPLICANT:

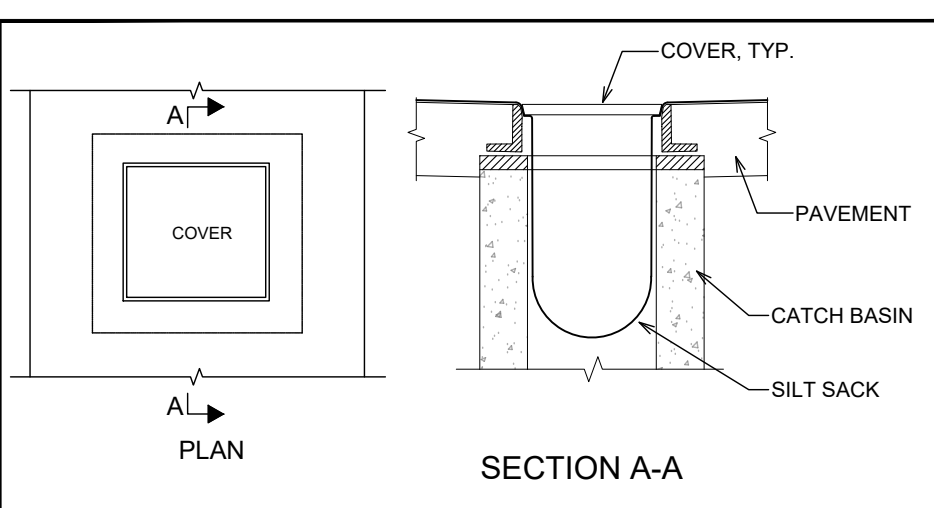
REINDERS + ASSOCIATES LTD. 64 ONTARIO STREET NORTH, MILTON ON L9T 2T1
P (905)457-1618 F (905)457-8852



PLAN ILLUSTRATING TOPOGRAPHY OF 32-42 WINDOM RD. CITY OF KITCHENER REGIONAL MUNICIPALITY OF WATERLOO
INFORMATION TAKEN FROM A SURVEY PERFORMED BY MacDonald Tamlyn Lord Surveying 4273 KING ST. E. #100, KITCHENER, ON, N2P 2P9
TELEPHONE: (519) 621-9600 FAX: (519) 650-5625
WEBSITE: www.jdbarnes.com
REFERENCE No. 23-10-070-00
DATED JULY 07, 2023.



NOTE: TEMPORARY ACCESS MUD-MAT. CLEAR STONE MUD-MAT TO BE MAINTAINED DURING CONSTRUCTION.
MUD-MAT DETAIL
N.T.S.



REFERENCE PLANS:
1. THIS PLAN MUST BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPING, ELECTRICAL & STRUCTURAL PLANS.
2. FOR SITE SERVICING PLAN REFER DRAWING No. SP3.
3. FOR SITE GRADING PLAN REFER DRAWING No. SP4.

LEGEND:
SEEDMENT CONTROL FENCE
CATCH BASIN SEDIMENT PROTECTION

no.	revisions	date	init.
2	ISSUED FOR APPROVAL	2026/02/18	Y.A.
1	ISSUED FOR APPROVAL	2025/10/30	Y.A.
0	ISSUED FOR APPROVAL	2025/10/16	Y.A.

GENERAL NOTE:
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cad file 23051_SP3.DWG
date plotted 2025/06/18 plot scale 1:1



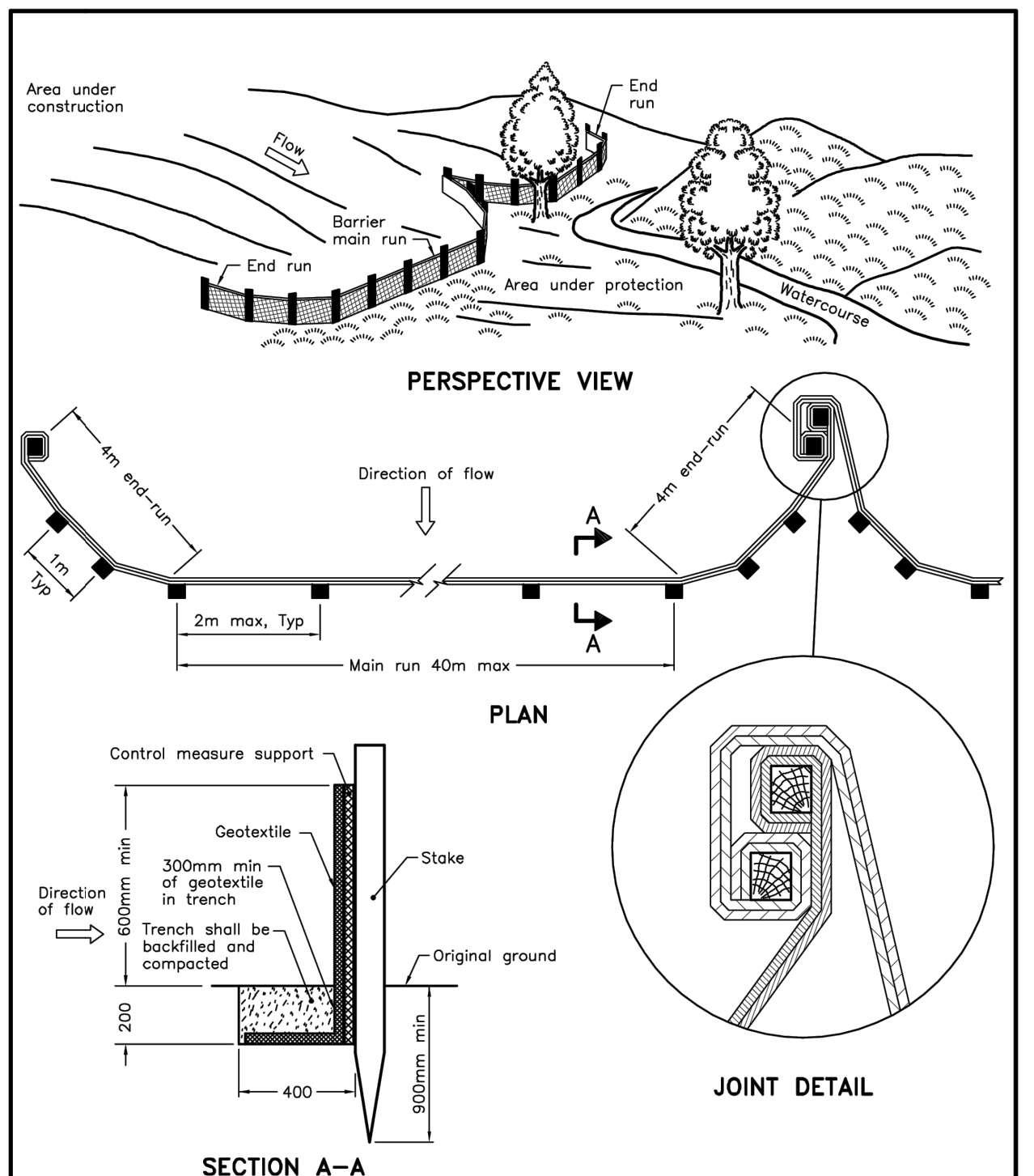
drawn A.T.
designed U.A.
reviewed Y.A.
date 2025/06/18
scale 1:150
project 32-42 WINDOM RD. KITCHENER, ONTARIO

drawing EROSION & SEDIMENT CONTROL PLAN, NOTES AND DETAILS

REINDERS + ASSOCIATES
ARCHITECTURE, ENGINEERING

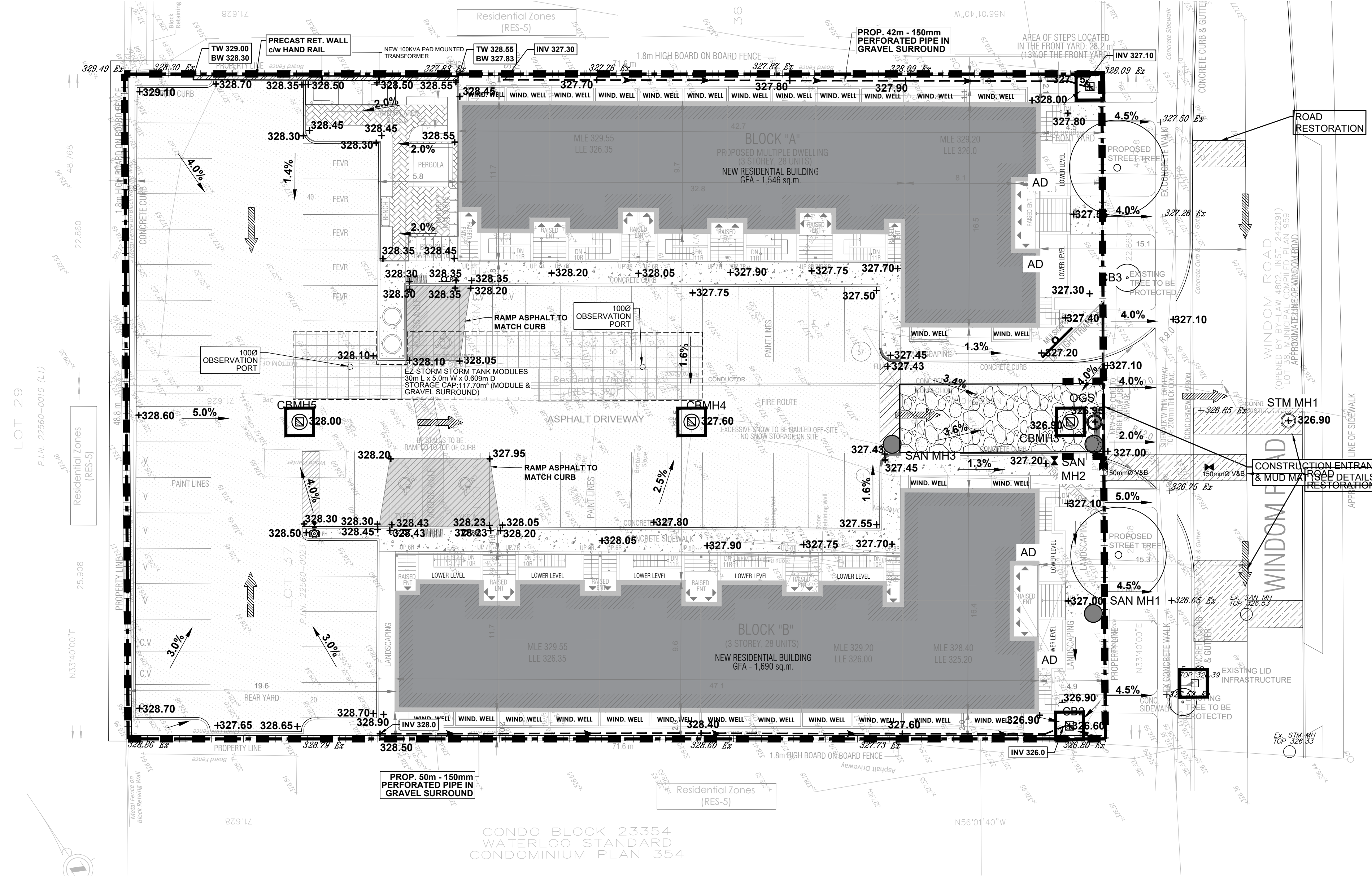
REINDERS + ASSOCIATES LTD. ARCHITECTURE, ENGINEERING
64 ONTARIO STREET NORTH MILTON, ON L9T 2T1
T. 905.457.1618 F. 905.457.8852
EMAIL@REINDERS.CA WWW.REINDERS.CA

drawing no. 23051_SP5 rev. no. 0



NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING
HEAVY-DUTY SILT FENCE BARRIER
OPSD 219.130



SHEET SIZE: A1 609.6mm X 914.4mm

GENERAL NOTES:

- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT IS TO CONFORM TO THE ONTARIO BUILDING CODE - 2024 INCLUDING ALL AMENDMENTS, AND THE RELEVANT LISTED C.S.A. STANDARDS INCLUDING THE LATEST EDITIONS.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL DRAWINGS AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT TO THE ENGINEER ANY DISCREPANCIES OR UNSATISFACTORY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE JOB BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWINGS.
- DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE AS INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
- DESIGN LOADS INDICATED ARE UNFACTORED UNLESS NOTED.
- CONSTRUCTION, FABRICATION AND SHOP DRAWING REVIEW MUST BE PROVIDED AS PER CODE.
- REFERENCE ELEVATIONS SHOWN CORRESPOND TO ACTUAL GEODETIC ELEVATION.
- ALL DIMENSIONS ON DRAWINGS ARE IN MILLIMETERS U.N.O.
- DELIVER, HANDLE AND STORE MATERIALS TO AVOID DAMAGE IN ANY MANNER.
- MAINTAIN A SET OF DRAWINGS ON SITE & UPDATE FREQUENTLY WITH CONSTRUCTION RECORD INFORMATION

MATERIALS:

UNLESS NOTED OTHERWISE ON THE DRAWINGS THE FOLLOWING MATERIALS SHALL BE USED FOR CONSTRUCTION:

- CONCRETE SHALL BE PROPORTIONED AS FOLLOWS TYPICAL UNLESS NOTED OTHERWISE

CONCRETE	FOOTINGS	FOUNDATION WALL & PIERS (EXTERIOR)	SLAB ON GRADE (INTERIOR)	OTHER (FREEZING & THAWING) PAVEMENTS, SIDEWALKS, CURBS & GUTTERS	EXTERIOR CONCRETE SLAB
DESCRIPTION					
28 DAYS (MIN. STRENGTH (MPa))	25	25	25	32	35
AIR CONTENT	NONE	4% TO 7%	NONE	5% TO 8%	NONE
MAX. AGGREGATE SIZE (mm)	20	20	20	20	20
EXPOSURE CLASS	N	F2	N	C2	C1

- REINFORCING STEEL: BILLET STL. BARS TO G30.18-GRADE 400R, GRADE 400W WHERE WELDING IS REQUIRED.
- WELDED STEEL WIRE FABRIC: G30.5
- ANCHOR BOLTS, NUTS & WASHERS: ASTM A307 & A36
- HIGH STRENGTH ANCHOR BOLTS: ASTM A325
- PLATES, ANGLES, CHANNELS: G40.21-300W
- WIDE FLANGE BEAMS: G20.21-350W
- HSS: G40.21-350W-CLASS C
- BRICK: 55MPa CLAY TO CSA A82 SERIES.
- WOOD: LUMBER: GRADED TO NLGA RULES SPF #12, S-DRY U.N.O. MSR GRADE FOR TRUSSES AS REQUIRED.
GLULAM: CSA 0122 SP GRADE 20K-E BENDING STRESS U.N.O. 12c-E COMPRESSION STRESS U.N.O.
I JOIST: LUMBER CHORDS AND ORIENTED STRAND BOARD WEBS. MANUFACTURER TO IDENTIFY GRADES / PROPERTIES.
PLYWOOD: CSA 0151 SOFTWOOD EXTERIOR GRADE.
WAFFER BOARD: CSA 0437 GRADE 0 - 1 OR 0 - 2.
COMPOSITE LUMBER: PARALLAM PSL OR MICROLAM LVL (2.0E MIN) VALUES AS PUBLISHED BY TRUSS JOIST MACMILLAN.

CONSTRUCTION JOINTS:

- CONSTRUCTION JOINTS SHALL BE MADE AND LOCATED SO AS NOT TO IMPAIR THE STRENGTH OF THE STRUCTURE. IF CONSTRUCTION JOINTS ARE NOT SPECIFICALLY LOCATED AND THERE IS ANY DOUBT CONCERNING THE LOCATION, THE CONTRACTOR MUST CONSULT WITH THE ENGINEER.
- WHERE A CONSTRUCTION JOINT IS TO BE MADE, THE SURFACE OF THE SET CONCRETE SHALL BE THOROUGHLY CLEANED OF FOREIGN MATTER AND LAITANCE, SATURATED WITH WATER AND LEFT IN A DAMP CONDITION WITH NO FREE WATER ON THE SURFACE, IMMEDIATELY BEFORE PLACING ADJACENT CONCRETE.
- REINFORCING STEEL PROJECTING THROUGH CONSTRUCTION JOINT SHALL BE THOROUGHLY CLEANED OF FLAKY RUST, MUD, OIL, DRIED CONCRETE OR OTHER COATINGS WHICH WOULD DESTROY OR REDUCE THE BOND.
- PROVIDE CONSTRUCTION JOINTS IN WALLS AT 10M (MAX.) OR AT 20M (MAX.) c/c WHEN ALTERNATING WITH CONTROL JOINTS.

FOUNDATION NOTES:

- FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY CHUNG & VANDER DOELEN FOR PROPOSED TOWNHOUSE DEVELOPMENT 32 & 42 WINDOM ROAD KITCHENER, ONTARIO, AND DATED JULY 17, 2023.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1980 AND ANY SUBSEQUENT AMENDMENTS.
- REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.
- PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
- ALL FOOTINGS SHALL BEAR ON APPROVED ENGINEERING FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 150 kPa (SLs) AND 250 kPa (ULs).
- APPROVED GRANULAR FILL UNDER FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN 200mm LAYERS TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 1219mm BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTING FROM FROST ACTION.
- ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A 438-00 AND A23.1-04.
- REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 841.2 MPa.
- ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 16mm DIAMETER ANCHOR BOLTS AT 1200 c/c MAXIMUM.
- THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN: 32 MPa FOR GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLOORS AND ALL EXTERIOR WALLS, 25 MPa FOR INTERIOR FLOORS OTHER THAN THOSE FOR GARAGES AND CARPORTS, AND 25 MPa FOR ALL APPLICATIONS, UNLESS NOTED OTHERWISE.
- POURING CONCRETE
- DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
- WATER CURING OF CONCRETE IS RECOMMENDED.
- USE MINIMUM OF 200mm COMPACTED LAYER OF 19mm CLEAR STONE UNDER ALL GROUND SLABS.
- ANY NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
- THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED: FOOTINGS: $\pm 75\text{mm}$ PIERS AND WALLS: $\pm 38\text{mm}$ UNLESS NOTED OTHERWISE.
- SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALL NOT EXCEED 6100mm O.C.

SEISMIC LOAD:

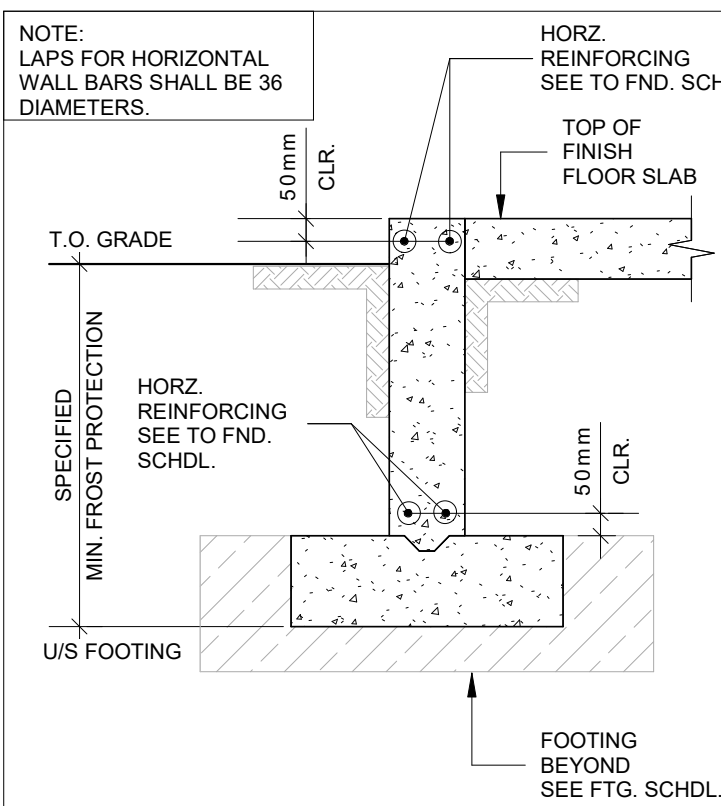
- A) SEISMIC DATA: $S_a(0.2) = 0.122$ $S_a(0.5) = 0.255$
 $S_a(1.0) = 0.151$ $S_a(2.0) = 0.0721$
 $S_a(5.0) = 0.0188$ $S_a(10.0) = 0.00593$
- B) FORCE MODIFICATION FACTORS: (TIMBER SHEAR WALLS)
 $R_d = 2.0$
 $R_o = 1.7$
- C) SITE CLASS: D
- D) VDESIGN: BUILDING A = 265 kN
BUILDING B = 295 kN

TIMBER:

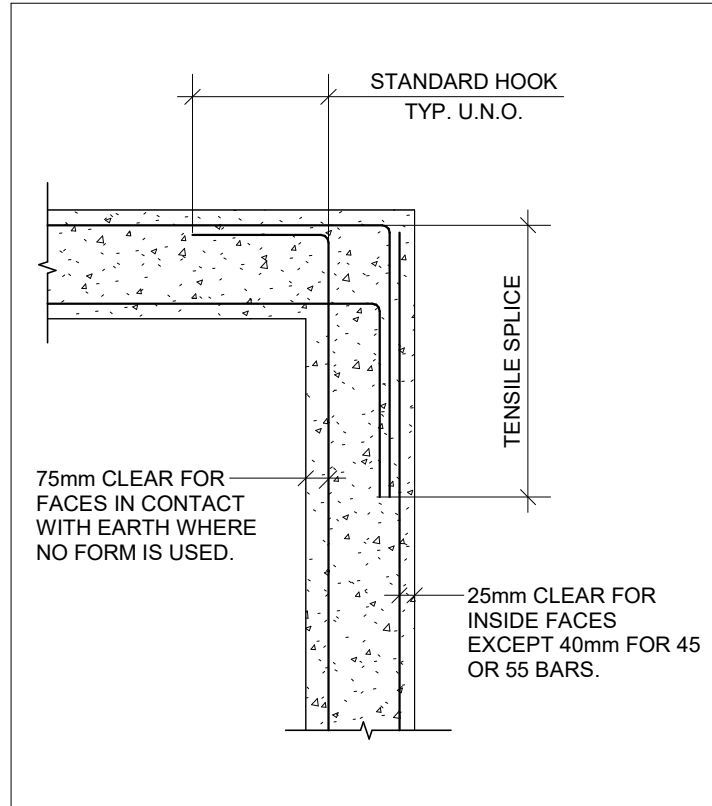
- ALL WOOD MATERIALS, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH CAN/CSA-086.1-M89-ENGINEERING DESIGN IN WOOD (LIMIT STATES DESIGN). ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA INCLUDING ALL LATEST EDITIONS.
- ALL TIMBER FOR RAFTERS, LINTELS, BEAMS, AND POSTS TO BE SPF NO. 1 & 2 MIXED UNLESS NOTED ON PLAN. LVL MEMBERS TO BE 2.0E GRADE.
- ALL TIMBER SHALL CONFORM TO RECOGNIZED NOMINAL SIZES SHOWN ON PLAN AND STRESS RATING FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
- ALL TRUSSES AND ENGINEERING JOISTS MUST BE FABRICATED IN ACCORDANCE WITH O.B.C. / N.B.C. (LATEST EDITION) PART 4 AND TRUSS PLATE INSTITUTE REQUIREMENT. ACCOUNT FOR PARTIAL LOADING PATTERNS AS SPECIFIED IN THE CODE.
- FLAT JOIST AND PROFILED TRUSS FABRICATOR SHALL SUPPLY ERECTION DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, WIND UPLIFT FORCES, REQUIRED BEARING AND TEMPORARY AND PERMANENT BRACING, CONNECTIONS AND SHALL BEAR A SEAL OF THE PROFESSIONAL DESIGN ENGINEER REGISTERED WITH THE P.E.O.
- ALL HANDLING AND ERECTION OF TRUSSES / ENGINEERING JOIST TO BE IN ACCORDANCE WITH TRUSS / ENGINEERING JOIST SUPPLIER'S REQUIREMENTS.
- ALL TRUSSES MUST BE ANCHORED TO SUPPORTS WITH TIE DOWN METAL ANCHORS.
- PROVIDE ALL TEMPORARY AND PERMANENT BRACING NECESSARY FOR PROPER PERFORMANCE OF ROOF SYSTEM, WITH THE DESIGN ASSUMPTION THAT THE TOP TRUSS CHORD IS LATERALLY RESTRAINED BY THE ROOF SHEATHING.
- ALL HANGER CONNECTIONS MUST BE DESIGNED BY THE TRUSS DESIGN ENGINEER AND SUPPLIED BY THE TRUSS FABRICATOR. ERECTION DRAWINGS MUST CORRELATE ALL CONNECTIONS AND TRUSSES WITH APPROPRIATE HARDWARE AND FASTENING DETAILS. METAL CONNECTORS TO BE BY 'SIMPSON STRONG TIE' OR APPROVED EQUAL.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- MAXIMUM BRIDGING SPACING:
STANDARD WOOD JOISTS - 2000mm
STUD WALLS - 1200mm TO MATCH SHEATHING JOINTS
FRAMING INTO FLUSH BEAMS MUST BE FASTENED WITH METAL JOIST OR BEAM HANGERS.
- SPIKE ALL BUILT-UP SAWN LUMBER BEAMS @ 300mm c/c (12") IN ROWS NOT EXCEEDING 75mm c/c (3").
- SPIKE & GLUE BUILT-UP COLUMNS @ 150mm c/c (6") IN ROWS NOT EXCEEDING 75mm c/c (3").
- SPIKE & GLUE BUILT-UP SAW LUMBER BEAM @ 300mm O.C. (12") IN ROWS NOT EXCEEDING 75mm c/c (3").
- SEPARATE ALL WOOD FROM CONCRETE WITH WATERPROOF BARRIER OR USE PRESSURE-TREATED WOOD.
- PREMANUFACTURED SPECIALTY WOOD PRODUCTS SUCH AS 'PARALLAM' PARALLEL STRAND LUMBER, 'MICRO-LAM' LAMINATED VENEER LUMBER, OR WOOD I OR TRUSS JOIST MANUFACTURED JOISTS, MUST BE STORED HANDLED, MODIFIED AND ERECTED AS PER MANUFACTURERS DETAILED GUIDELINES. AN INDEPENDENT TESTING AGENCY RETAINED BY THE MANUFACTURER WILL PROVIDE PRODUCT CERTIFICATION DOCUMENTS IF REQUIRED.
- UNLESS NOTED OTHERWISE, LIMIT DEFLECTION FOR STRUCTURAL WOOD MEMBERS TO THE FOLLOWING:
LIVE LOAD, SPAN / 360
TOTAL LOAD, SPAN / 240
- WOOD DECK TO ACT AS A DIAPHRAGM FOR THE DISTRIBUTION OF WIND AND SEISMIC FORCES TO THE LATERAL LOAD RESISTING ELEMENTS.

WOOD FRAMING NOTES:

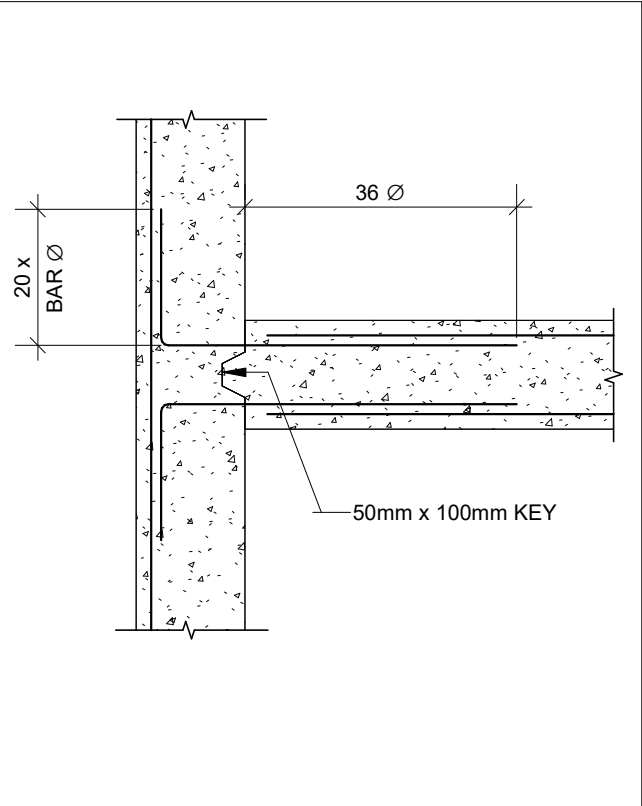
- REFER TO PART 3 OF THE ONTARIO BUILDING CODE FOR REQ. OF NONCOMBUSTIBLE CONSTRUCTION, FIRE STOPPING AND FOR FIRE SAFETY WITHIN THE BUILDING.
- ALL WOOD MATERIALS AND DESIGN SHALL BE IN ACCORDANCE WITH CAN/CSA 086.1-1 "ENGINEERING DESIGN IN WOOD (LIMIT STATES DESIGN)".
- ALL FRAMING, BRIDGING, BLOCKING, NAILING AND OTHER DETAILS NOT SPECIFIED ON DRAWINGS TO BE IN ACCORDANCE WITH PART 9 OF THE N.B.C.C.
- ALL JOIST HANGERS TO BE HUS AND FRAMING ANCHORS TO BE A35 BY SIMPSON STRONG TIE OR APPROVED EQUAL. USE HOT DIP GALVANIZED FINISH STEEL FOR EXTERIOR WORK.
- MOISTURE CONTENT OF WOOD AT TIME OF BUILDING SHALL NOT EXCEED 19.
- ALL ORIENTED STRAND BOARD (OSB) TO CONFORM TO CSA 0325 0-94 (R2002) "OSB AND WAFFERBOARD" AND CSA 0452 0-94 "DESIGN RATED OSB: SPECIFICATIONS".
- BOLTS AND THREADED RODS TO BE A307 OR 300W GRADE.
- ALL WOOD TO BE PRESSURE TREATED MATERIAL AS PER CAN/CSA-080 SERIES - M89 "WOOD".
- NAILING REQUIREMENTS (AS PER O.B.C.) SHALL BE AS FOLLOWS:
A. VERTICAL STUDS TO BOTTOM PLATES: 4 - 75mm ARDOX NAILS.
B. VERTICAL STUDS TO TOP PLATES: 4 - 89 ARDOX NAILS.
C. ROOF BRACING TO PLATES: TO BE DESIGNED BY TRUSS ENGINEER.
D. WIND BRACING (PIER TRUSSES): TO BE DESIGNED BY TRUSS ENGINEER.
E. BRIDGING (PIER TRUSSES): TO BE DESIGNED BY TRUSS ENGINEER.
F. LINTELS: 89mm ARDOX NAILS @ 305mm O.C.
G. HORIZONTAL AND 102mm O.C. VERTICAL STAGGERED WALL SHEATHING: 38mm ARDOX NAILS @ 200mm O.C. TO STUDS & PLATES
- ALL STUD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 16mm DIAMETER ANCHOR BOLTS AT 1200mm O.C. MAXIMUM.
- ALL WOOD SHALL BE No. 2 SPRUCE OR BETTER.
- THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.
- WHERE FLOOR JOISTS ARE PARALLEL TO EXTERIOR SUPPORT WALL TURN JOISTS BACK 610mm FOR BRICK CANTILEVER.



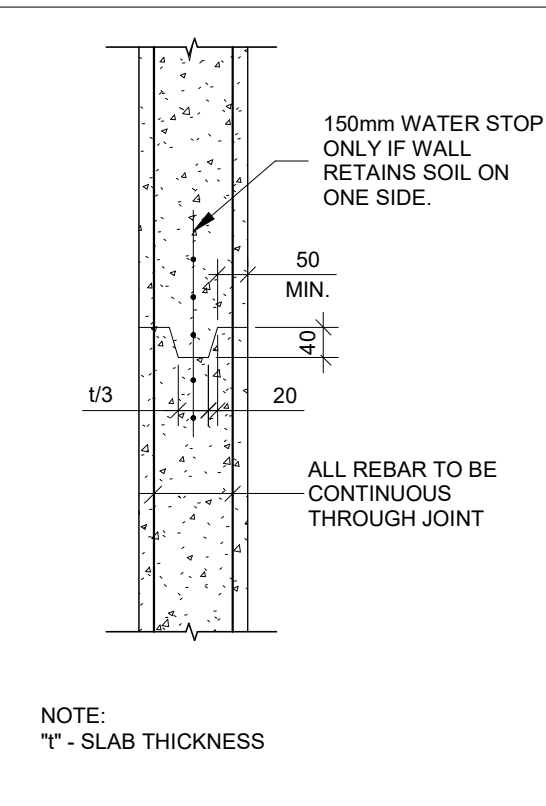
10 TYPICAL WALL FOUNDATION (U.N.O. ON DWGS.)



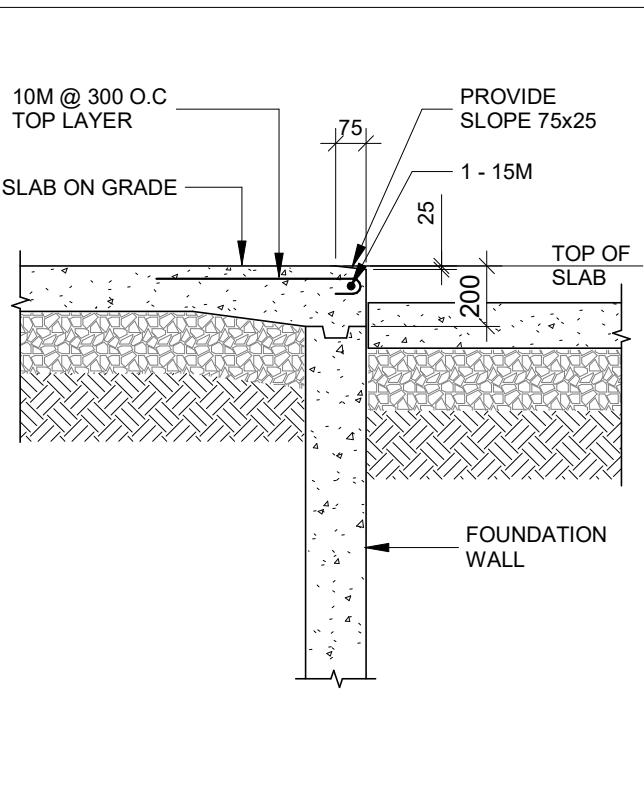
11 PLAN DETAIL AT CORNERS



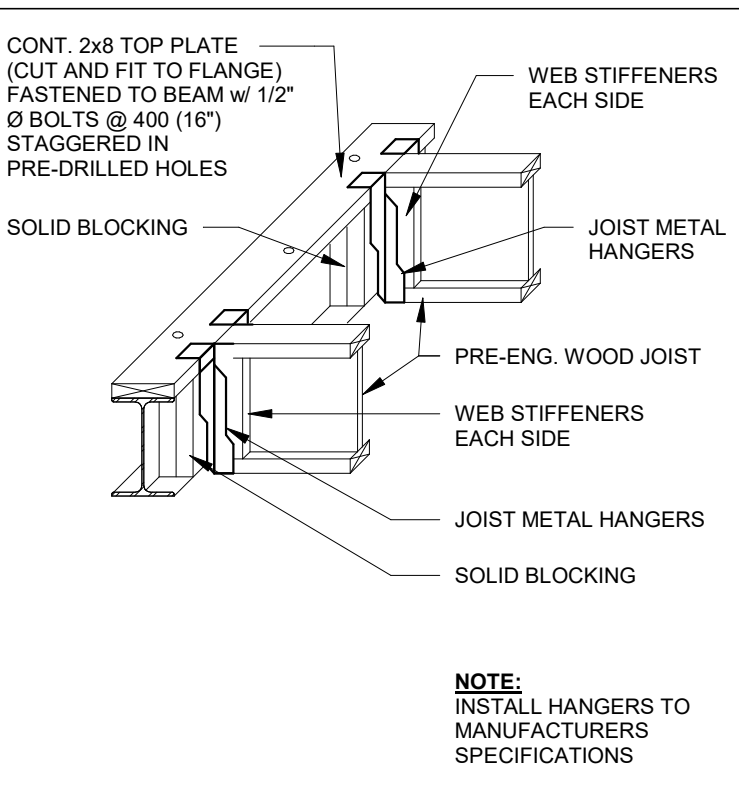
12 PLAN DETAIL AT INTERSECTION WALLS



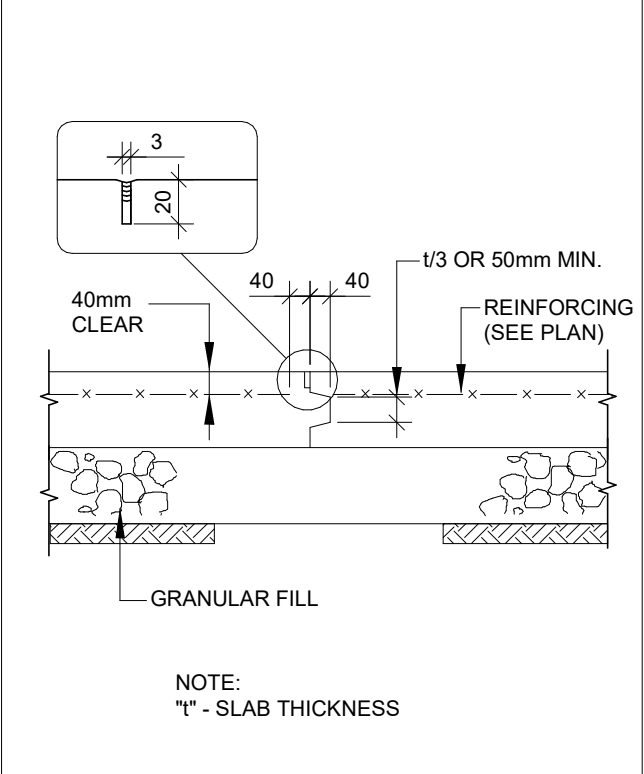
13 VERTICAL CONSTRUCTION JOINT IN CONCRETE WALL



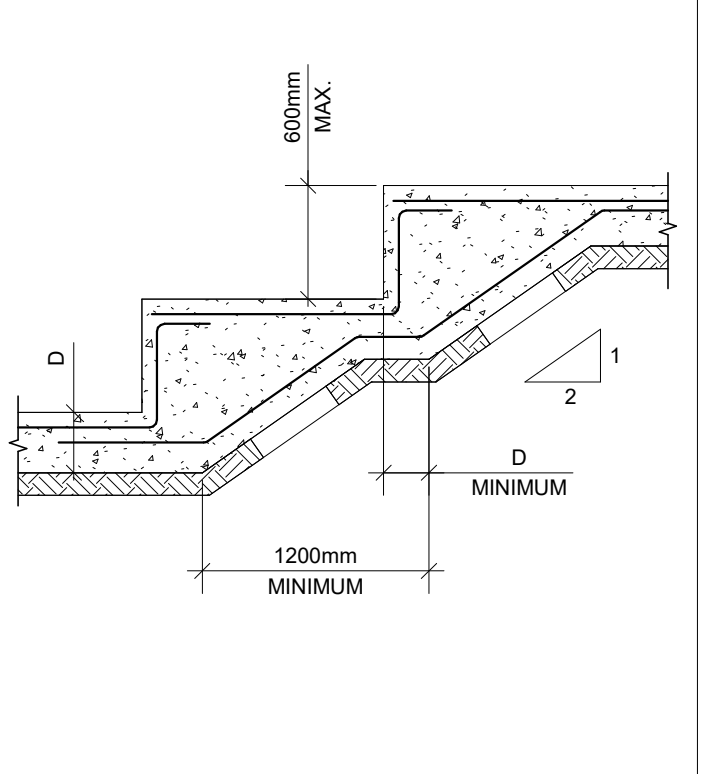
14 TYP. DETAIL AT DOOR LOCATIONS



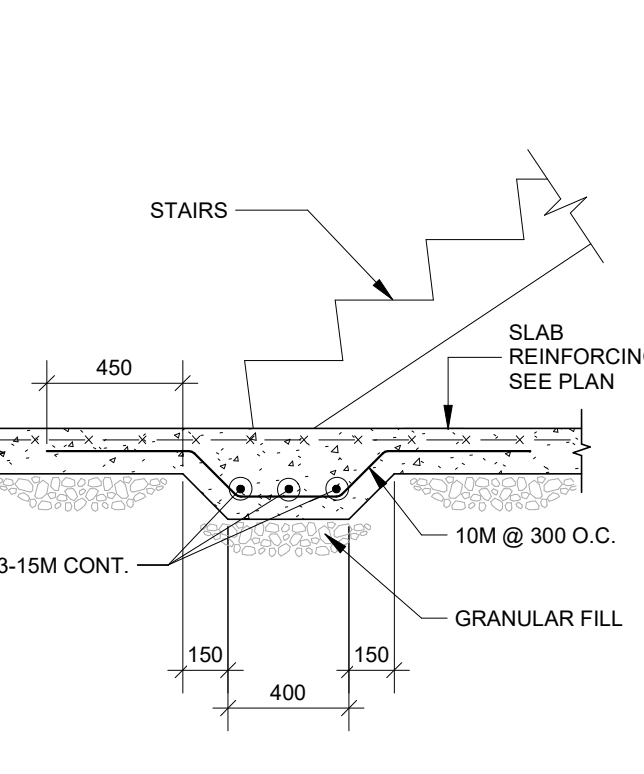
15 WOOD JOIST TO STEEL BEAM



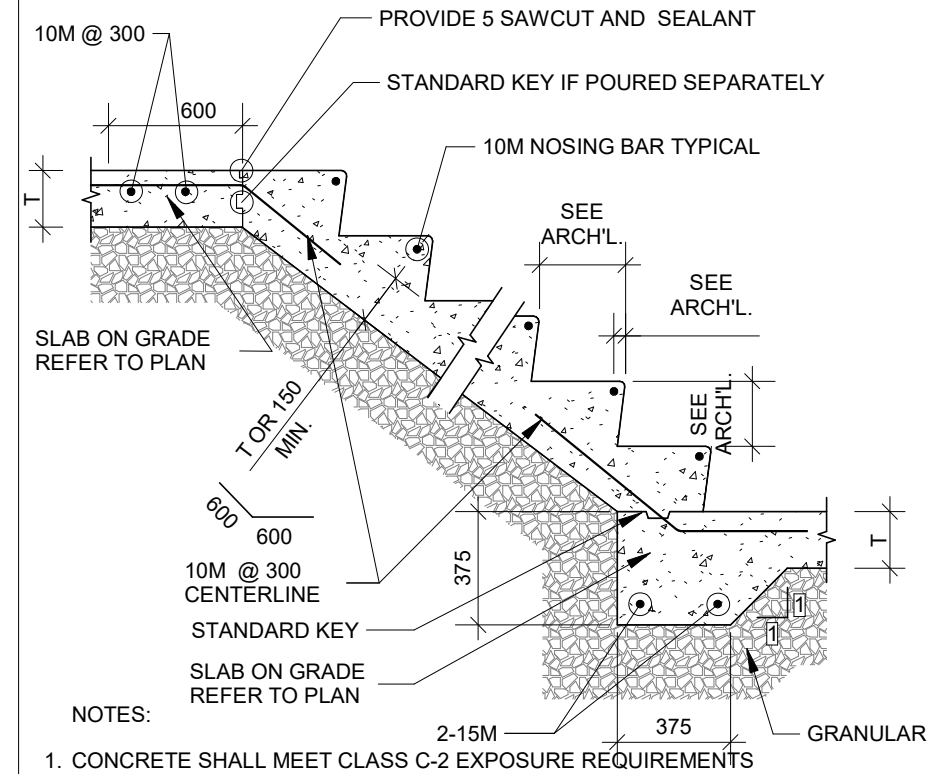
16 TYPICAL CONSTRUCTION JOINT IN SLAB ON GRADE



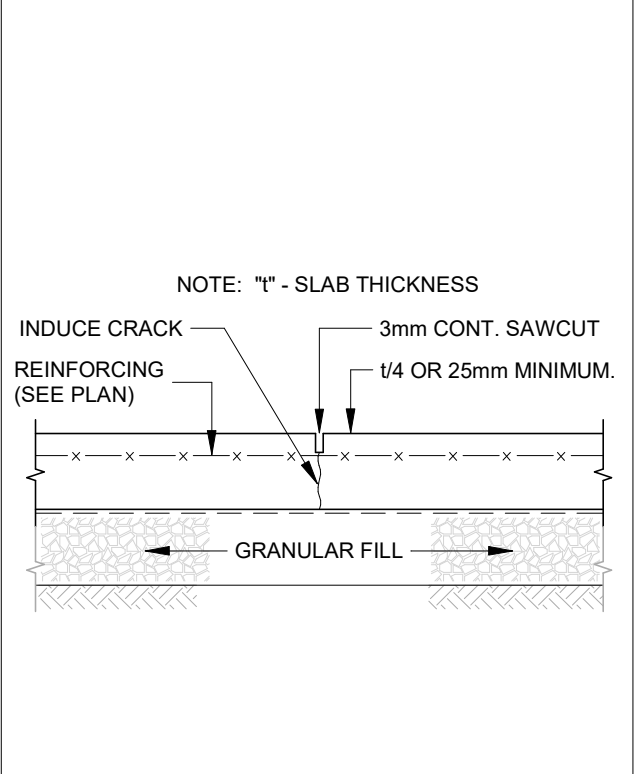
17 STEPPED FOOTINGS



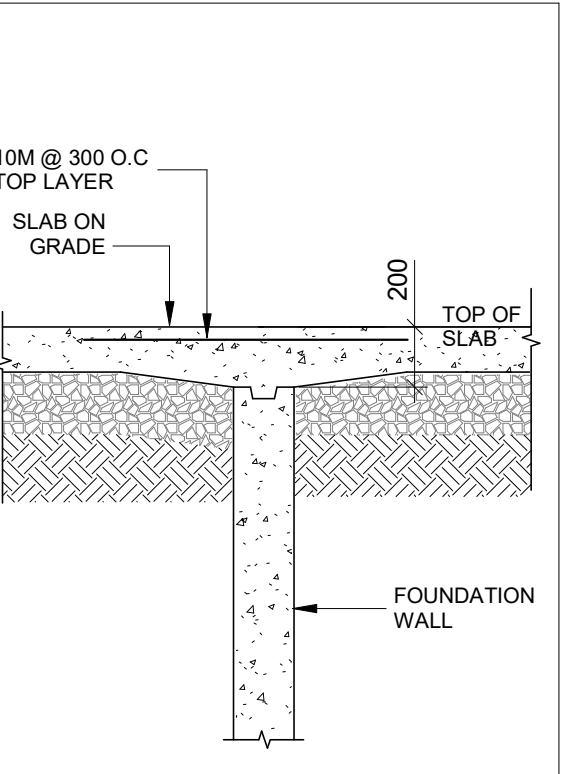
18 SLAB THICKENING ON SLAB AT BASE OF STAIR



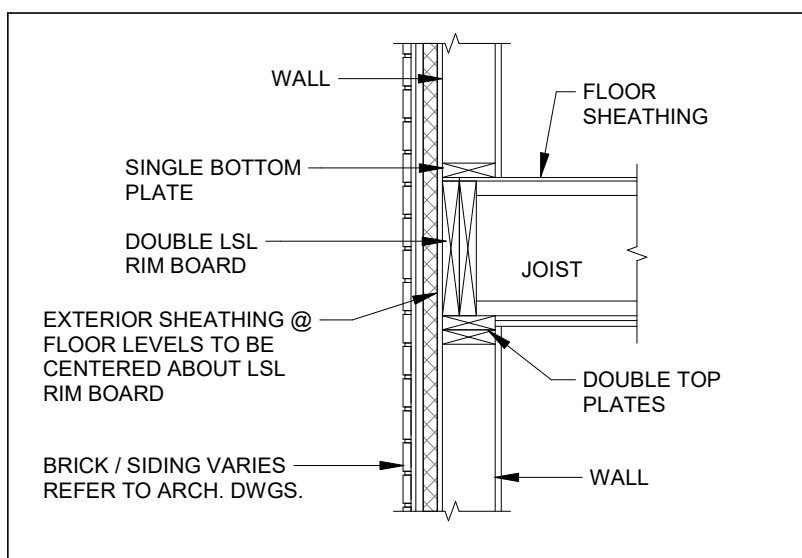
19 CAST IN PLACE STAIR - SLAB ON GRADE



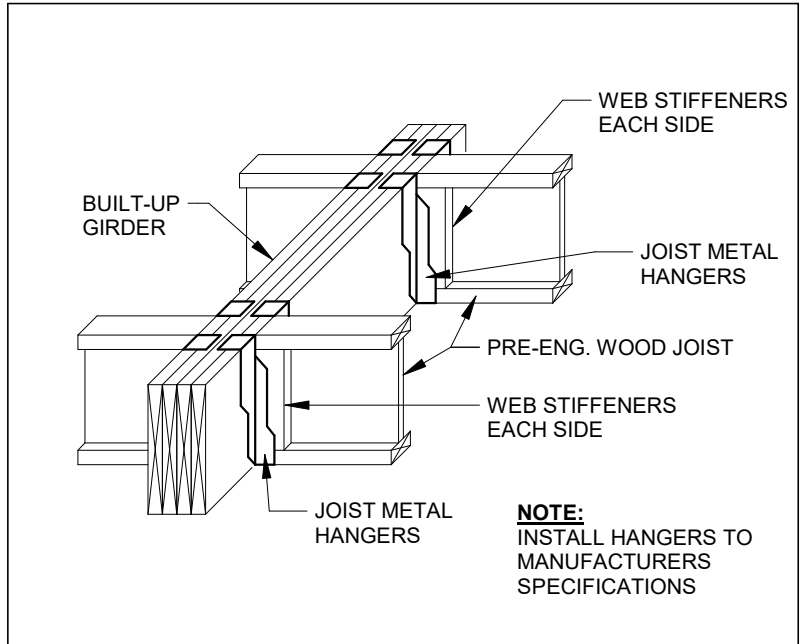
20 TYPICAL CONTROL JOINT SLAB ON GRADE



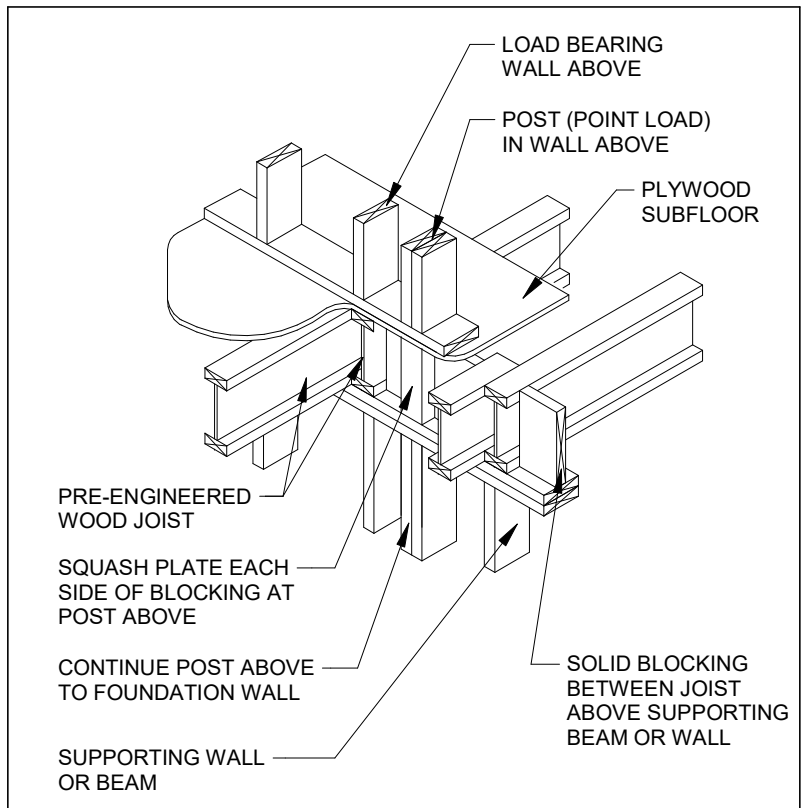
21 TYP. DETAIL AT DOOR FLUSH CONC. SLAB



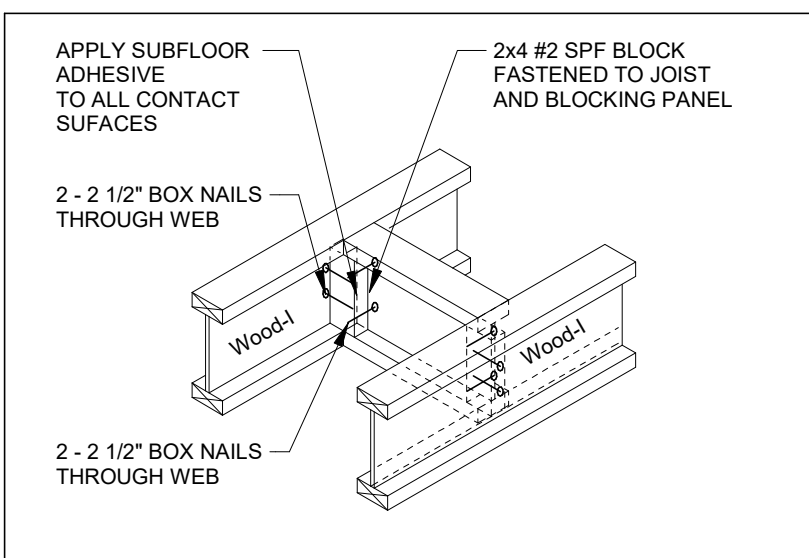
1 WOOD JOIST AT EXTERIOR WALL



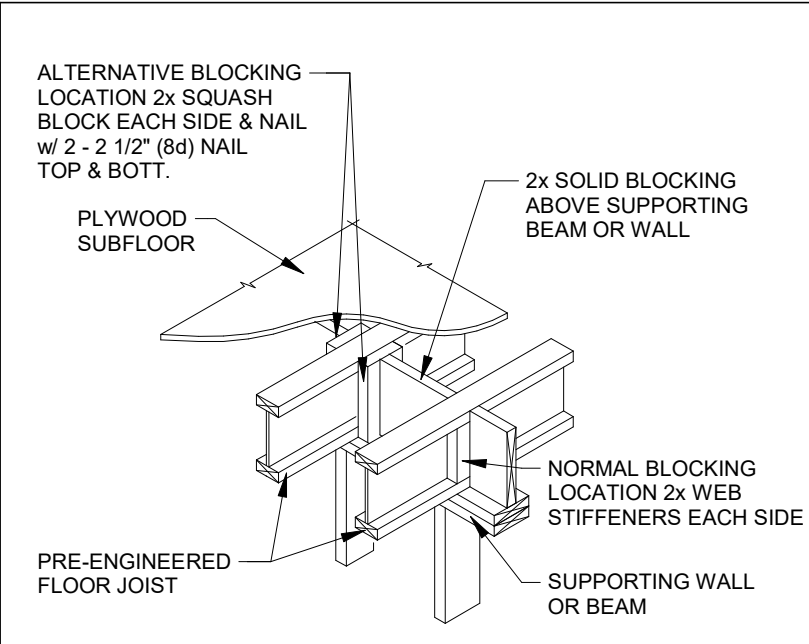
4 FLUSH BEAM CONNECTION



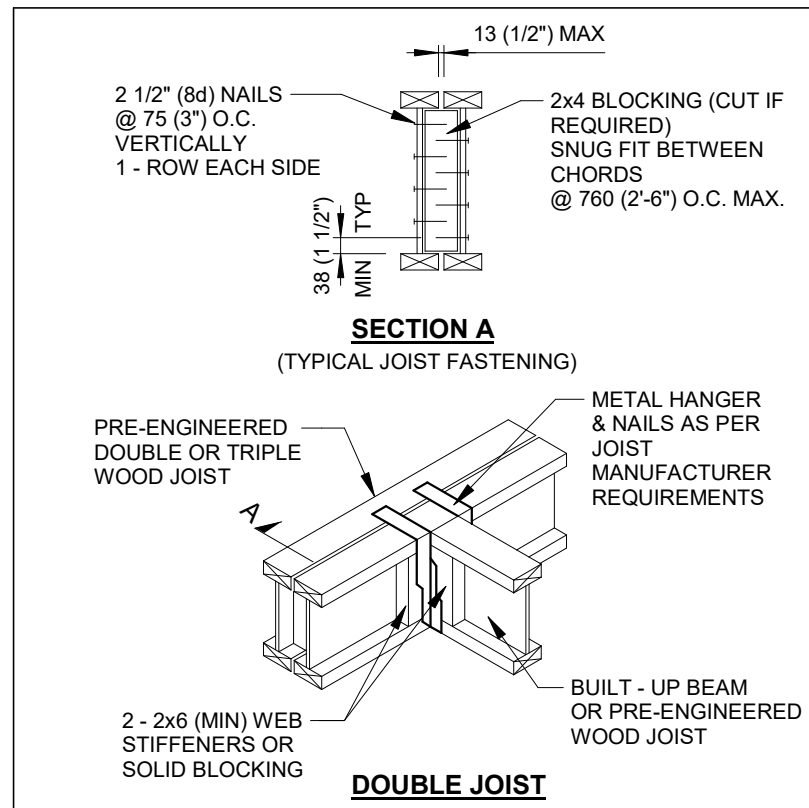
7 SOLID BLOCKING AT POST



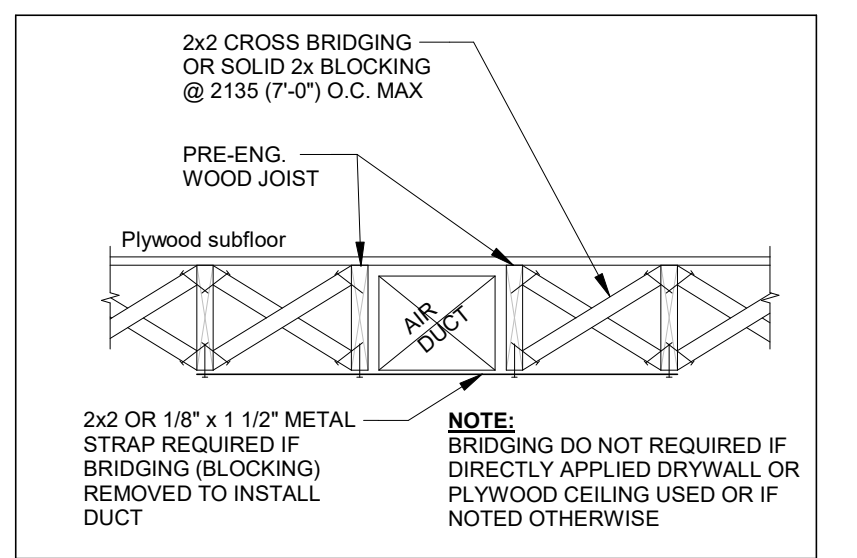
2 SOLID BLOCKING DETAIL



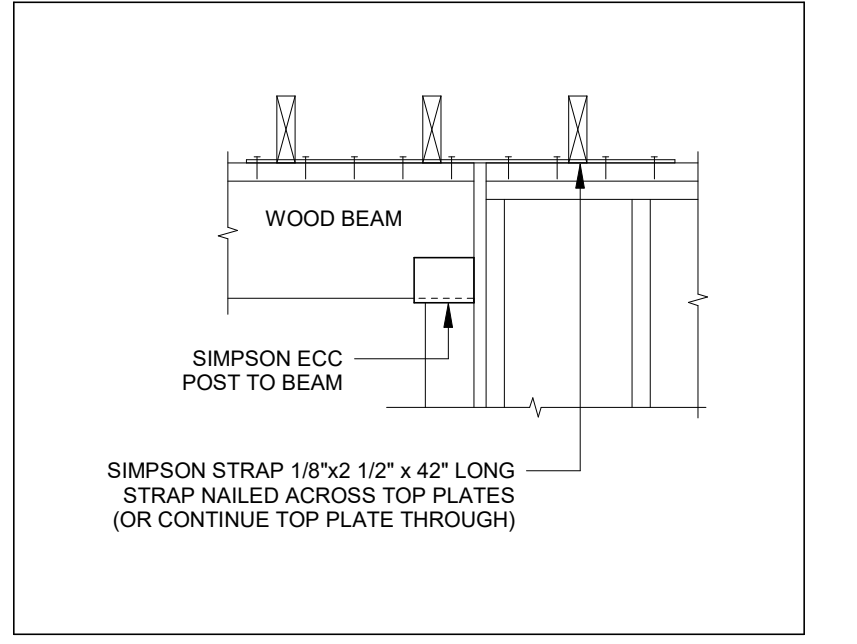
5 SQUASH BLOCKS OVER SUPPORTING WALLS



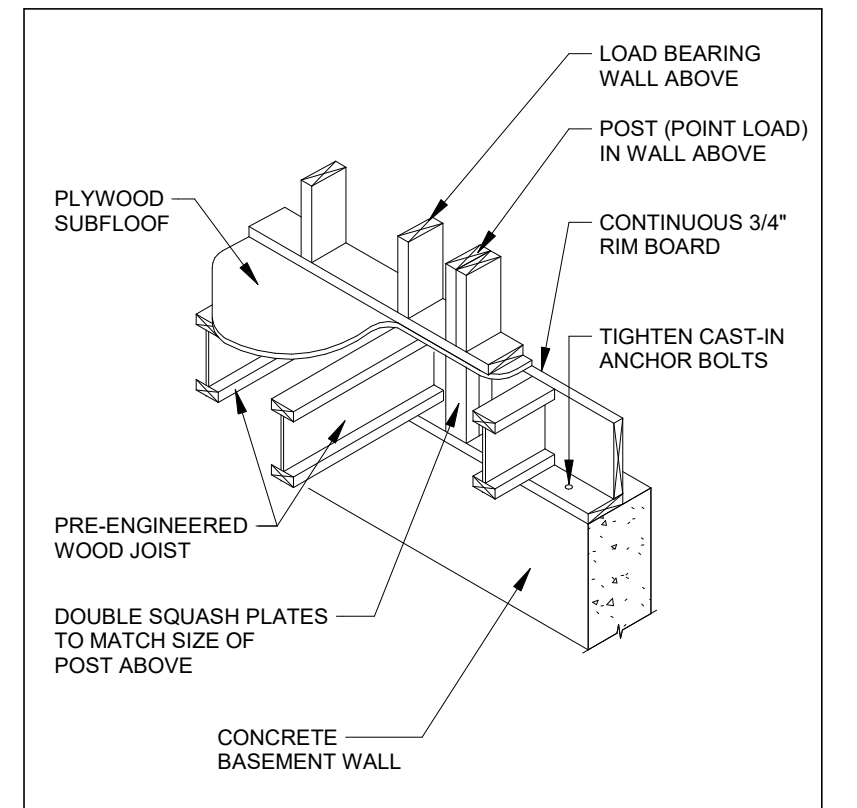
8 JOIST CONNECTION



3 DUCTS THRU BLOCKING DETAIL

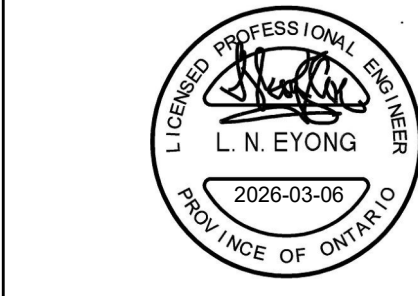


6 WOOD BEAM IN STUD WALL



9 FOUNDATION BEARING

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drawn: RY
designed: LE
reviewed: LE
date: 2026-03-06

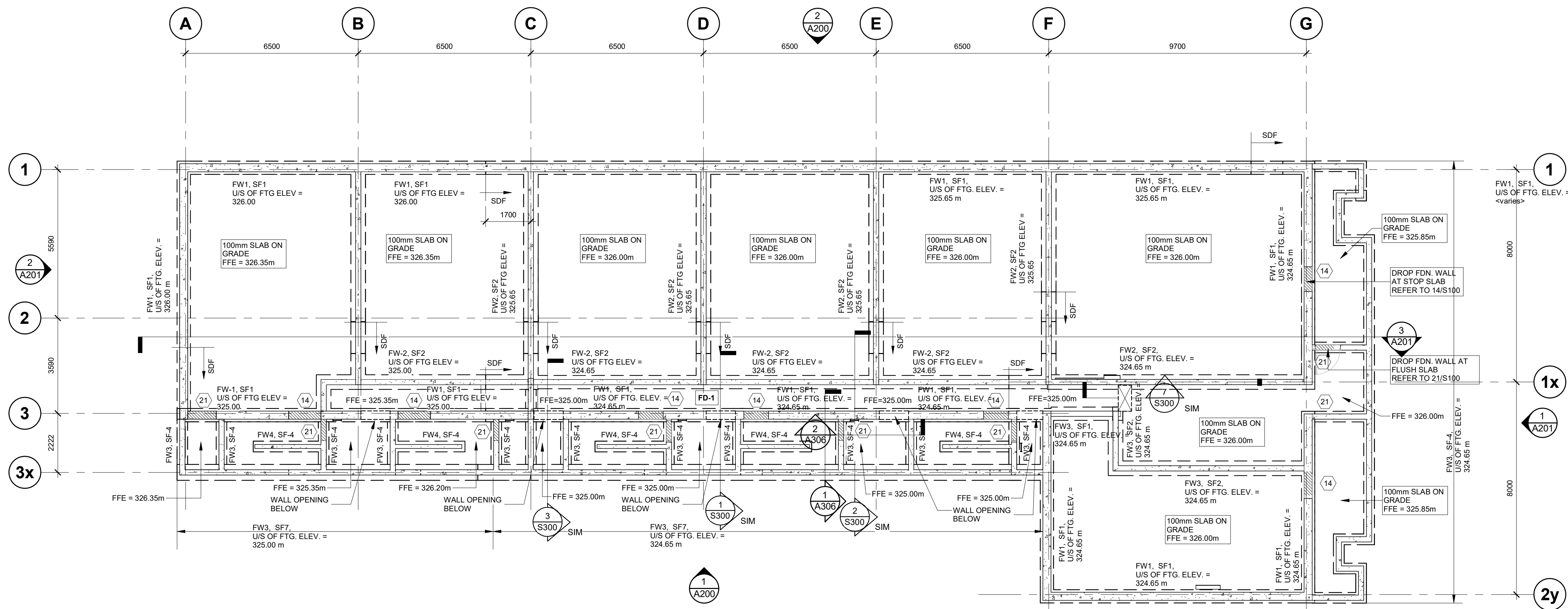
scale: N.T.S.
project: WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

GENERAL NOTES, WOOD DETAILS AND TYPICAL FOUNDATION DETAILS

REINDERS + ASSOCIATES
ARCHITECTURE . ENGINEERING

64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

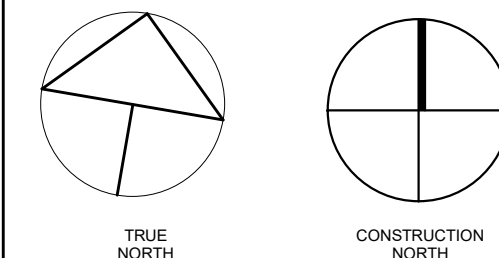
project no.: 23051
drawing no.: S100
rev. no.: 4



1 FOUNDATION PLAN
1 : 100

- FOUNDATION NOTES:**
- ALL INTERIOR WALLS TO BE CENTERED ON GRID LINES.
 - WALL REINFORCING: REFER TO WALL SECTIONS AND ENSURE COMPLIANCE WITH OBC TABLE 9.15.3.4 AND 9.15.3.5. REINFORCE WALLS WITH MIN. 2 - 15M BARS TOP & BOTTOM, AND CONCRETE HEADERS WITH 12 - 15M T&B WITH MIN. 500mm DEVELOPMENT LENGTH AT EACH END AND 10M @ 400 CLOSED STIRRUPS.
 - SEE TYPICAL DETAILS AND GENERAL NOTES ON S100 SERIES.
 - TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.

- LEGEND :**
- 14 - REFER TO TYPICAL DETAIL No. 14
 - 21 - REFER TO TYPICAL DETAIL No. 21
 - FD-1 - 62mm CONCRETE ON 38mm COMPOSITE STEEL DECK REINF. W/ 152x152xMM18.7 x MW18.7 MESH.

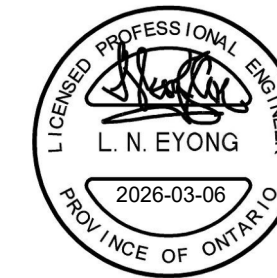


TRUE NORTH CONSTRUCTION NORTH

4	RE-ISSUED FOR PERMIT	2026-03-06	LE
3	ISSUED FOR TENDER	2025-12-23	LE
2	RE-ISSUED FOR PERMIT	2025-10-08	LE
1	ISSUED FOR FOUNDATION TENDER	2025-10-03	LE
0	ISSUED FOR PERMIT	2025-08-22	LE

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drawn: RY
designed: LE
reviewed: LE
date: 2026-03-06

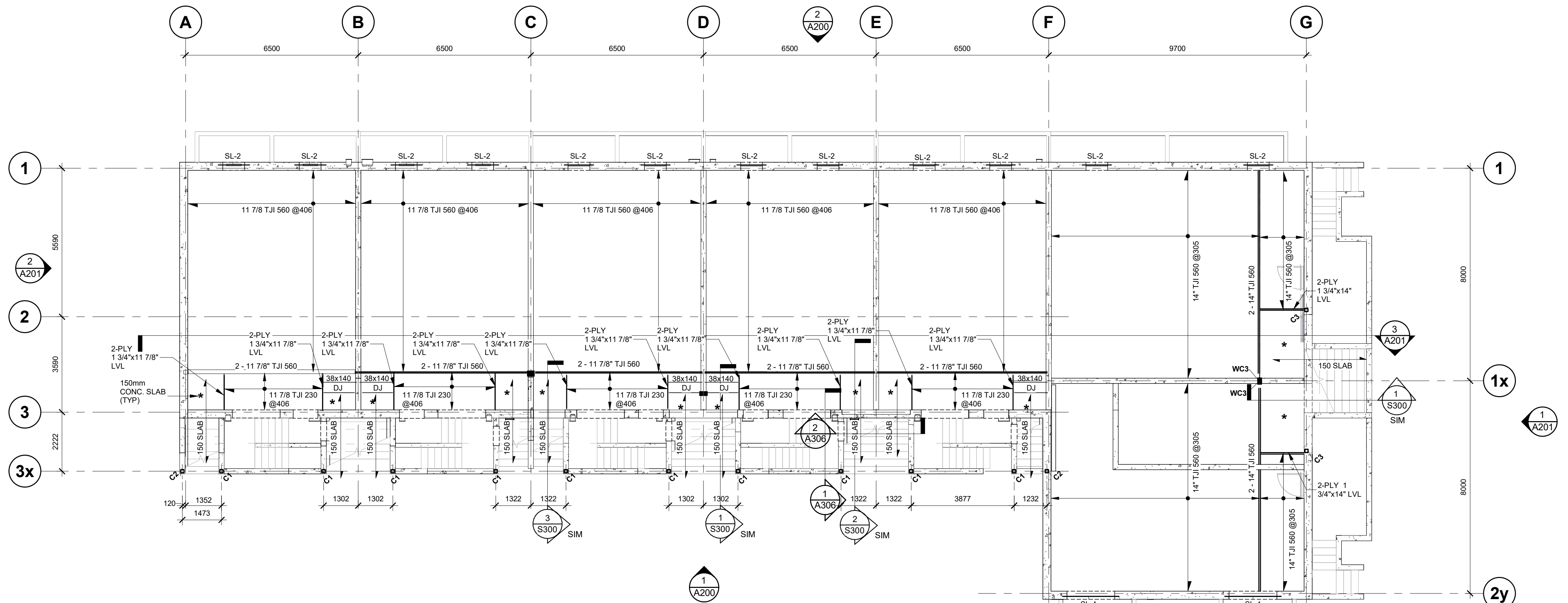
scale: 1:100
project: WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing: BUILDING A - FOUNDATION
PLAN AND GROUND FLOOR
FRAMING PLAN

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64 ONTARIO STREET NORTH
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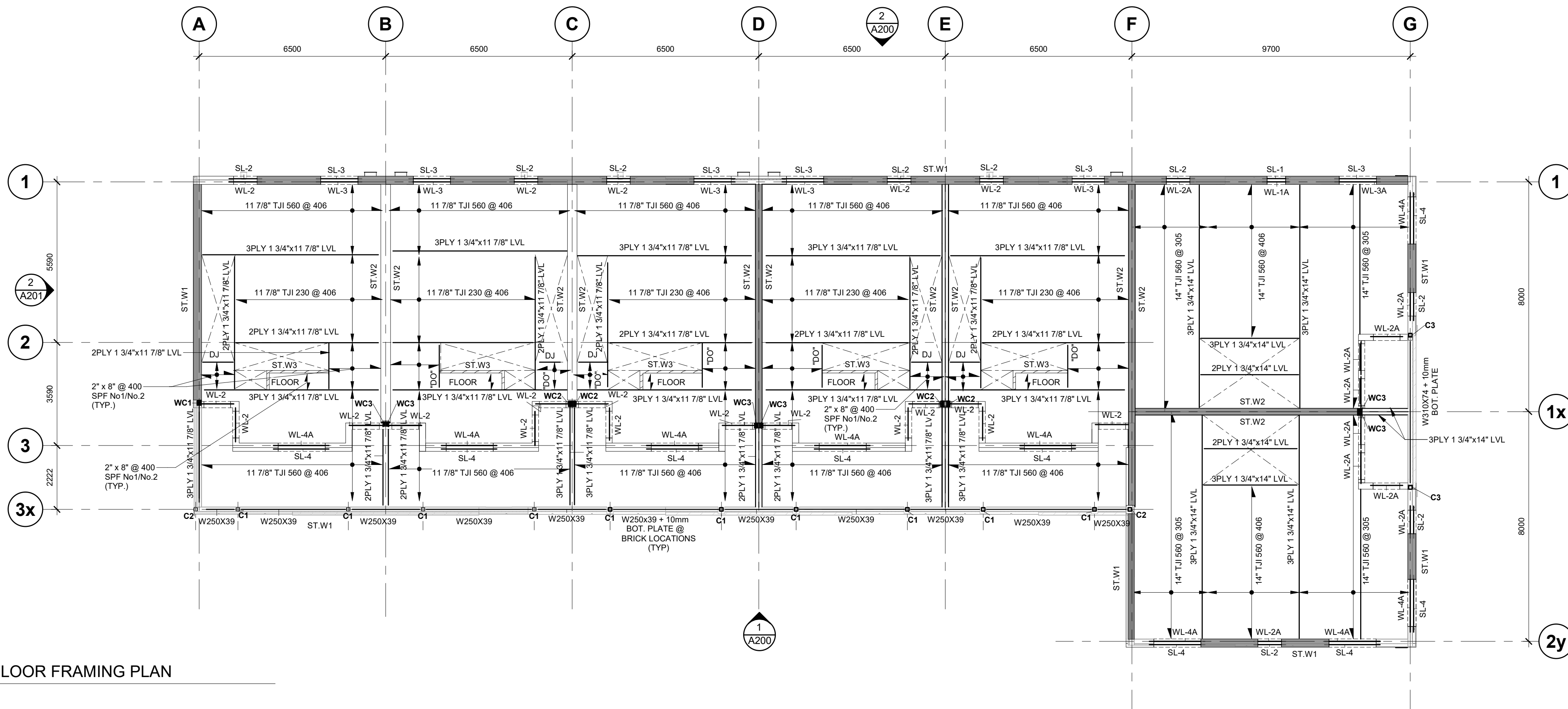
project no.: 23051 drawing no.: S200 rev. no.: 4



- GROUND FLOOR FRAMING PLAN NOTES**
- TOP OF FINISHED GROUND FLOOR ELEVATION VARIES, SEE ARCH. DWGS.
 - SPECIFIED FLOOR LOADING:**
LIVE LOAD 1.90 kPa
SUPERIMPOSED DEAD LOAD:
PARTITIONS 0.25 kPa
27mm SUBFLOOR 0.10 kPa
TJI JOIST + ACOUSTIC BATT. 0.24 kPa
16mm GWB 0.20 kPa
CARPETING 0.10 kPa
MECH / ELECT. ALLOWANCE 0.25 kPa
 - STW-1 = 38 x 89 @ 400 LOAD BEARING WOOD STUD WALLS.
 - SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 DRAWING SERIES.

- LEGEND**
- CONCRETE WALL
 - STUD WALL BELOW
 - STUD WALL ABOVE
 - * DENOTES 150mm CONC. SLAB

2 GROUND FLOOR FRAMING PLAN
1 : 100

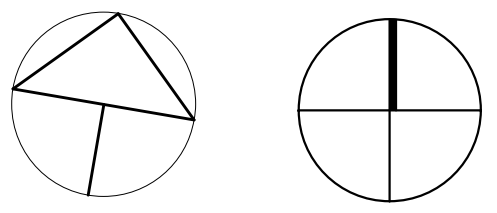


SECOND FLOOR FRAMING PLAN NOTES

- TOP OF FINISHED FLOOR ELEVATION VARIES, SEE ARCH. DWGS.
- SPECIFIED FLOOR LOADING:**
LIVE LOAD 1.90 kPa
SUPERIMPOSED DEAD LOAD:
PARTITIONS 0.25 kPa
27mm SUBFLOOR 0.10 kPa
TJI JOIST + ACOUSTIC BATT. 0.24 kPa
16mm GWB 0.20 kPa
CARPETING 0.10 kPa
MECH / ELECT. ALLOWANCE 0.25 kPa
- SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 DRAWING SERIES.

LEGEND:

- ST.W1 = 38 x 140 @ 400 LOAD BEARING WOOD STUD WALLS
ST.W2 = GROUND - 2ND FLOOR : 38 x 140 @ 400 LOAD BEARING WOOD STUD WALLS
2ND - ROOF : 38 x 89 @ 400 LOAD BEARING WOOD STUD WALLS
ST.W3 = 38 x 89 @ 400 LOAD BEARING WOOD STUD WALLS
= DENOTES SHEAR WALLS



TRUE NORTH
CONSTRUCTION NORTH

THIRD FLOOR FRAMING PLAN NOTES

- TOP OF FINISHED FLOOR ELEVATION VARIES, SEE ARCH. DWGS.
- SPECIFIED FLOOR LOADING:**
LIVE LOAD 1.90 kPa
SUPERIMPOSED DEAD LOAD:
PARTITIONS 0.25 kPa
27mm SUBFLOOR 0.10 kPa
TJI JOIST + ACOUSTIC BATT. 0.24 kPa
16mm GWB 0.20 kPa
CARPETING 0.10 kPa
MECH / ELECT. ALLOWANCE 0.25 kPa
- SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 DRAWING SERIES.

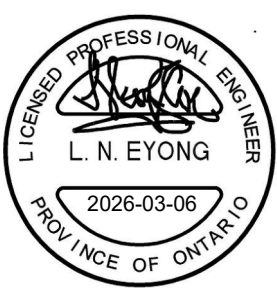
LEGEND:

- ST.W1 = 38 x 140 @ 400 LOAD BEARING WOOD STUD WALLS
ST.W2 = GROUND - 2ND FLOOR : 38 x 140 @ 400 LOAD BEARING WOOD STUD WALLS
2ND - ROOF : 38 x 89 @ 400 LOAD BEARING WOOD STUD WALLS
ST.W3 = 38 x 89 @ 400 LOAD BEARING WOOD STUD WALLS
= DENOTES SHEAR WALLS

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drawn: RY

designed: LE

reviewed: LE

date: 2026-03-06

scale: 1 : 100

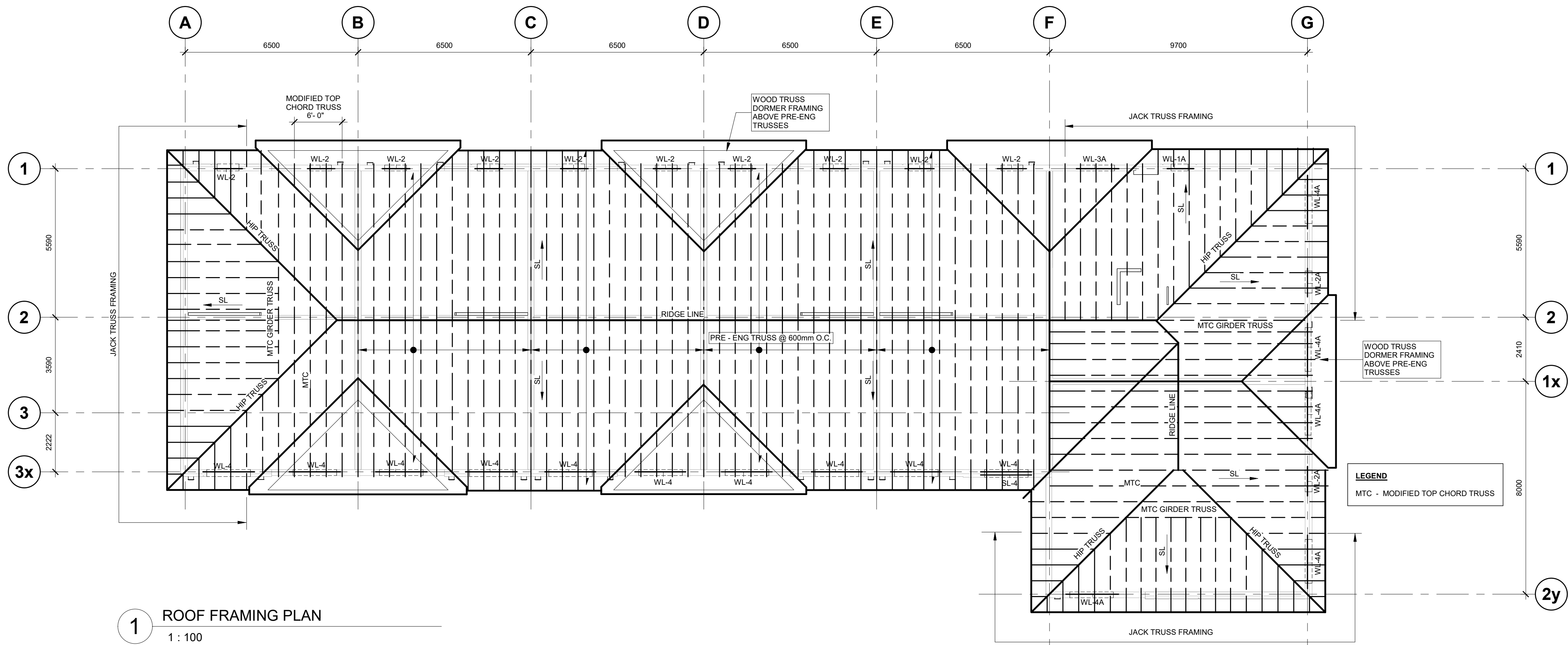
project: WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing: BUILDING A - SECOND & THIRD FLOOR FRAMING PLANS

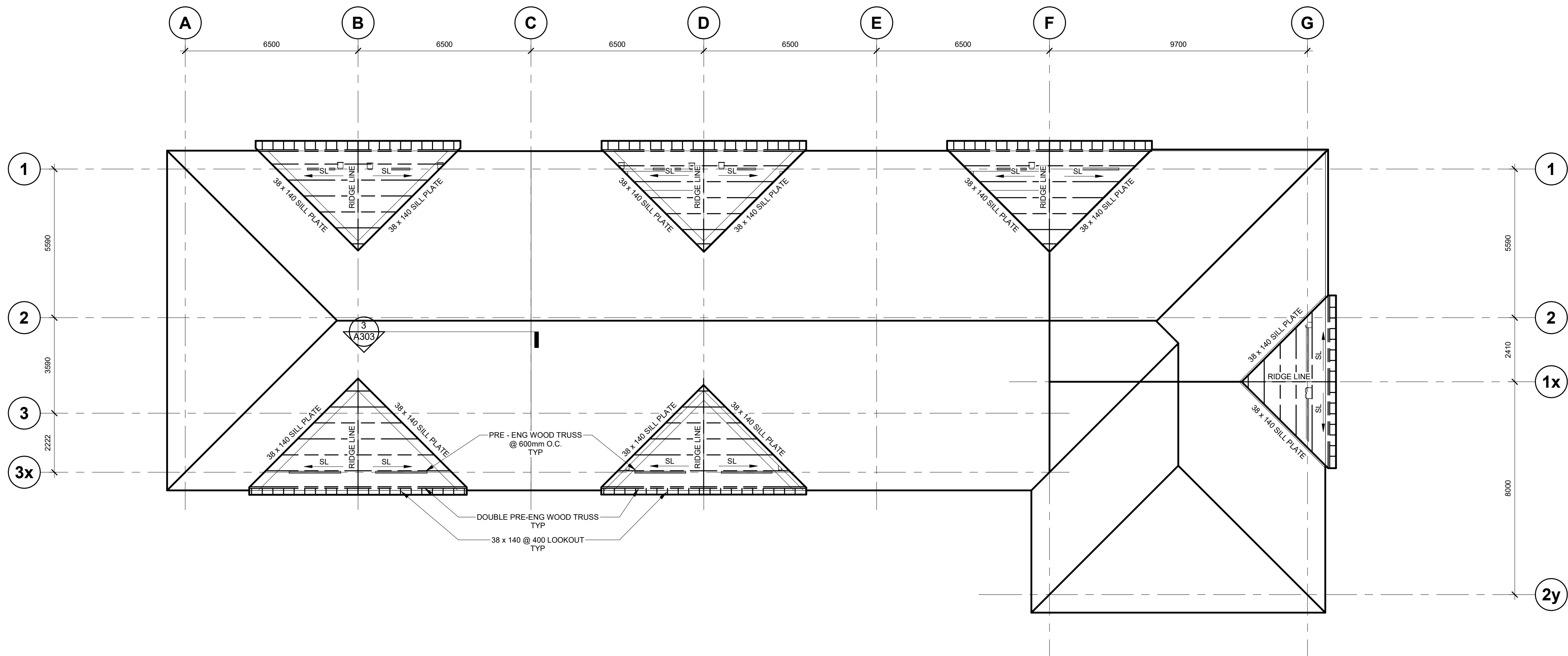
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project no.: 23051
drawing no.: S201
rev. no.: 4



1 ROOF FRAMING PLAN
1 : 100



2 DORMER FRAMING PLAN
1 : 100

ROOF FRAMING NOTES

- REFER TO DRAWING S101 FOR GENERAL NOTES AND FOR TYPICAL DETAILS.
- HIGH POINTS & PERIMETER WITH SLOPES TO DRAIN AS SHOWN ON ARCHITECTURE ROOF PLAN. TOP OF SLOPED WOOD ROOF ELEVATION VARIES, SEE ARCH. DRAWINGS.
- SPECIFIED ROOF LOADING (DO NOT EXCEED DURING CONSTRUCTION)
LOADING:
A. DESIGN ROOF LOADS
DEAD LOADS:
WOOD ROOF SYSTEM
ROOFING 0.35 kPa
SHEATHING 0.10 kPa
WOOD TRUSS 0.20 kPa
INSULATION 0.10 kPa
MECH / ELECT 0.25 kPa
CEILING 0.12 kPa
TOTAL DEAD LOADS 1.12 kPa
SNOW LOADS:
BASIC FACTORS: Ss 2.0 kPa
Sr 0.40 kPa
BASIC ROOF LIVE LOAD 1.50 kPa + SNOW PILE UP AS SHOWN ON PLAN
B. WIND LOADS
BASIC PARAMETERS: q (1/50) 0.37 kPa
q (1/10) 0.29 kPa
- JOIST MANUFACTURER TO ALLOW FOR MECHANICAL EQUIPMENTS SUCH AS CEILING FANS. LOCATIONS OF MECHANICAL EQUIPMENTS TO BE FINALIZE BY MECHANICAL ENGINEER, REFER TO MECHANICAL DRAWINGS AND SCHEDULES.
- JOIST SUPPLIER / CONTRACTOR TO COORDINATE BRIDGING LOCATIONS WITH DUCT RUNS LOCATIONS, REFER TO ARCH. AND MECH. DRAWINGS.
- EXTERIOR BRICK, FOR ANY LINTELS NOT SPECIFICALLY CALLED FOR ON PLAN, REFER TO STANDARD STEEL LINTEL SCHEDULE (SSL) FOR SIZE ON DWG S500. REFER TO MECHANICAL DRAWINGS FOR MECHANICAL OPENINGS PENETRATING WALLS.
- MEL: DENOTES LINTELS OVER WALL OPENINGS FOR MECHANICAL AND ELECTRICAL SERVICES. PROVIDE AND INSTALL LINTELS IN ACCORDANCE WITH REQUIREMENTS OF THE LINTEL SCHEDULE.

WOOD FRAMING NOTES:

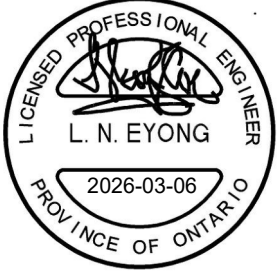
- ROOF SHEATHING:
SLOPED: 12.5mm O.S.B. GR 0-2 w/ H-CLIPS, UNO.
FLAT: 15.5mm O.S.B. (T & G)
- INSTALL WOOD ROOF SHEATHING WITH AT LEAST A 2mm GAP MINIMUM BETWEEN SHEETS.
- INSTALL PLYWOOD ROOF SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO ROOF FRAMING. END JOINTS PARALLEL TO FRAMING MUST BE STAGGERED.
- WALL SHEATHING TO BE 12.5mm O.S.B. OR 0-2.
- USE 2.0E LVL OR EQUIVALENT.
- ALL CONNECTION DESIGN BY WOOD SUPPLIER. U/N. ERECTION DRAWING BY I JOIST TO BE SUBMITTED FOR REVIEW & INCLUDE ALL CONNECTION REQUIREMENTS. SPACING SHOWN IS A GUIDE AND MAY BE INCREASED UPON CALCULATION SUBMITTAL.
- ALL LOOSE LINTELS FOR MASONRY VENEER AT WOOD STUD WALL SEE SECTIONS.
- TEMPORARY BRACING OF ALL MEMBERS TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS AND DETAILS ON SITE AND REPORT ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING ANY WORK ON SITE.
- CONTRACTOR SHALL PREVENT DAMAGES TO THE EXISTING ROOF STRUCTURE DURING CONSTRUCTION.
- ANY DAMAGE DURING CONSTRUCTION TO THE EXISTING STRUCTURE, UTILITIES OR ANY PART OF THE BUILDING SHALL BE REPAIRED BY THE CONTRACTOR TO SATISFACTION OF THE CONTRACT ADMINISTRATOR AND NO COST TO THE OWNER.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ADEQUATE PROTECTION OF ALL UTILITIES AND BUILDING DURING CONSTRUCTION OPERATIONS IN WORK AREA.
- CONTRACTOR TO START & COMPLETE INSTALLATION OF EACH CONNECTION ONE AT A TIME.
- ALL NEW STEEL ANGLE SHALL HAVE A MINIMUM BOLT HOLE EDGE DISTANCE OF 20mm.

no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-06	LE
3	ISSUED FOR TENDER	2025-12-23	LE
3	RE-ISSUED FOR PERMIT	2025-10-08	LE
1	ISSUED FOR FOUNDATION TENDER	2025-10-03	LE
0	ISSUED FOR PERMIT	2025-08-22	LE

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drawn : RY
designed : LE
reviewed : LE
date : 2026-03-06

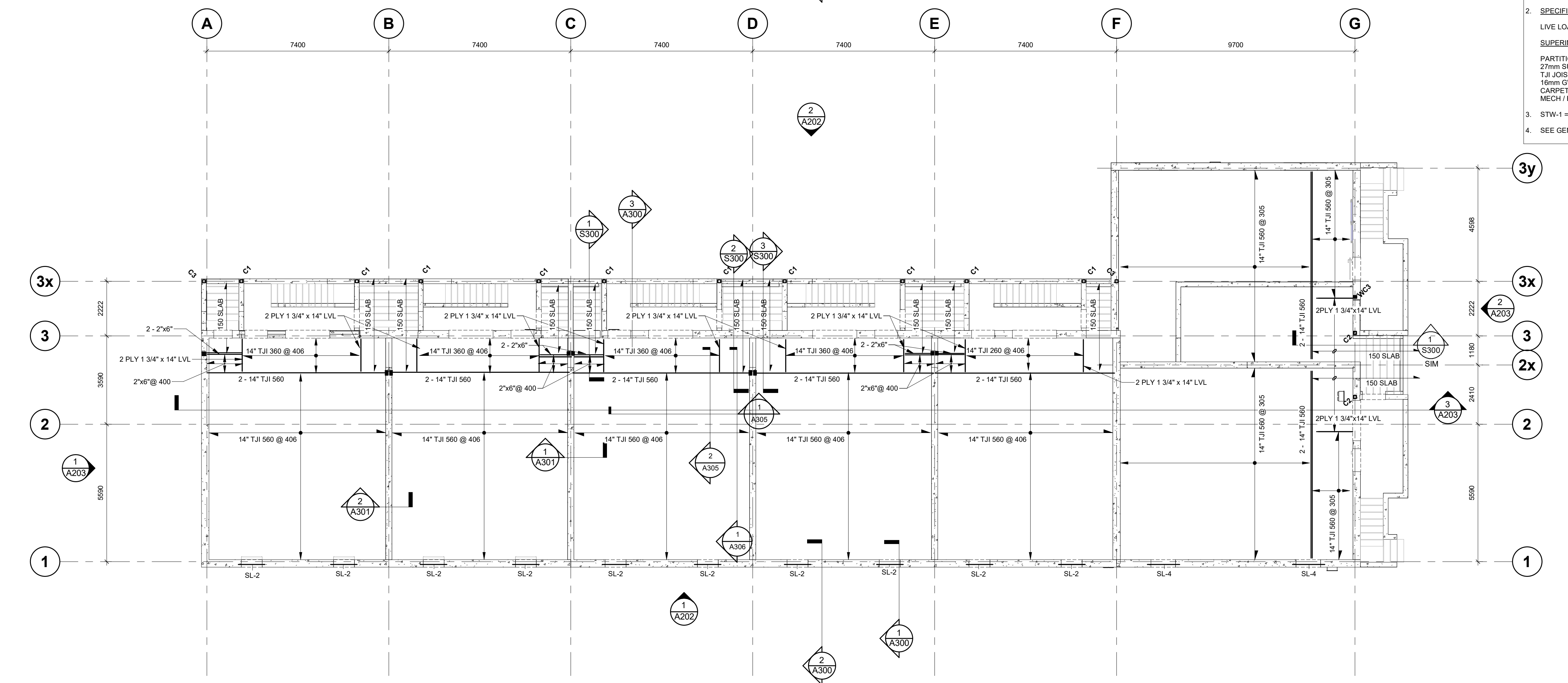
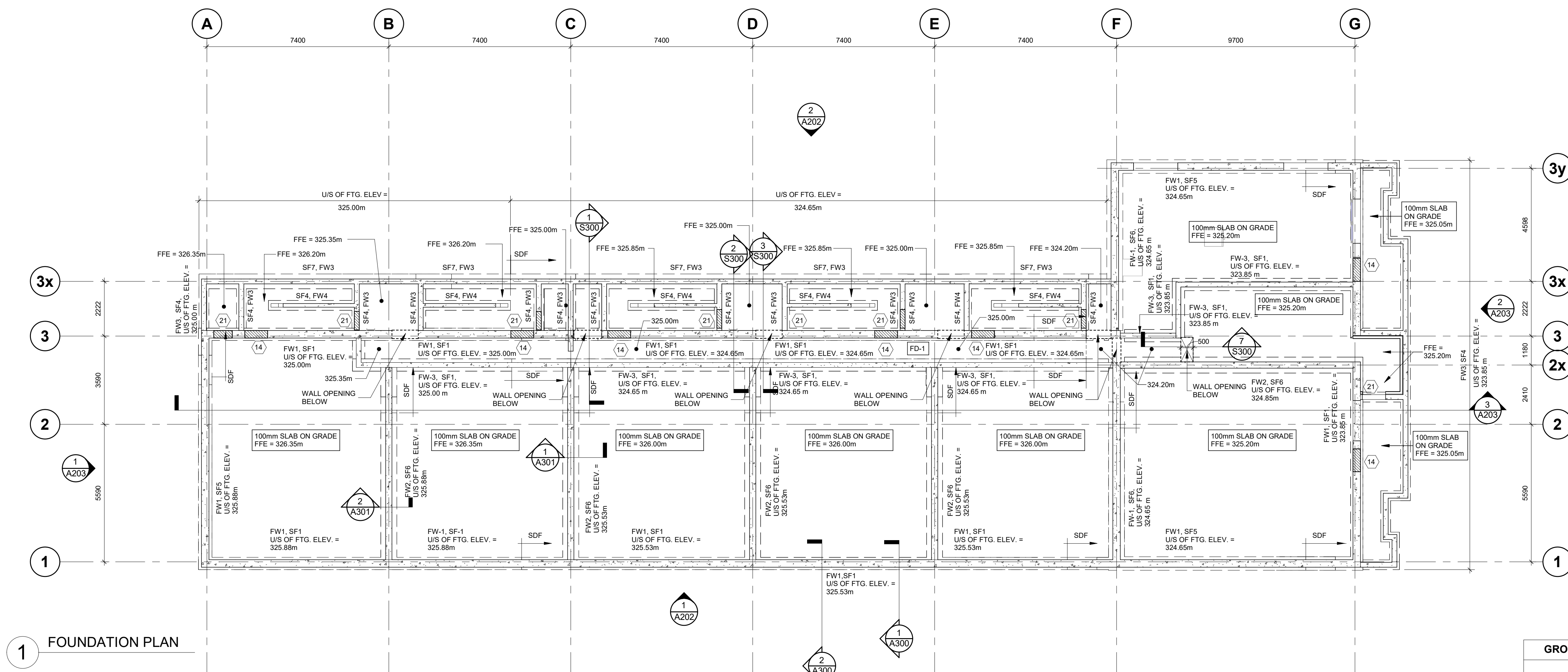
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project : WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing : BUILDING A - ROOF & DORMER FRAMING PLANS




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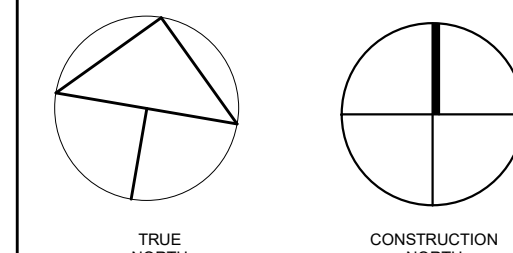
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project no. : 23051
drawing no. : S202
rev. no. : 4



- FOUNDATION NOTES:**
1. ALL INTERIOR WALLS TO BE CENTERED ON GRID LINES.
 2. WALL REINFORCING:
REFER TO WALL SECTIONS AND ENSURE COMPLIANCE WITH
OBC TABLE 9.15.3.4 AND 9.15.3.5.
REINFORCE WALLS WITH MIN. 2 - 15M BARS TOP & BOTTOM, AND
CONCRETE HEADERS WITH 2 - 15M T&B WITH MIN. 500mm
DEVELOPMENT LENGTH AT EACH END AND 10M @ 400 CLOSED
STIRRUPS.
 3. SEE TYPICAL DETAILS AND GENERAL NOTES ON S100 SERIES.
 4. TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL
DRAWINGS.

- LEGEND :**
- | | |
|---|---|
|  | - REFER TO TYPICAL DETAIL No. 14 |
|  | - REFER TO TYPICAL DETAIL No. 21 |
|  | - 62mm CONCRETE ON 38mm COMPOSITE STEEL DECK REINF. W/ 152x152xMW18.7 @ 181x181x7.625mm |

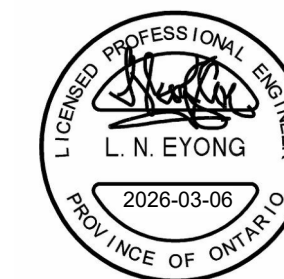


4	RE-ISSUED FOR PERMIT	2026-03-06
3	ISSUED FOR TENDER	2025-12-23
2	RE-ISSUED FOR PERMIT	2025-10-08
1	ISSUED FOR FOUNDATION TENDER	2025-10-03
0	ISSUED FOR PERMIT	2025-08-22

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drawn : JM

designed:	IE
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reviewed :	IE
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date : 2026-03-0

scale : 1 : 100

project :
WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing :
BUILDING B
FOUNDATION PLAN AND
GROUND FLOOR FRAMING
PLAN

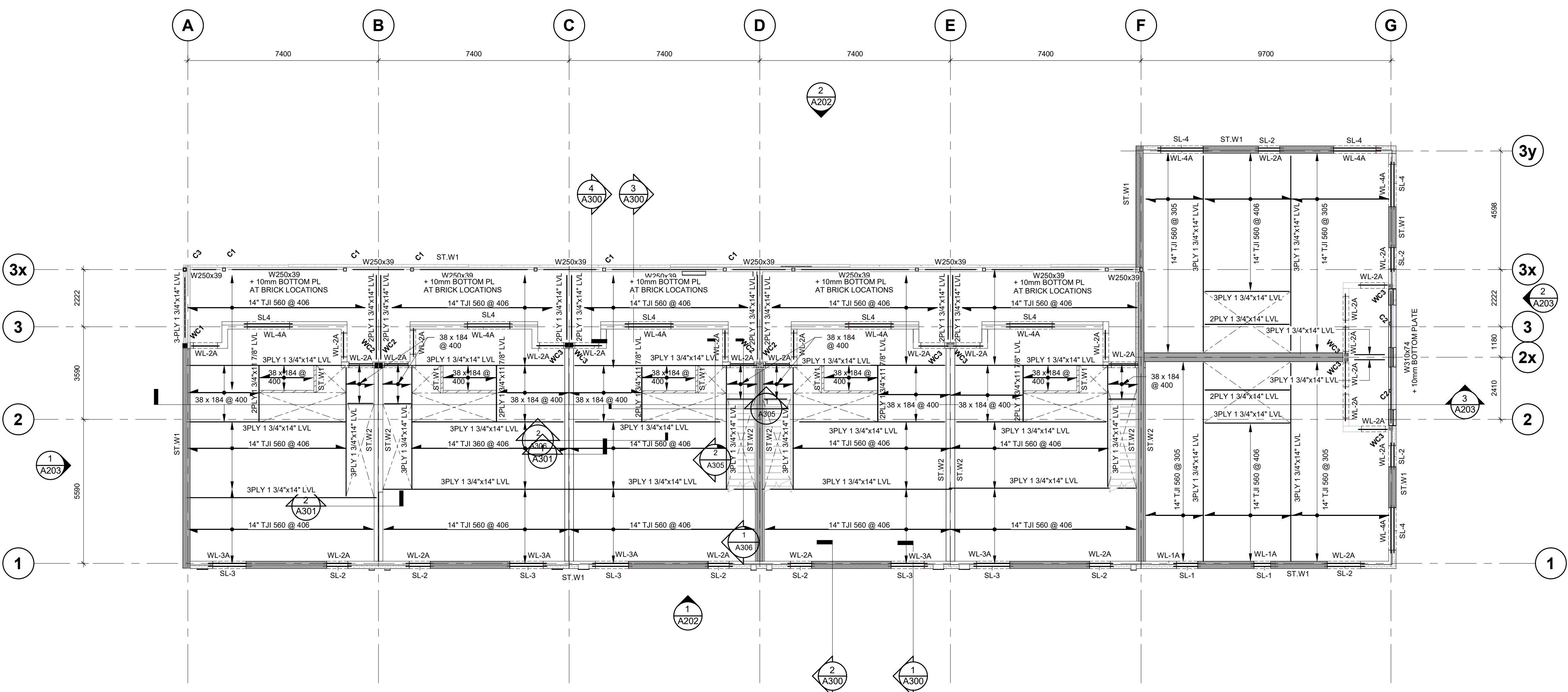


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project no. : 23051	drawing no. : S203	rev. no. : 4
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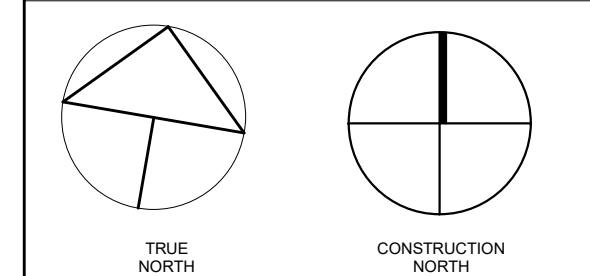


SECOND FLOOR FRAMING PLAN NOTES

- TOP OF FINISHED FLOOR ELEVATION VARIES, SEE ARCH. DWGS.
- SPECIFIED FLOOR LOADING :**
LIVE LOAD 1.90 kPa
SUPERIMPOSED DEAD LOAD:
PARTITIONS 0.25 kPa
27mm SUBFLOOR 0.10 kPa
TJI JOIST + ACOUSTIC BATT. 0.24 kPa
16mm GWB 0.20 kPa
CARPETING 0.10 kPa
MECH / ELECT. ALLOWANCE 0.25 kPa
- SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 DRAWING SERIES.

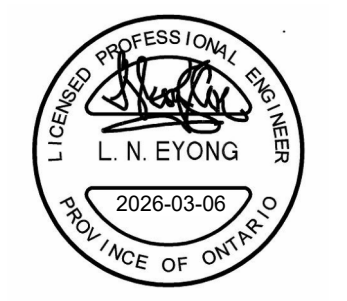
LEGEND :

ST.W1 = 38 x 140 @ 406 LOAD BEARING WOOD STUD WALLS
ST.W2 = GROUND - 2ND FLOOR : 38 x 140 @ 405 LOAD BEARING WOOD STUD WALLS
2ND - ROOF : 38 x 89 @ 406 LOAD BEARING WOOD STUD WALLS
= DENOTES SHEAR WALLS



revisions			
no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-06	LE
3	ISSUED FOR TENDER	2025-12-23	LE
3	RE-ISSUED FOR PERMIT	2025-10-08	LE
1	ISSUED FOR FOUNDATION TENDER	2025-10-03	LE
0	ISSUED FOR PERMIT	2025-08-22	LE

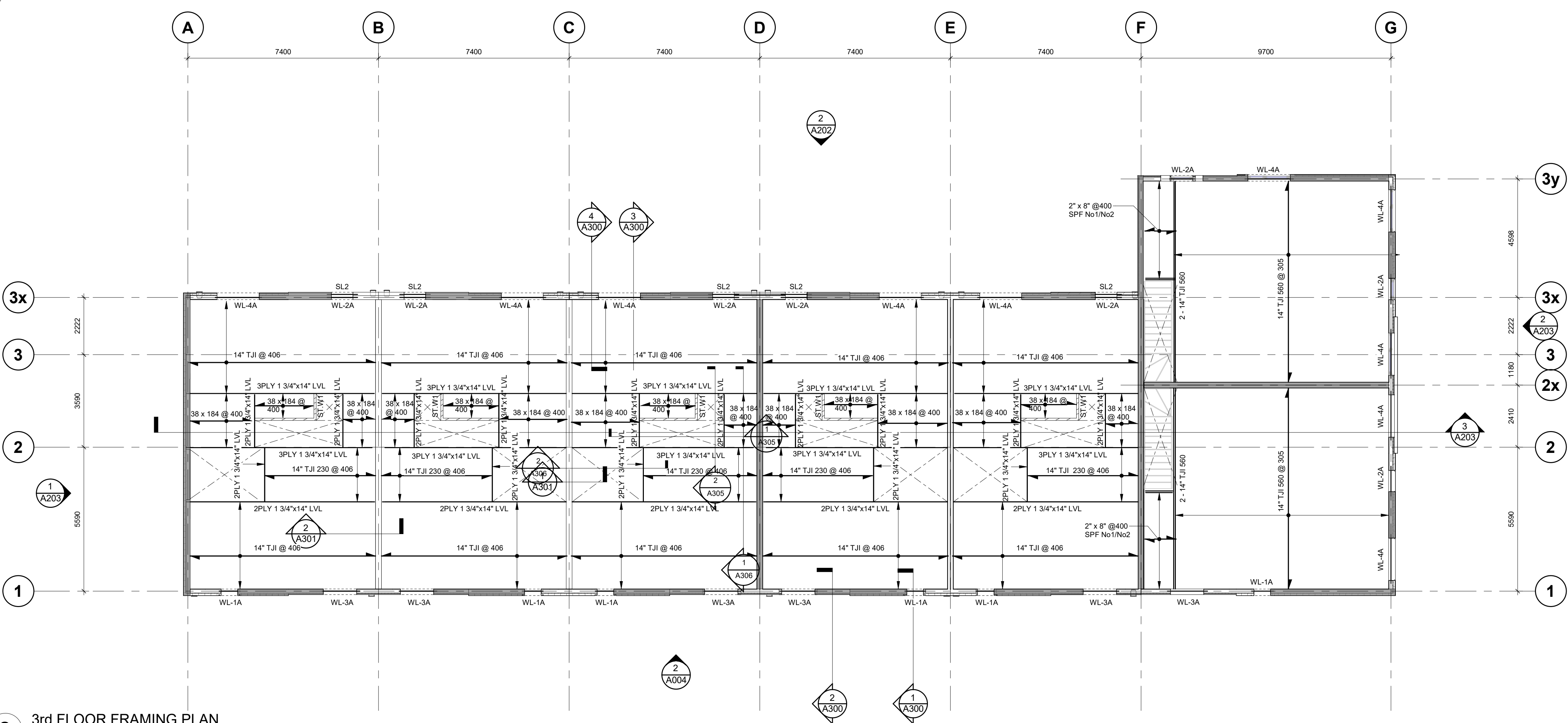
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drawn : JM
designed : LE
reviewed : LE
date : 2026-03-06
scale : 1 : 100
project : WINDOW STACKS
32 WINDOW RD. KITCHENER, ON

drawing : BUILDING B
SECOND & THIRD FLOOR
FRAMING PLANS

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project no. : 23051 drawing no. : S204 rev. no. : 4



THIRD FLOOR FRAMING PLAN NOTES

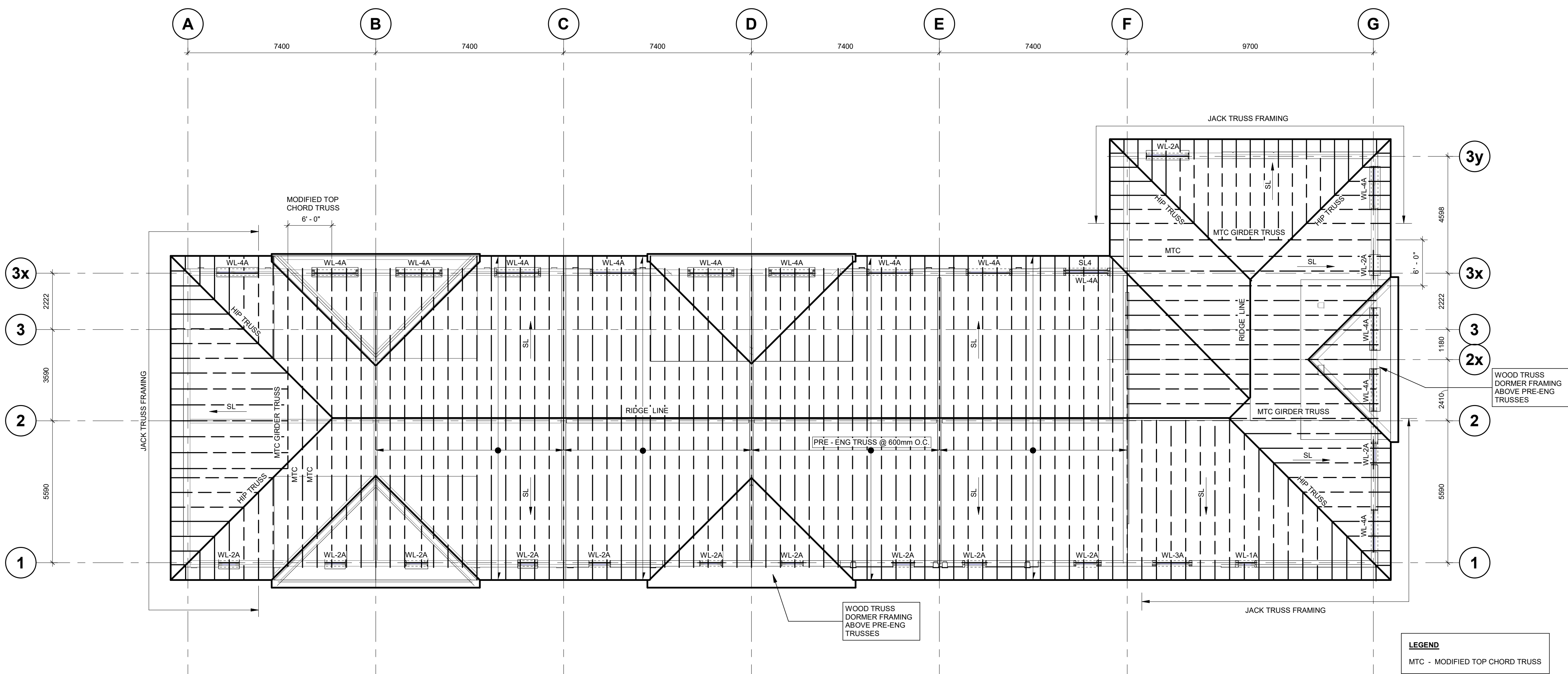
- TOP OF FINISHED FLOOR ELEVATION VARIES, SEE ARCH. DWGS.
- SPECIFIED FLOOR LOADING :**
LIVE LOAD 1.90 kPa
SUPERIMPOSED DEAD LOAD:
PARTITIONS 0.25 kPa
27mm SUBFLOOR 0.10 kPa
TJI JOIST + ACOUSTIC BATT. 0.24 kPa
16mm GWB 0.20 kPa
CARPETING 0.10 kPa
MECH / ELECT. ALLOWANCE 0.25 kPa
- SEE GENERAL NOTES AND TYPICAL DETAILS ON S100 DRAWING SERIES.

LEGEND :

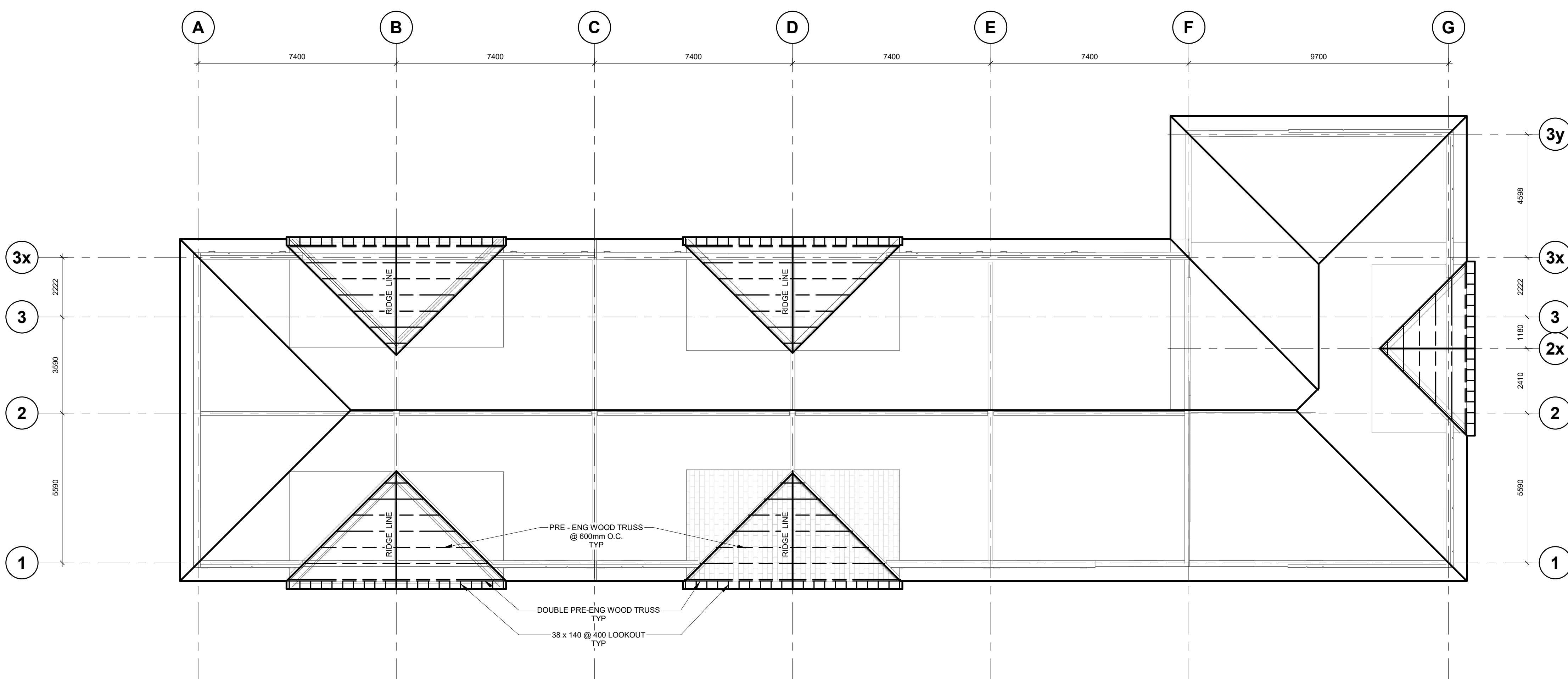
ST.W1 = 38 x 140 @ 406 LOAD BEARING WOOD STUD WALLS
ST.W2 = GROUND - 2ND FLOOR : 38 x 140 @ 405 LOAD BEARING WOOD STUD WALLS
2ND - ROOF : 38 x 89 @ 406 LOAD BEARING WOOD STUD WALLS
= DENOTES SHEAR WALLS

SHEET SIZE: A1 (900mm x 614.4mm)

0 10 20 30 40 50 60 70 80 90 100



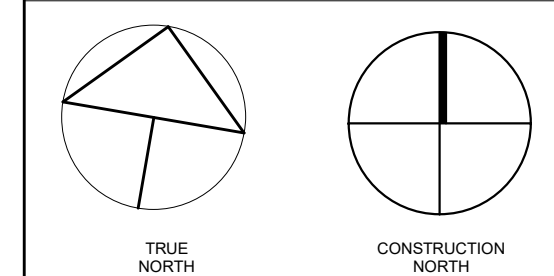
1 ROOF FRAMING PLAN



2 DORMER FRAMING PLAN

ROOF FRAMING NOTES

- REFER TO DRAWING S101 FOR GENERAL NOTES AND FOR TYPICAL DETAILS.
- HIGH POINTS & PERIMETER WITH SLOPES TO DRAIN AS SHOWN ON ARCHITECTURE ROOF PLAN. TOP OF SLOPED WOOD ROOF ELEVATION VARIES, SEE ARCH. DRAWINGS.
- SPECIFIED ROOF LOADING (DO NOT EXCEED DURING CONSTRUCTION)
LOADING:
A. DESIGN ROOF LOADS
DEAD LOADS:
WOOD ROOF SYSTEM 0.35 kPa
ROOFING 0.10 kPa
SHEATHING 0.10 kPa
WOOD TRUSS 0.20 kPa
INSULATION 0.10 kPa
MECH / ELECT 0.25 kPa
CEILING 0.12 kPa
TOTAL DEAD LOADS 1.12 kPa
SNOW LOADS:
BASIC FACTORS: Ss 2.0 kPa
Sf 0.40 kPa
BASIC ROOF LIVE LOAD 1.50 kPa + SNOW PILE UP AS SHOWN ON PLAN
B. WIND LOADS
BASIC PARAMETERS: q (1/50) 0.37 kPa
q (1/10) 0.29 kPa
- JOIST MANUFACTURER TO ALLOW FOR MECHANICAL EQUIPMENTS SUCH AS CEILING FANS. LOCATIONS OF MECHANICAL EQUIPMENTS TO BE FINALIZE BY MECHANICAL ENGINEER, REFER TO MECHANICAL DRAWINGS AND SCHEDULES.
- JOIST SUPPLIER / CONTRACTOR TO COORDINATE BRIDGING LOCATIONS WITH DUCT RUNS LOCATIONS, REFER TO ARCH. AND MECH. DRAWINGS.
- EXTERIOR BRICK, FOR ANY LINTELS NOT SPECIFICALLY CALLED FOR ON PLAN, REFER TO STANDARD STEEL LINTEL SCHEDULE (SSL) FOR SIZE ON DWG S500. REFER TO MECHANICAL DRAWINGS FOR MECHANICAL OPENINGS PENETRATING WALLS.
- MEL: DENOTES LINTELS OVER WALL OPENINGS FOR MECHANICAL AND ELECTRICAL SERVICES. PROVIDE AND INSTALL LINTELS IN ACCORDANCE WITH REQUIREMENTS OF THE LINTEL SCHEDULE.
WOOD FRAMING NOTES:
1. ROOF SHEATHING:
SLOPED: 12.5mm O.S.B. GR 0-2 w/ H-CLIPS, UNO.
FLAT: 15.5mm O.S.B. (T & G).
2. INSTALL WOOD ROOF SHEATHING WITH AT LEAST A 2mm GAP MINIMUM BETWEEN SHEETS.
3. INSTALL PLYWOOD ROOF SHEATHING WITH SURFACE GRAIN AT RIGHT ANGLES TO ROOF FRAMING. END JOINTS PARALLEL TO FRAMING MUST BE STAGGERED.
4. WALL SHEATHING TO BE 12.5mm O.S.B. OR 0-2.
5. USE 2.0E LVL OR EQUIVALENT.
6. ALL CONNECTION DESIGN BY WOOD SUPPLIER. UN. ERECTION DRAWING BY IJOIST TO BE SUBMITTED FOR REVIEW & INCLUDE ALL CONNECTION REQUIREMENTS. SPACING SHOWN IS A GUIDE AND MAY BE INCREASED UPON CALCULATION SUBMITTAL.
7. ALL LOOSE LINTELS FOR MASONRY VENEER AT WOOD STUD WALL SEE SECTIONS.
8. TEMPORARY BRACING OF ALL MEMBERS TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
CONSTRUCTION NOTES
1. THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS AND DETAILS ON SITE AND REPORT ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING ANY WORK ON SITE.
2. CONTRACTOR SHALL PREVENT DAMAGES TO THE EXISTING ROOF STRUCTURE DURING CONSTRUCTION.
3. ANY DAMAGE DURING CONSTRUCTION TO THE EXISTING STRUCTURE, UTILITIES OR ANY PART OF THE BUILDING SHALL BE REPAIRED BY THE CONTRACTOR TO SATISFACTION OF THE CONTRACT ADMINISTRATOR AND NO COST TO THE OWNER.
4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ADEQUATE PROTECTION OF ALL UTILITIES AND BUILDING DURING CONSTRUCTION OPERATIONS IN WORK AREA.
5. CONTRACTOR TO START & COMPLETE INSTALLATION OF EACH CONNECTION ONE AT A TIME.
6. ALL NEW STEEL ANGLE SHALL HAVE A MINIMUM BOLT HOLE EDGE DISTANCE OF 20mm.



no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-06	LE
3	ISSUED FOR TENDER	2025-12-23	LE
2	RE-ISSUED FOR PERMIT	2025-10-08	LE
1	ISSUED FOR FOUNDATION TENDER	2025-10-03	LE
0	ISSUED FOR PERMIT	2025-08-22	LE

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drawn : JM
designed : LE
reviewed : LE
date : 2026-03-06
scale : 1 : 100
project : WINDOM STACKS
32 WINDOM RD. KITCHENER, ON

drawing : BUILDING B
ROOF & DORMER FRAMING
PLANS

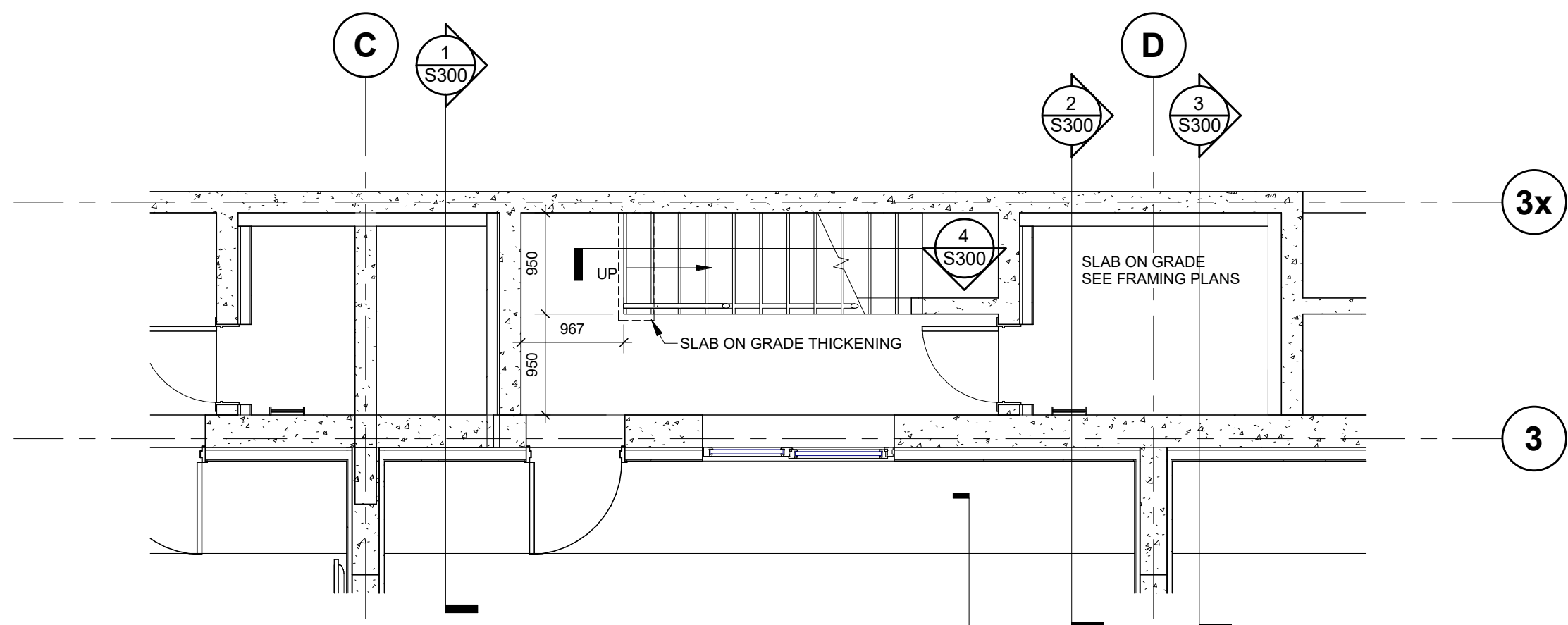


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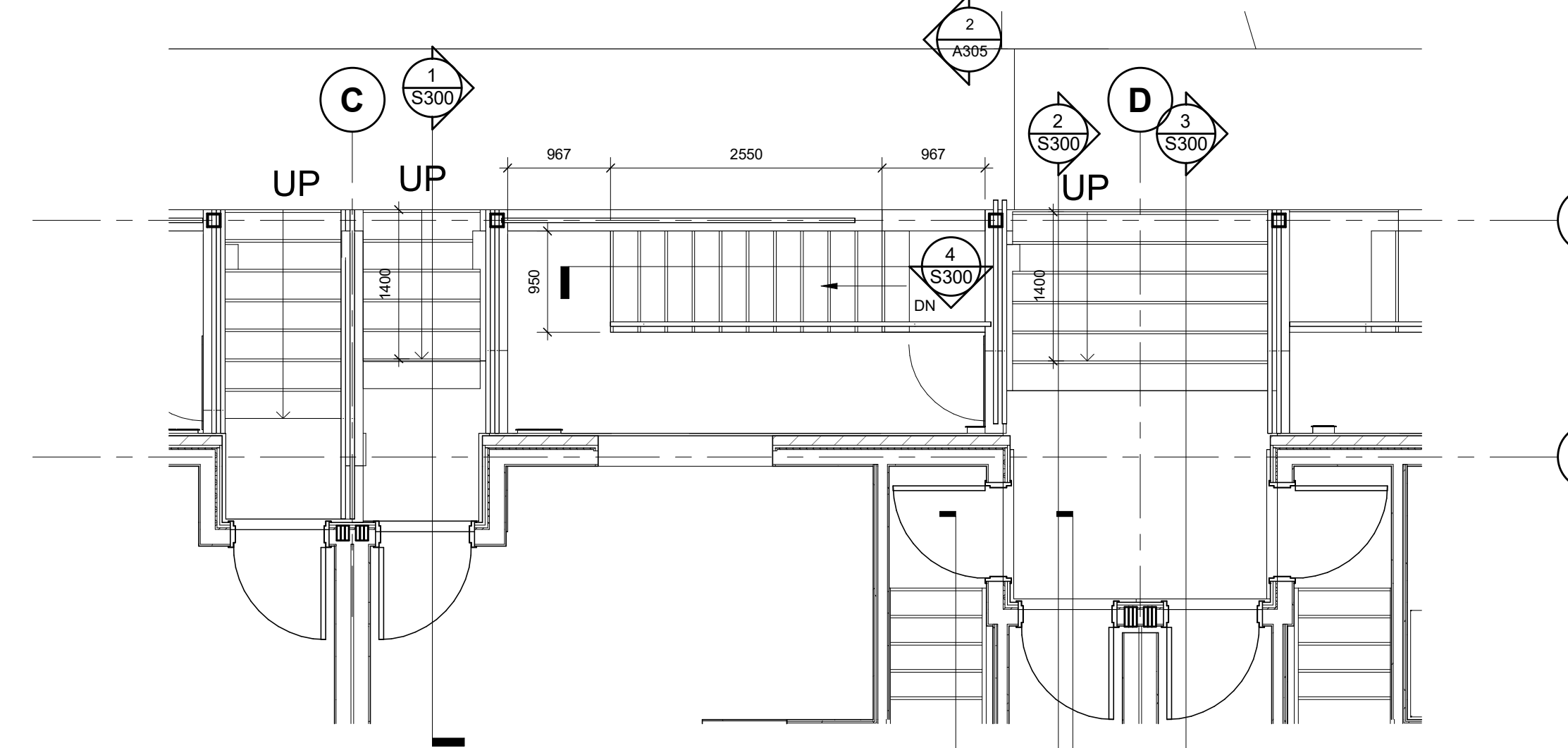
project no. :	drawing no. :	rev. no. :
23051	S205	4

SHEET SIZE: A1 (594mm x 841.4mm)

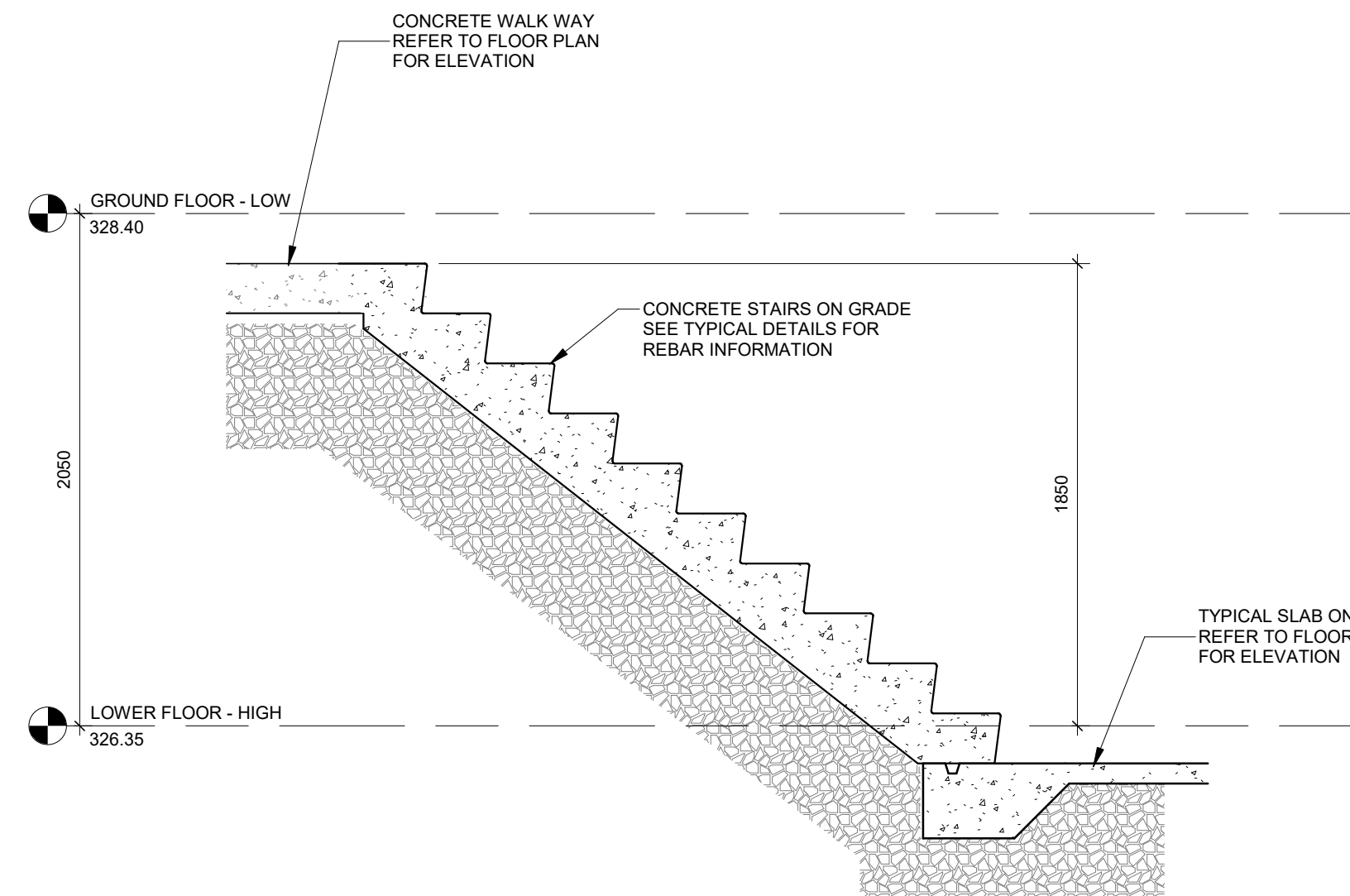
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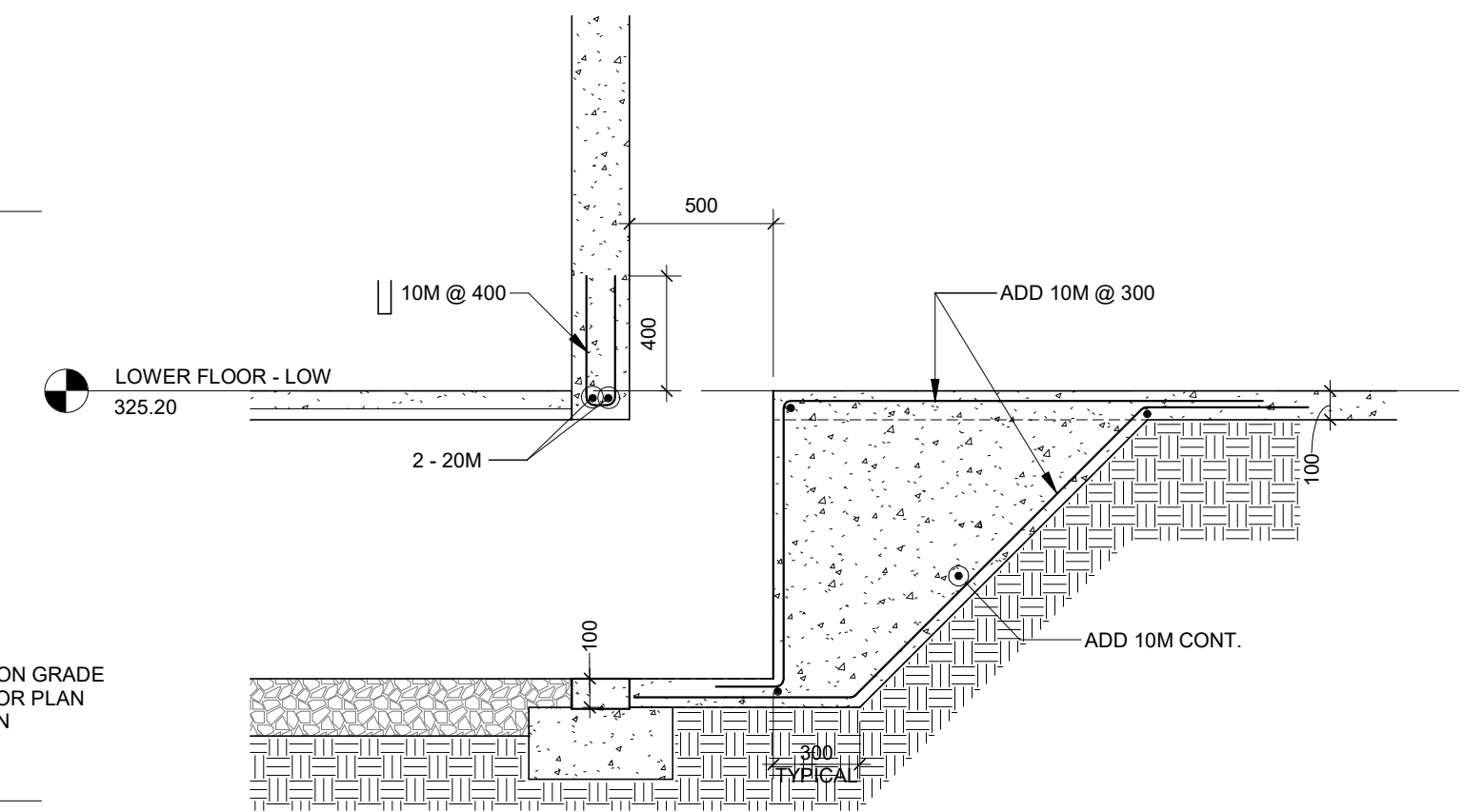
6 BASMENT FLOOR -TYP EXTERIOR STAIR PLAN
1 : 50



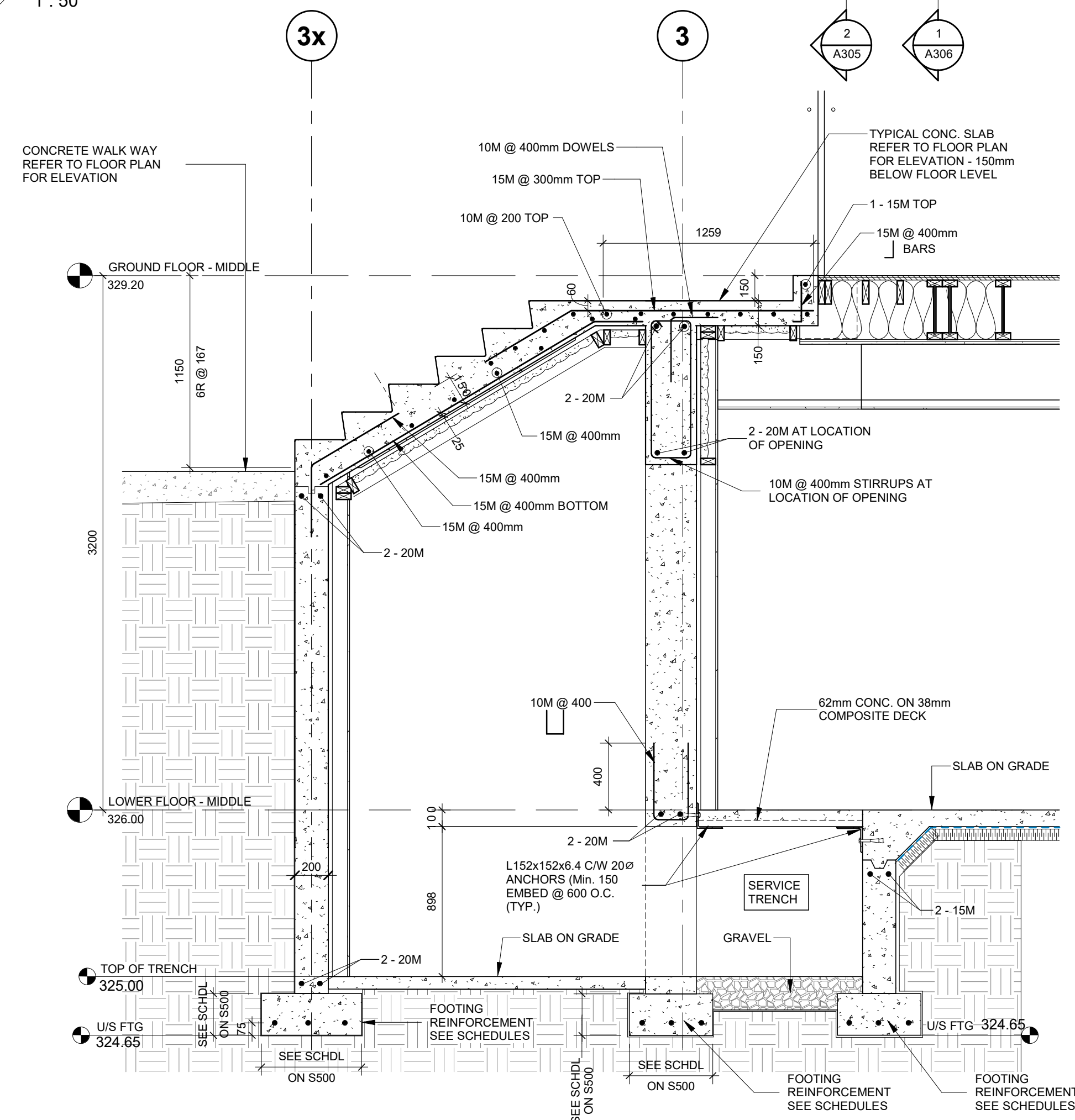
5 GROUND FLOOR -TYP EXTERIOR STAIR PLAN
1 : 50



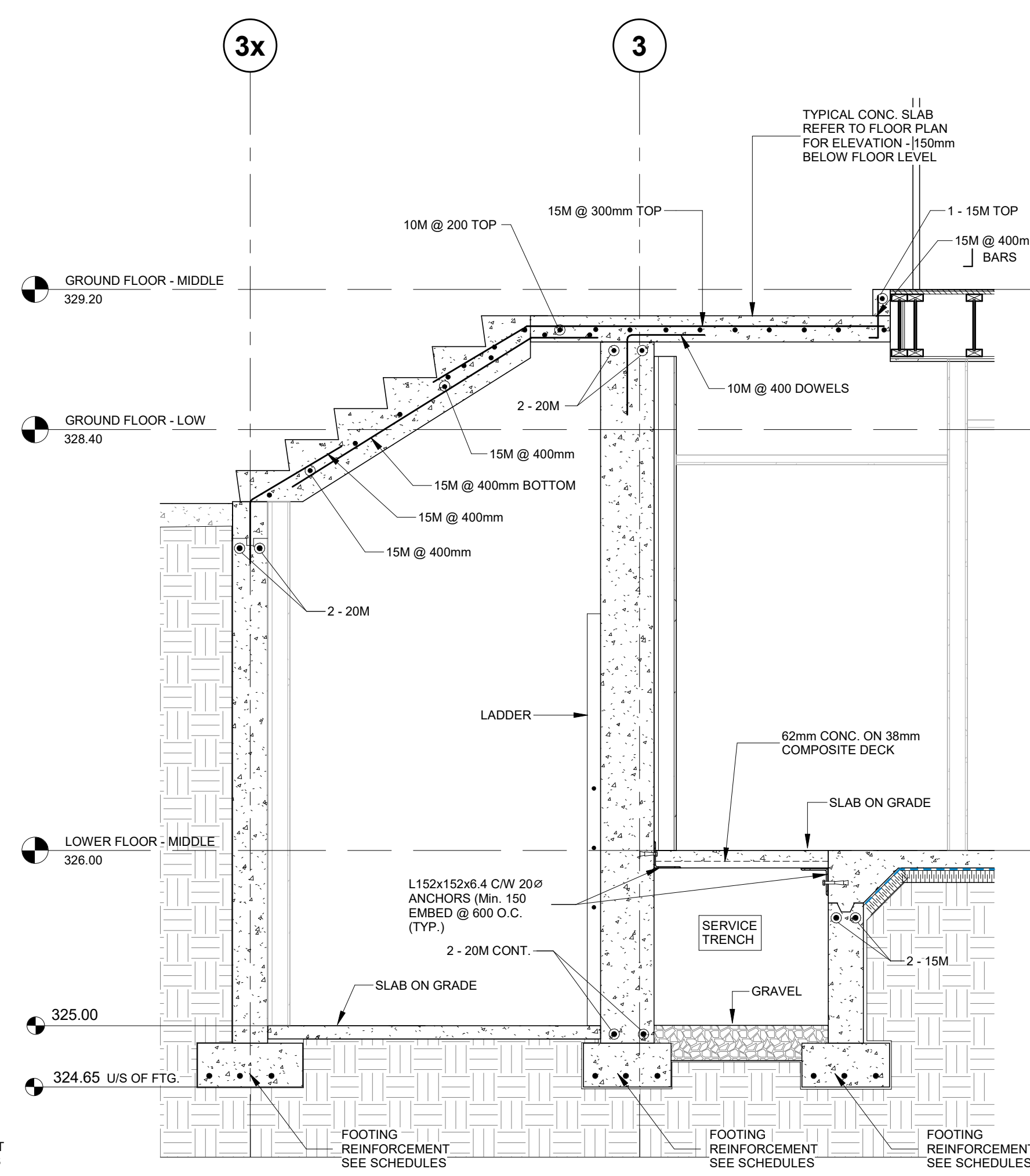
4 TYPICAL EXTERIOR PRIVATE STAIR TO LOWER FLOOR
1 : 25



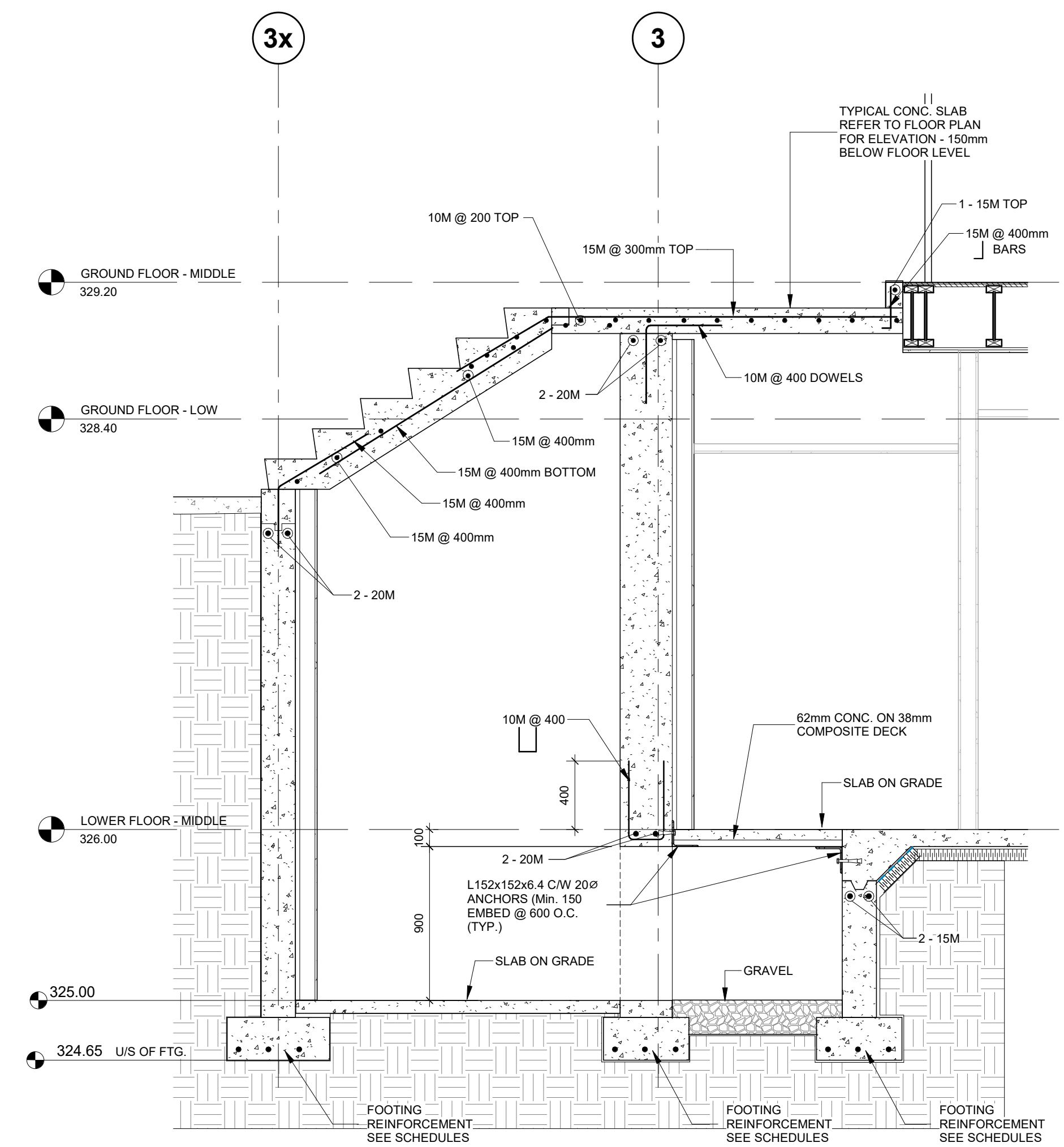
7 CHANGE IN ELEVATION SLAB ON GRADE
1 : 25



1 TYPICAL EXTERIOR PUBLIC STAIR TO SERVICE TRENCH
1 : 25



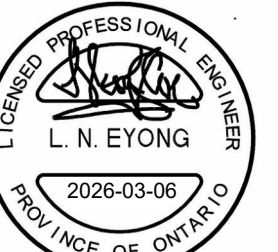
2 TYPICAL EXTERIOR PUBLIC STAIR TO GROUND FLOOR
1 : 25



3 TYPICAL EXTERIOR PUBLIC STAIR TO SERVICE TRENCH
1 : 25

no.	revisions	date	int.
4	RE-ISSUED FOR PERMIT	2026-03-06	LE
3	ISSUED FOR TENDER	2025-12-23	LE
2	RE-ISSUED FOR PERMIT	2025-10-08	LE
1	ISSUED FOR FOUNDATION TENDER	2025-10-03	LE
0	ISSUED FOR PERMIT	2025-08-22	LE

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drawn : JM
designed : LE
reviewed : LE
date : 2026-03-06
scale : As indicated
project : WINDOM STACKS
32 WINDOM RD. KITCHENER, ON





drawing : BUILDING B
PARTIAL PLANS AND
SECTIONS

REINDERS + ASSOCIATES
ARCHITECTURE . ENGINEERING

64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

project no. : 23051
drawing no. : S300
rev. no. : 4

SHEET SIZE: A1 (594mm x 841mm)

STEEL LINTEL SCHEDULE (SL)				
MARK	SIZE	SHAPE	WALL BEARING PLATE (BOTH ENDS)	REMARKS
SL-1	1 - L89 x 89 x 7.9			
SL-2	1 - L102 x 89 x 7.9 (LLV)			
SL-3	1 - L127 x 89 x 7.9 (LLV)			
SL-4	1 - L152 x 102 x 9.8 (LLV)			
MSLT-1	NOTE: STEEL STUD LINTEL REQUIRE, STEEL STUD SUPPLIER TO PROVIDE MECHANICAL OPENING LINTEL THROUGH STEEL STUD WALL.			
1. PAIRS OF LINTEL ANGLES TO BE STITCH WELDED TOP AND BOTTOM AT 600mm C/C. 2. MINIMUM BEARING FOR STEEL LINTELS SHALL BE 200mm UNLESS NOTED. 3. FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALL OR COLUMN PROVIDE 1L-90x90x10 SHELF ANGLE. 4. ALL ANGLES TO BE LLV (LONG LEG VERTICAL) UNLESS NOTED. 5. ALL BOTTOM STEEL PLATE IS 20mm LESS THAN WALL THICKNESS UNLESS NOTED AND LENGTH SHOULD SUIT THE OPENING SIZE. REQUIREMENT.				


STEEL STANDARD LINTELS				(SSL - UNLESS NOTED)	
WALL THICKNESS CLEAR SPAN	90mm WALL	140mm WALL	190mm WALL	240mm WALL	290mm WALL
UP to 1200mm	1 - L90x90x8 or 1 - L100x75x8	1 - L125x125x8	2 - L90x90x8	2 - L100x100x8	3 - L90x90x8
1200mm to 1800mm	1 - L125x90x8 or 1 - L125x75x8	1 - L125x125x10	2 - L125x90x8	2 - L150x100x8	3 - L125x90x8
1800mm to 2400mm	1 - L150x100x10	1 - L203x152x13	2 - L125x90x10	2 - L150x100x10	3 - L150x100x10
UP to 3100mm	W200x27 + 6mm BOTTOM PLATE				

1. PAIRS OF LINTEL ANGLES TO BE STITCH WELDED TOP AND BOTTOM AT 600mm C/C.

2. MINIMUM BEARING FOR STEEL ANGLES SHALL BE 150mm UNLESS NOTED.

3. FOR LINTELS ABUTTING STEEL COLUMNS, CONCRETE WALL OR COLUMN PROVIDE 1L-90x90x10 SHELF ANGLE.

4. ALL ANGLES TO BE LLV (LONG LEG VERTICAL) UNLESS NOTED.

SHEAR WALL SCHEDULE						
TYPE	VARIES	END ANCHORS	SHEATHING (mm)	PERIMETER SHEATHING NAILS	BOTTOM PLATE ANCHORS	REMARKS
	VARIES	SIMPSON STRONG TIE HD 9B W/ 3-22 mm Ø THRU STUD BOLTS AND 1- 22mm Ø ANCHOR BOLT x 450 LONG (320 Min. EMBEDMENT) 50 HOOK + 2 - 38 x 140mm END STUDS EACH SIDE.	15mm (1 SIDE)	75mm @ 75mm	16mm @ 600mm	TENSION STRAPS AT START & ENDS OF SHEAR WALLS. -SIMPSON STRONG TIE CMST 12 OR EQUAL AT 2ND & 3RD FLOORS.
NOTES: 1. ALL SHEATHING JOINTS TO HAVE PERIMETER BLOCKING FOR NAILING AS SPECIFIED. STANDARD NAILING USE 75mm NAILS @ 150mm AT PERIMETER AND 300mm O.C. FOR OTHER BLOCKING U.N.O. 2. SHEATHING TO BE PLYWOOD OR O.S. BOARD (RATED). 3. HOLDDOWN ANCHORS SHOWN ARE BY SIMPSON. U.N. SEE MANUFACTURES INSTRUCTIONS FOR INSTALLATION. 4. STD. BOTTOM PLATE ANCHORS ARE 12Ø @ 1200 U/N 5. STUDS ARE SPF No.1/No.2 GRADE FOR SHEARWALL TYP. SW1, SW3, SW4, SW5. 6. STUDS ARE SELECTED 2.0E FOR SHEARWALL TYP. SW2, SW6.						

FOUNDATION WALL SCHEDULE					($F_c' = 25 \text{ MPa.}$)
MARK	SIZE (mm)	WALL REINFORCING VERTICAL INSIDE FACE	WALL REINFORCING VERTICAL OUTSIDE FACE	WALL REINFORCING HORIZONTAL	REMARKS
FW-1	305				
FW-2	200				
FW-3	200				
FW-4	150				

STRIP FOOTING SCHEDULE							
MARK	SIZE (mm)	DEPTH (mm)	BOTTOM REINFORCING				REMARKS
			LONG		SHORT		
			NO	SIZE	NO	SIZE	
SF-1	500	250	2	15M			
SF-2	550	250	2	15M			
SF-3	650	250	3	15M			
SF-4	400	200	2	15M			
SF-5	550	250	2	15M			
SF-6	650	250	3	15M			
SF-7	600	250	3	15M			

NOTE : SOIL BEARING CAPACITY = 150 kPa. (SLS) AND 250 kPa. (ULS)

STEEL COLUMN SCHEDULE		COLUMNS & PLATES TO BE GALVANIZED		
		C1	C2	C3
TOP OF HIGH ROOF AT (HIGH) ELEV. = 339.15m (SEE ARCHTL. DWGS.)				
TOP OF THIRD FLOOR (HIGH) ELEV. = 335.95m (SEE ARCHTL. DWGS.)				
TOP OF SECOND FLOOR (HIGH) ELEV. = 332.75m (SEE ARCHTL. DWGS.)				
TOP OF GROUND FLOOR (HIGH) ELEV. = 329.55m (SEE ARCHTL. DWGS.)	1502	HSS 127X127X8.0	HSS 127X127X8.0	HSS 127X127X8.0
TOP OF LOWER FLOOR SLAB (HIGH) ELEV. = 326.35m (SEE ARCHTL. DWGS.)				
BASE PLATE SIZE AND THICKNESS (L x W x THK.)		200x500x20	250x500x20	250x500x20
CENTER TO CENTER OF ANCHOR BOLTS	Ax	400	400	400
	Ay	125	125	125
BASE PLATE TYPE		A	B	A
ANCHOR BOLTS		4 - 3/4"Ø	4 - 3/4"Ø	4 - 3/4"Ø

BASE PLATE TYPE 'A'

ANCHORS BOLTS

BASE PLATE TYPE 'B'

Diagram of Base Plate Type 'A' showing a square plate with a central column hole and four anchor bolts. Dimensions Ax and Ay are indicated.




BASE PLATE TYPE 'A'

Diagram of Base Plate Type 'A' showing a cross-section view. Labels include: CENTRE LINE OF COLUMN, COLUMN, BASE PLATE, TOP OF CONCRETE PIER, U/S BASE PLATE, 50mm GROUT TYP. U.N.O., 125 PROJECTION, 20mmØ, 100, and 100 THREAD LENGTH MIN.

ANCHORS BOLTS

Diagram of Base Plate Type 'B' showing a square plate with a central column hole and four anchor bolts. Dimensions Ax and Ay are indicated.

BASE PLATE TYPE 'B'

WOOD COLUMN SCHEDULE			(SPF No.1 / No. 2)
MARK	MEMBER SIZE (mm)		REMARKS
WC1	3 PLY - 38 x 235 SPF No.1 / No. 2		
WC2	3 PLY - 38 x 184 SPF No.1 / No. 2		
WC3	3 PLY - 38 x 140 SPF No.1 / No. 2		

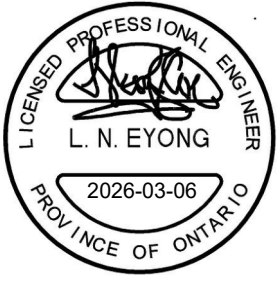
WOOD LINTEL SCHEDULE				
(SPF No.1 / No. 2)				
MARK	MEMBER SIZE (mm)	CLEAR OPENING	BEARING LENGTH	REMARKS
WL-1	2 PLY - 38 x 140 SPF	VARIES	175	CONT.
WL-2	2 PLY - 38 x 140 SPF	"	"	"
WL-3	2 PLY - 38 x 235 SPF	"	"	"
WL-4	2 PLY - 38 x 235 SPF	"	"	"
WL-1A	2 PLY - 38 x 235 SPF	"	"	"
WL-2A	2 PLY - 38 x 286 SPF	"	"	"
WL-3A	2 PLY - 1 3/4" x 9 1/4" LVL	"	"	"
WL-4A	2 PLY - 1 3/4" x 9 1/4" LVL	"	"	"

2	RE-ISSUED FOR PERMIT	2026-03-06	LE
1	ISSUED FOR TENDER	2025-12-23	LE
0	RE-ISSUED FOR PERMIT	2025-10-08	LE
no.	revisions	date	init.

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drawn :	RY
designed :	LE
reviewed :	LE
date :	2026-03-06
scale :	N.T.S.
project :	WINDOM STACKS 32 WINDOM RD. KITCHENER, ON

drawing :

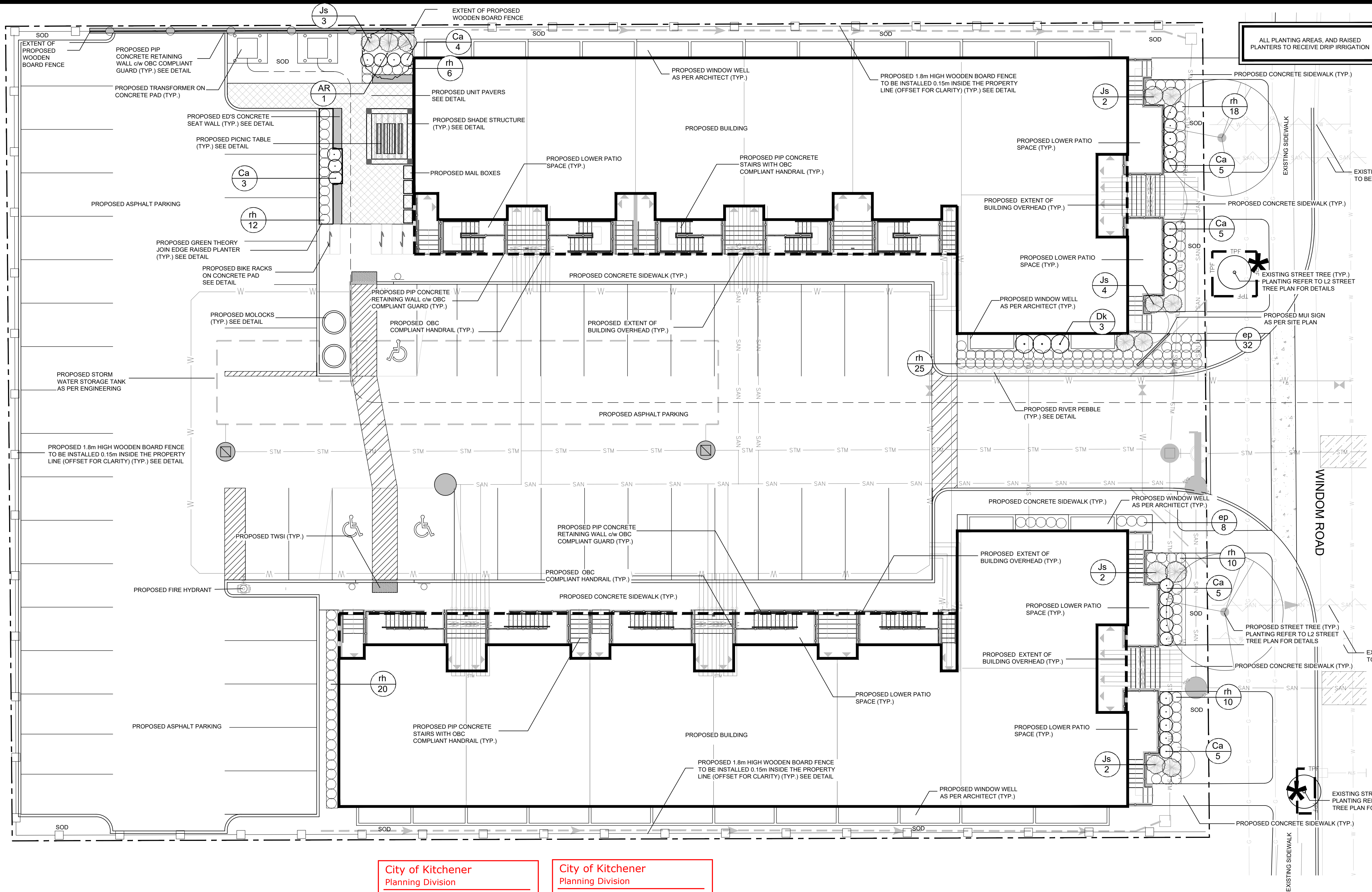
SCHEDULES



64 ONTARIO STREET NORTH
MILTON, ON, L9T 2T1
T. 905-457-1618
www.reinders.ca

project no. : 23051	drawing no. : S500	rev. no. : 2
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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ACCESSIBLE PARKING	☐	1.9 fc	2.0 fc	1.9 fc	1:1:1	1:0:1
AMENITY AREA	+	1.6 fc	2.7 fc	0.8 fc	3:4:1	2:0:1
BICYCLE PARKING	✕	1.5 fc	1.8 fc	1.3 fc	1:4:1	1:2:1
ENTRANCE DRIVE AISLE	+	1.4 fc	1.8 fc	1.0 fc	1:8:1	1:4:1
FRONT ENTRANCE	+	2.2 fc	2.9 fc	1.5 fc	1:9:1	1:5:1
GARAGE AREA	☐	1.8 fc	1.8 fc	1.8 fc	1:0:1	1:0:1
N/W BUILDING SIDEWALK	+	1.5 fc	2.2 fc	1.0 fc	2:2:1	1:5:1
PARKING	+	1.4 fc	2.2 fc	1.0 fc	2:2:1	1:4:1
PROPERTY LINE	✕	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
S/E SIDEWALK	✕	2.0 fc	2.4 fc	1.5 fc	1:6:1	1:3:1
SOUTH BUILDING SIDEWALK	+	1.4 fc	2.4 fc	0.9 fc	2:7:1	1:6:1
SOUTH PARKING	×	1.5 fc	2.1 fc	0.8 fc	2:6:1	1:9:1



WE AGREE TO IMPLEMENT THE APPROVED LANDSCAPE PLANS WITHIN ONE YEAR OF THE DATE OF OCCUPANCY AND WILL RETAIN THE LANDSCAPE ARCHITECT TO MAKE PERIODIC SITE INSPECTIONS AND ON COMPLETION OF THE LANDSCAPE WORKS, WE WILL FORWARD TO YOU A COPY OF THE SITE DEVELOPMENT WORKS NOTIFICATION FORM FROM THE LANDSCAPE ARCHITECT.

ANY REVISION TO THE LANDSCAPE PLANS WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT, CITY OF KITCHENER, BEFORE COMMENCEMENT OF THE WORKS, FOR REVIEW AND APPROVAL.

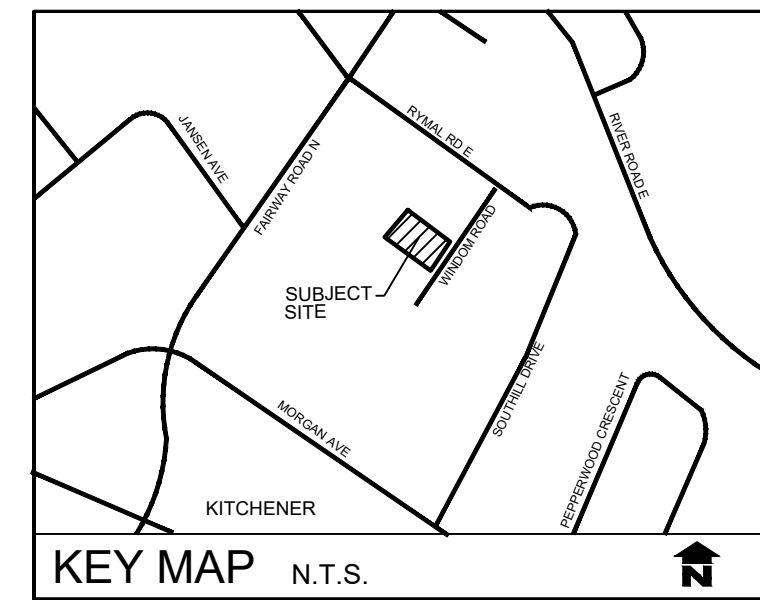
WE HEREBY AUTHORIZE THE CITY, ITS EMPLOYEES, AGENTS OR CONTRACTORS TO ENTER UPON OUR LAND TO WHICH THESE DRAWINGS APPLY, TO COMPLETE THE REQUIRED SITE DEVELOPMENT WORKS AND AGREE TO INDEMNIFY THE CITY AND ITS AUTHORIZED AGENTS AND SAVE THEM HARMLESS FROM ANY AND ALL ACTIONS ARISING OUT OF EXERCISES BY THE CITY, ITS EMPLOYEES, AGENTS OR CONTRACTORS OF THE RIGHTS HEREBY GIVEN TO THEM, AND WE FURTHER UNDERTAKE TO NOTIFY THE CITY, FORTHWITH OF ANY CHANGE OF OWNERSHIP OF THE SAID LANDS.

SIGNATURE OF OWNER:
NAME OF OWNER: Window Holdings (Kitchener) Limited
ADDRESS: 1 Queen St N, Suite 201
DATE: March 6, 2026
TELEPHONE: 519-498-2141

HEREBY CERTIFY THAT THESE LANDSCAPE PLANS CONFORM TO THE SITE GRADING, DRAINAGE AND SLOPE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS FOR THIS PROJECT.

SIGNATURE OF LANDSCAPE ARCHITECT:
DATE: March 6, 2026

SIGNATURE OF CONSULTING ENGINEER:
DATE: March 6, 2026



GENERAL NOTES

1. ALL WORKMANSHIP WILL BE TO THE STANDARDS OF LANDSCAPE ONTARIO.
2. ALL PLANT MATERIAL TO BE NO.1 GRADE NURSERY GROWN IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK, 8TH EDITION, 2017, BY THE CANADIAN NURSERY TRADES ASSOCIATION.
3. BACKFILL WILL CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/CLASS NATIVE TO THE SITE. TOPSOIL TO BE TESTED FOR NUTRIENT VALUE, AND AMENDED FOR OPTIMAL GROWTH AS PER THE RECOMMENDATIONS OF THE SOIL TEST.
4. CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
5. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
6. PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF SITE UTILITY STRUCTURES/SERVICES.
7. ALL MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. SPREAD MULCH TO A MINIMUM OF 100mm COMPACTED DEPTH ON ALL TREE PITS AND PLANTING BEDS.
9. CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT. QUANTITIES NOTED WITHIN THE PLAN SUPERCEDE THOSE IN THE PLANT LIST. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
10. SOD AS MARKED WITH NURSERY SOD ON A MINIMUM OF 100mm OF CLEAN TOPSOIL. FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES, AS REQUIRED.
11. FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
12. ALL SEEDED SLOPES 3:1 AND GREATER TO RECEIVE EROSION CONTROL MATTING. PIN SOD ON ALL SLOPES OF 3:1 OR GREATER.
13. SUBMIT A WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. THE GUARANTEE PERIODS LISTED ABOVE SHALL APPLY TO ALL 'NURSERY GROWN' PLANTS.
14. AT THE TIME OF FINAL INSPECTION ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION, PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.
15. SITE PLAN INFORMATION AS PER REINDERS AND ASSOCIATES.
16. ENGINEERING AS PER REINDERS AND ASSOCIATES, AND IS PROVIDED FOR INFORMATION ONLY.
17. SITE LIGHTING BY OTHERS



REVISIONS	no.	date	description	by
1.	Jul 07/25		Issued for Approval	EH
2.	Oct 20/25		Issued as per Updated Site Plan	EH
3.	Oct 20/25		Issued as per Updated Mail Box Location	EH
4.	Dec 04/25		Issued as per Updated Transformer Location	EH
5.	Jan 07/26		Issued as per Comment	EH
6.	Feb 26/26		Issued as Updated Amenity Space	EH
7.	Mar 06/26		Issued as per Comment	EH

PROPOSED DEVELOPMENT
32-42 Windom Road
City of Kitchener

Landscape Plan



PROJECT NO.: 2025-52	DRAWN BY: EH
SCALE: 1:125	DESIGNED BY: EH
SHEET:	APPROVED BY: AWH
L1	PLOT DATE: Mar. 06, 2026

NOTES:

ALL PAVERS SUPPLIED BY UNILOCK OR EQUIVALENT AS APPROVED BY L.A.
WWW.UNILOCK.COM
1-800-265-6124

UNIT PAVES: BEACON HILL SMOOTH
SIZE: RANDOM x 60mm
COLOUR: FOSSIL
LAYING PATTERN: BEACON HILL FIXED RANDOM A

WHERE PAVES DOES NOT ABUT CONCRETE, TAPER GRANULAR BASE AT 45d AND SECURE PAVERS WITH PVC EDGE RESTRAINT SECURED WITH 10" LANDSCAPE SPIKES. EDGE RESTRAINT SHOULD NOT BE VISIBLE ONCE EDGE CONDITION IS RESTORED.

POLYMERIC JOINTING SAND TO BE SWEEPED IN BETWEEN JOINTS IN ALL DIRECTIONS. FOLLOW MANUFACTURERS INSTRUCTIONS

PRECAST CONCRETE UNIT PAVERS CUT AND FIT WITH CIRCULAR STONE SAW. BRICKS MUST BE FLUSH, LEVEL AND UNROCKABLE

CONCRETE SAND TO 25mm DEPTH

COMPACTED GRANULAR 'A' DEPTH OF SUB-BASE TO BE 300mm DEPTH TO BE CONFIRMED BY GEOTECHNICAL ENGINEER

City of Kitchener
Planning Division
**LANDSCAPE PLAN
APPROVED**

Signature: Simon L.
Date: 03/09/2026

City of Kitchener
Planning Division
**LANDSCAPE PLAN
APPROVED**

Signature: Viane R.
Date: 03/09/2026

TREEGATOR:

INSTALL TREEGATOR ORIGINAL SLOW RELEASE WATERING BAG ON ALL CALIPER DECIDUOUS TREES. SEE MANUFACTURERS DETAIL FOR SPECIFICATIONS AND DIRECTIONS.

NEVER CUT A LEADER. PRUNE ONLY DEAD OR DAMAGED LIMBS

2440 LONG WOOD STAKES (TYP.) ATTACH TO TREE WITH NO. 14 GALV. WIRE ENCASED WITH RUBBER GARDEN HOSE AT POINT OF CONTACT WITH TREE

* TREE TO BEAR SAME RELATIONSHIP TO GRADE AS PREVIOUS PLANTING

MIN. 100mm DEEP SHREDDED BARK MULCH

EARTH SAUCER

APPROVED NATIVE BACKFILL MATERIAL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

MAINTAIN ORIGINAL GRADE OF SHRUB BASE AFTER PLANTING

UNDISTURBED SOIL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

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UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

MAINTAIN ORIGINAL GRADE OF SHRUB BASE AFTER PLANTING

UNDISTURBED SOIL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

MAINTAIN ORIGINAL GRADE OF SHRUB BASE AFTER PLANTING

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MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

MAINTAIN ORIGINAL GRADE OF SHRUB BASE AFTER PLANTING

UNDISTURBED SOIL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

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UNDISTURBED SOIL

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UNDISTURBED SOIL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL

MIN. 100mm DEEP SHREDDED BARK MULCH

LIMBS, DO NOT CUT LEADER

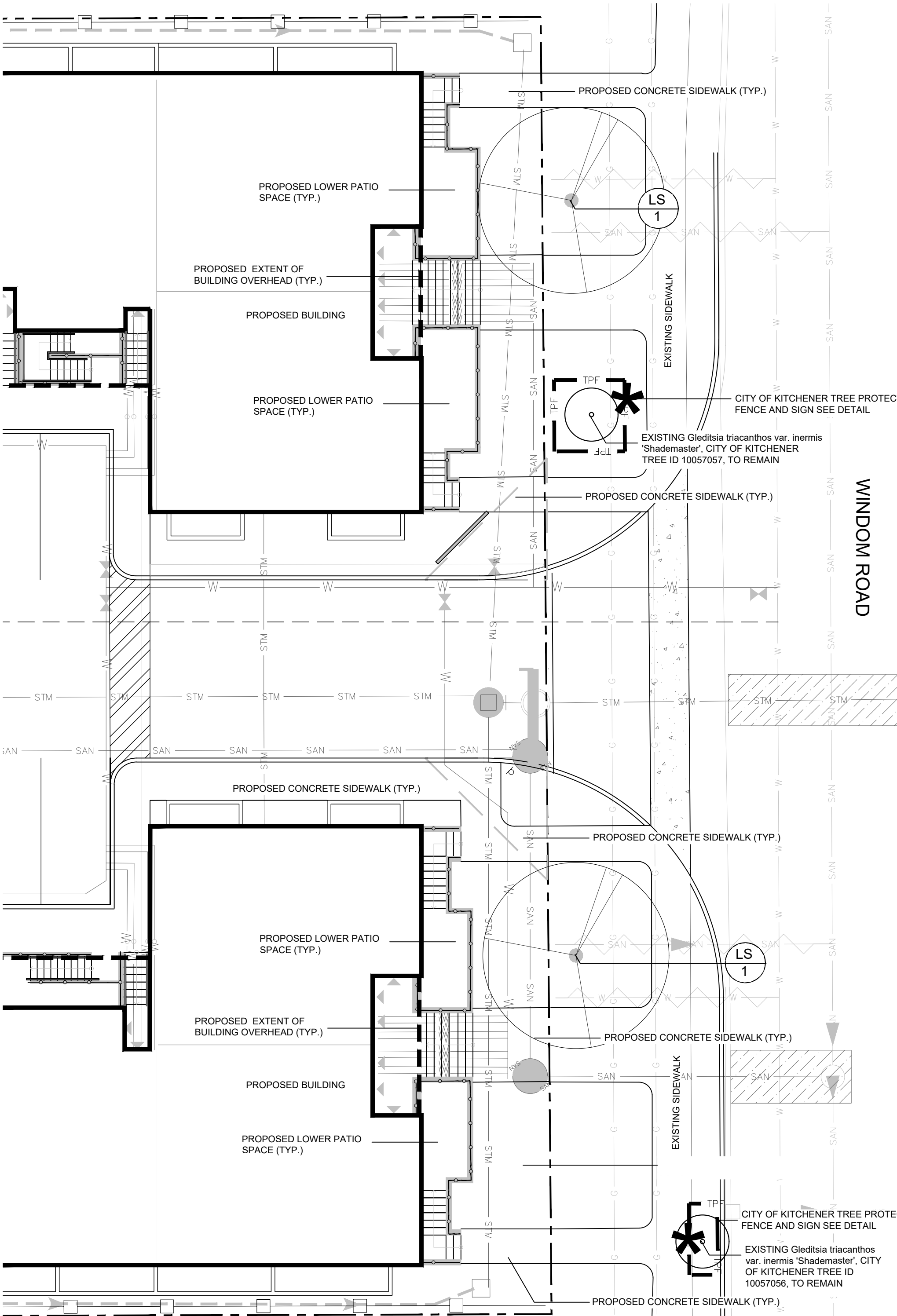
MAINTAIN ORIGINAL GRADE OF SHRUB BASE AFTER PLANTING

UNDISTURBED SOIL

FINISHED GRADE

SHRUBS TO BE PLACED IN CONTINUOUS BEDS

UNDISTURBED SOIL



CITY OF KITCHENER TREE PLANTING NOTES FOR STREET TREES, PARKS & TRAILS

1.0 GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES FOR UNDERGROUND UTILITIES PRIOR TO DIGGING.
2. ALL PLANTING TO BE IN ACCORDANCE WITH THE CITY OF KITCHENER URBAN DESIGN MANUAL STANDARDS AND CITY OF KITCHENER DEVELOPMENT MANUAL CURRENT AT THE TIME OF INSTALLATION.
3. TIME CONSTRAINTS FOR PLANTING:
 - 3.1. BARE ROOT PLANTS - SPRING, FROST FREE CONDITIONS FROM MAY 31st TO SEPTEMBER 1 TO WINTER FREEZE UP; AND
 - 3.2. BALLED AND BURLAPPED OR CONTAINER GROWN PLANTS - SPRING IN FROST FREE CONDITIONS TO NOVEMBER 15th.
4. ALL PLANTING SHALL BE DONE UNDER THE DIRECTION AND SUPERVISION OF PERSONNEL WITH AT LEAST 5 YEARS HORTICULTURAL AND PLANTING EXPERIENCE AND CONFORM TO THE BEST HORTICULTURAL PRACTICES.
5. PLANTING OF PLANT MATERIAL PRIOR TO LANDSCAPE ARCHITECT APPROVAL WILL BE AT THE CONTRACTORS RISK. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO PLANTING SPECIFICATIONS.
6. ONLY USE IMPORTED TOPSOIL WHEN APPROVED GROWING MEDIUM FROM SITE HAS BEEN DEPLETED OR IS DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT AND CITY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SOIL TESTS. APPROVED SOILS REPORT TO BE PROVIDED, WITHIN THE YEAR FOR TOPSOIL RELATED ACTIVITIES. DEVELOPERS CONSULTANT IS TO ENSURE THE RECOMMENDATIONS FOR AMENDMENTS ARE TO BE BY VOLUME (NOT WEIGHT). THE SOILS TEST AND RECOMMENDATIONS ARE TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
7. ALL TOPSOIL FERTILIZER AND AMENDMENTS MUST BE MADE BY VOLUME (NOT WEIGHT) AS PER THE APPROVED SOILS REPORT RECOMMENDATIONS AND SOIL TESTING AGENCY RECOMMENDATIONS. SAMPLES OF THE AMENDED SOILS ARE TO BE TESTED TO ENSURE COMPLIANCE WITH THE APPROVED GROWING MEDIUM REQUIREMENTS AND SUBMITTED, WITH THE TEST RESULTS, TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO APPLICATION.
8. APPROVED GROWING MEDIUM SHALL NOT BE MOVED, DELIVERED OR WORKED ON WHILE IN A FROZEN, WET OR MUDDY STATE OR CONDITION.
9. ALL PLANT MATERIAL SHALL COMPLY WITH THE "CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS AND STANDARDS" CURRENT TO THE TIME OF INSTALLATION. PLANT MATERIAL SHALL BE STRUCTURALLY SOUND, WELL FURNISHED WITH FOLIAGE, SHOWING VIGOROUS GROWTH AND FORMATION OF SHOOTS, AND BE FREE FROM BLIGHT AND DISEASE OF ANY DESCRIPTION. ANY SUBSTITUTIONS AS TO VARIETY, SIZE, CONDITION OR GRADE MUST BE ACCEPTABLE TO THE CITY OF KITCHENER PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR ALL PLANT MATERIAL INDICATING THE SPECIES, SIZE AND SUPPLIER. CONTAINER GROWN PLANT MATERIALS MUST BE GROWN IN THE SAME CONTAINER FOR A MINIMUM PERIOD OF SIX (6) MONTHS PRIOR TO INSTALLATION.
11. PLANT MATERIAL SHALL NOT BE COLLECTED OR DUG FROM NATIVE STANDS OR ESTABLISHED WOODLOTS.
12. ALL TREES TO BE OBTAINED FROM A LOCALLY GROWN SOURCE.
13. PLANTS SHALL BE SOUND HEALTHY, VIGOROUS AND WELL BRANCHED. THEY SHALL BE FREE OF INSECT PESTS' EGGS AND LARVAE AND SHALL HAVE HEALTHY WELL DEVELOPED ROOT SYSTEMS.
14. PLANT MATERIAL SHALL BE SET PLUMB IN THE CENTER OF PIT/BED IN A STRAIGHT, VERTICAL POSITION.
15. WATER REQUIREMENTS: PLANTS ARE TO BE WATERED TO MAINTAIN HEALTH AND VIGOROUS GROWTH FROM TIME OF INSTALLATION AND THROUGHOUT THE 2 YEAR MAINTENANCE PERIOD UP TO TIME OF FINAL ACCEPTANCE.
16. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CHANGES TO THE AVAILABILITY OF THE SPECIES IDENTIFIED AND PROPOSED SUBSTITUTES FOR REVIEW AND APPROVAL BY THE CITY. NO SUBSTITUTIONS FOR SPECIFIED PLANT MATERIAL ARE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT AND CITY.
17. ALL DISTURBED AREAS WILL BE STABILIZED AND RESTORED UPON COMPLETION OF WORKS TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND CITY. ALL DISTURBED AREAS TO BE SEEDED PROMPTLY AFTER DISTURBANCE OR GRADING.

STREET TREE PLANT MATERIAL LIST					
KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
LS	2	Sweet Gum	Liquidambar styraciflua	60mm cal.	W.B.

Minimum Soil Volume (SV) Requirements by Tree Size			
Large Mature Tree (LS)	Medium Mature Tree (MS)	Small Mature Tree (ST)	Small Tree (ST)
Minimum SV per tree	45 m³	28 m³	17 m³
Minimum SV per tree when side street	30 m³	18.5 m³	11 m³
Minimum SV per tree when side street	15 m³	9.5 m³	6 m³

Minimum Soil Depth for Residential Street Tree Plantings	
Soil Depth	All other areas
0.45 m	0.90 m

NOTE: This detail shows a typical planting area. The actual planting area will vary.

4 UF.3.1 SOIL HABITAT ZONES & VOLUMES
CITY OF KITCHENER STANDARD DETAIL
NTS

2.0 STREET TREE SITE PREPARATION AND PROVISION OF TREE ROOT ZONE (TRZ):

1. PREPARATION OF FRONT YARD AND BOULEVARD SOIL HABITAT ZONES, ROOT PATHWAY INSTALLATION, TOPSOIL PILE TESTING AND CONSEQUENT TOPSOIL TESTING, REVIEW AND APPROVAL OF AMENDMENTS BY CITY TO ACHIEVE APPROVED GROWING MEDIUM (PER APPROVED SOILS REPORT) IS TO OCCUR PRIOR TO SIDEWALK CONSTRUCTION AND PLANT INSTALLATION.
2. THE SURFACE SHOULD BE TILLED AND/OR SCARIFIED PRIOR TO PLACEMENT OF APPROVED GROWING MEDIUM WITHOUT OVER COMPACTING THE PLACED MATERIAL.
3. THE SURFACE SHOULD BE TILLED AND/OR SCARIFIED PRIOR TO PLACEMENT OF APPROVED GROWING MEDIUM WITHOUT OVER COMPACTING THE PLACED MATERIAL.
4. SPECIFIC PARK AND MULTI-USE PATHWAY CONSTRUCTION SCARIFICATION REQUIREMENTS:
 - 4.1. SCARIFY SUB-GRADE ON WHICH APPROVED GROWING MEDIUM IS TO BE PLACED, TO THE MINIMUM DEPTHS SPECIFIED, AND
 - 4.2. SCARIFY SUB-GRADES UNDER AREAS WHICH ARE TO BE RAISED BY PLACING FILL TO MINIMUM DEPTH OF 75 MM TO PROVIDE A GOOD BOND AND PREVENT SLIPPING OF FILL.
5. SPECIFIC URBAN FOREST SCARIFICATION REQUIREMENTS FOR BOULEVARDS AND FRONT YARDS:
 - 5.1. BOULEVARD SOIL HABITAT CONSTRUCTED TO MINIMUM 450MM DEPTH OF APPROVED GROWING MEDIUM.
 - 5.2. FRONT YARD SOIL HABITAT DEPTH TO CONSIST OF A COMBINATION OF THE FOLLOWING:
 - a. A HORIZON (DEPTH OF APPROVED GROWING MEDIUM) - 450MM
 - b. B HORIZON (DEPTH OF SCARIFIED SOIL OR PLACEMENT OF APPROVED GROWING MEDIUM) - 450MM
 - 5.3. TOTAL SOIL HORIZON A+B = 900MM. APPROVED GROWING MEDIUM SHOULD BE APPLIED TO A MINIMUM DEPTH FOR USE AS PER THE ENGINEERING SPECIFICATION AND THE CITY OF KITCHENER'S DEVELOPMENT MANUAL STREET TREE APPROVED GROWING MEDIUM PLACEMENT INCLUDING:
 - 6.1. CREATION OF SOIL HABITAT ZONES.
 - 6.2. THE A HORIZON IN THE BOULEVARD AND A/B HORIZON IN THE FRONT LAWN WILL BE CONSTRUCTED TO MEET ALL OF THE MINIMUM REQUIREMENTS IDENTIFIED IN SECTION M:
 - 6.3. BOULEVARD-THE DEPTH OF THE A HORIZON WILL BE AT LEAST 450 MM APPROVED GROWING MEDIUM.
 - 6.4. FRONT LAWN - THE DEPTH OF THE A HORIZON WILL BE AT LEAST 450 MM A HORIZON APPROVED GROWING MEDIUM AND THE DEPTH OF THE B HORIZON WILL BE AT LEAST 450 MM DEPTH OF SCARIFICATION.
 - 6.5. CONSTRUCTION OF THE A AND B HORIZONS WILL MEET AT LEAST THE MINIMUM REQUIREMENTS IDENTIFIED IN SECTIONS M.4.2, M.4.3 AND M.4.4 REGARDING PLACEMENT, COMPACTION, SLOPES AND SCARIFICATION.
6. THE A HORIZON IN THE BOULEVARD AND A/B HORIZON IN THE FRONT LAWN WILL BE CONSTRUCTED TO MEET ALL OF THE MINIMUM REQUIREMENTS IDENTIFIED IN SECTION M:
7. STREET TREE PLANTING PLANS WILL BE A REQUIREMENT FOR ACHIEVING FINAL ACCEPTANCE ON A STREET-BY-STREET BASIS.
8. DURING THE CONSTRUCTION STAGE THE DEVELOPER'S ENGINEER WILL ENSURE THAT ALL PARTIES ARE AWARE OF THE REQUIREMENTS OF THE APPROVED TREE PLANTING PLAN. PRIOR TO INSTALLATION OF ANY SIDEWALKS AND LANDSCAPE WORKS, THE DEVELOPER'S ENGINEER WILL ALSO ENSURE THAT ALL PARTIES AND SUBCONTRACTORS ARE AWARE OF THE TREE LOCATIONS, REQUIRED ROOT PATHWAYS, AND SOIL HABITAT ZONES.
9. THE DEVELOPER'S ENGINEER AND LANDSCAPE ARCHITECT WILL OVERSEE, DOCUMENT (PHOTOGRAPHS AND PLAN MARKUPS) AND INSPECT ALL ASPECTS OF THE WORK, INCLUDING THE REMOVAL OF THE PARENT MATERIAL/CONSTRUCTION DEBRIS FROM THE SOIL HABITAT ZONES, USE OF AND INSTALLATION OF DEPTH OF APPROVED GROWING MEDIUM, ROOT PATHWAYS, AND TREE PLANTING. THROUGH THE INITIAL AND FINAL ACCEPTANCE CERTIFICATES, THE DEVELOPER'S LANDSCAPE ARCHITECT WILL VERIFY THAT ALL WORK AND MATERIALS MEET THE REQUIRED STANDARDS.

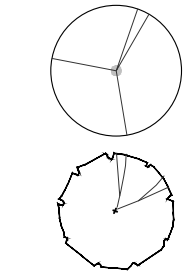
3.0 PLANTING:

1. PLANT MATERIAL SHALL BE SET PLUMB IN THE CENTRE OF THE PIT AND IN A VERTICAL POSITION IN THE SAME RELATION TO GRADE AS ORIGINALLY GROWN.
2. NO PLANTS ARE TO BE INSTALLED WHERE WATER PERMANENTLY FLOODS THE ROOT ZONE.
3. POTTED HERBACEOUS MATERIAL SHALL BE REMOVED FROM THE POT TOGETHER WITH THE POTTING SOIL AND PLACED FIRMLY INTO THE PLANTING BED IN THE LOCATION INDICATED ON THE PLANS. ROOT RHIZOME, OR TUBER PLANTS SHALL BE BURIED TO THE SAME DEPTH AS THE NATURAL STATE OF THE PLANT.
4. BURLAP AND TIES SHALL BE REMOVED FROM THE TOP THIRD OF THE ROOTBALL. FIBER POTS SHALL BE REMOVED BY CUTTING THE SIDES AND FOLDING IT BACK FROM THE ROOT MASS. ANY PRESERVATIVE TREATED (GREEN)
5. BURLAP SHALL BE REMOVED FROM THE ROOT BALLS OF ALL PLANT MATERIAL IN ITS ENTIRETY.
6. THE PLANTING PIT SHALL BE BACKFILLED WITH THE APPROVED GROWING MEDIUM AND BACKFILL IN 150MM LIFTS, TAMP TO PREVENT SETTLEMENT.
7. A SHALLOW SAUCER SHALL BE CREATED OVER THE PLANTING PIT TO RETAIN WATER. REFER TO PLANTING DETAILS.
8. TREES SHALL BE PRUNED ONLY TO CORRECT ISSUES IN NATURAL FORM AND/OR TO REMOVE DEAD AND BROKEN BRANCHES IN ACCORDANCE WITH GOOD ARBORICULTURAL PRACTICES.
9. ALL OF THE TREES AND OTHER PLANT MATERIAL ARE TO BE WATERED AND MULCHED IMMEDIATELY UPON PLANTING.
10. ALL MULCH TO BE ORGANIC/SHREDDED BARK. DEPTH AS SPECIFIED ON PLANTING DETAILS. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TREE TRUNKS, SHRUBS AND HERBACEOUS PLANT MATERIAL. ALLOW 25MM MULCH FREE RING AROUND TRUNKS AND PLANT BASES. LANDSCAPE ARCHITECT AND THE CITY RESERVES THE RIGHT TO REJECT ANY MULCH THAT DOES NOT CONFORM TO SPECIFICATIONS. PROVIDE SAMPLE PRIOR TO INSTALLATION FOR APPROVAL.
11. PLANTS ARE TO BE WATERED TO MAINTAIN HEALTHY AND VIGOROUS GROWTH FROM THE TIME OF INSTALLATION AND THROUGHOUT THE TWO (2) YEAR MAINTENANCE PERIOD UP TO THE TIME OF FINAL ACCEPTANCE.
12. INSTALL 200MM HIGH EXPANDABLE PROTECTIVE TREE GUARD AROUND BASE OF ALL TREES.
13. TREES SHALL BE STAKED IMMEDIATELY FOLLOWING PLANTING OPERATIONS AS PER DETAILS SHOWN ON THESE PLANS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY WEED AND GRASS CONTROL IN THE BOULEVARDS AND PLANTING BED AREAS AS REQUIRED THROUGHOUT THE MAINTENANCE PERIOD UP UNTIL FINAL ACCEPTANCE. NO PESTICIDES IN ACCORDANCE WITH MUNICIPAL BY-LAWS AND PROVINCIAL LEGISLATION.

4.0 APPROVED GROWING MEDIUM REQUIREMENTS FOR WALKWAY BLOCKS, PARKS AND TRAILS:

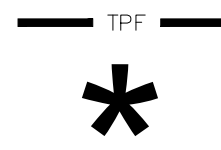
1. IN BOULEVARDS WHERE TREES WILL NOT BE PLANTED, MINIMUM 150MM OF A HORIZON APPROVED GROWING MEDIUM WILL BE PLACED PER SECTION C.10 OF THE CITY OF KITCHENER DEVELOPMENT MANUAL.
2. IN WALKWAY BLOCKS A MINIMUM 150MM OF A HORIZON APPROVED GROWING MEDIUM WILL BE PLACED PER SECTION C.12 OF THE CITY OF KITCHENER DEVELOPMENT MANUAL.
3. ON LOTS, INCLUDING DRAINAGE DITCHES AND SWALES, A MINIMUM 150 MM OF A HORIZON APPROVED GROWING MEDIUM WILL BE PLACED PER SECTION J.2 OF THE CITY OF KITCHENER DEVELOPMENT MANUAL.
4. SPECIFIC PARK, MULTI-USE PATHWAY AND STORM WATER FACILITY CONSTRUCTION TOPSOIL PLACEMENT REQUIREMENTS:
 - 4.1. IN PARKLAND AND STORM WATER FACILITIES, UNLESS IDENTIFIED AS TREE HABITAT ZONES, A MINIMUM 300MM OF A HORIZON APPROVED GROWING MEDIUM WILL BE PLACED PER SECTION L.11.12 OF THE CITY OF KITCHENER DEVELOPMENT MANUAL.
 - 4.2. IN ALL PARKLAND IDENTIFIED AS TREE HABITAT ZONE THE DEPTH OF THE A HORIZON WILL BE AT LEAST 450 MM
 - 4.3. A HORIZON APPROVED GROWING MEDIUM AND THE DEPTH OF THE B HORIZON WILL BE AT LEAST 450 MM PER L.11.12 & M.2.8.

LEGEND



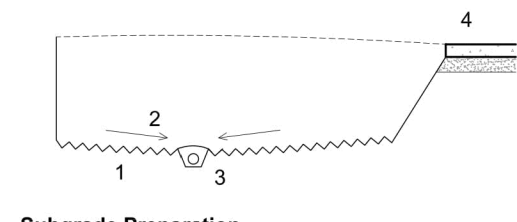
PROPOSED STREET TREE

PROPOSED TREES



TREE PROTECTION FENCE SEE DETAIL

TREE PROTECTION SIGN LOCATION SEE DETAIL

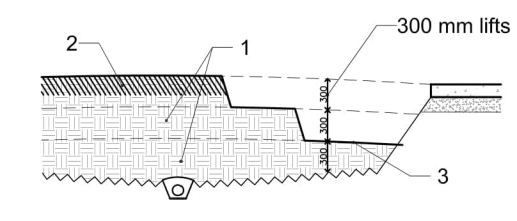


Subgrade Preparation

1. Scarify (subgrade) parent material with a toothed blade to a depth of 100mm where there are no underground utilities.
2. Where drain lines are identified slope the subgrade to the drain.
3. Drain lines if required.
4. Slopes adjacent to infrastructure are to be 1:1.

SUBGRADE PREPARATION (Adapted from Up By Roots, James Urban, 2008)

Scale 1:50



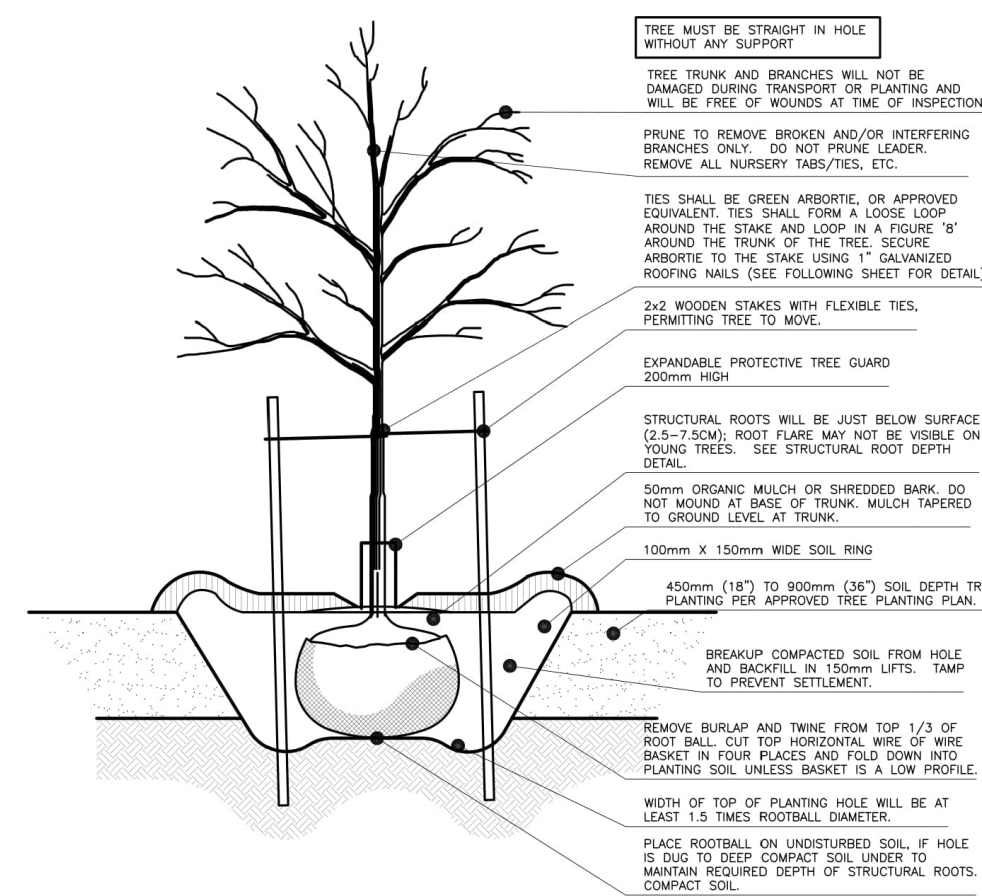
Soil Installation

1. 300 mm soil lifts
2. Lifts to be compacted to 80% standard proctor density.
3. Compost added to top lift (A Horizon) if specified.

SOIL INSTALLATION (Adapted from Up By Roots, James Urban, 2008)

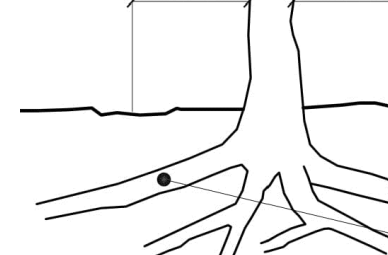
Scale 1:50

5 UF.3.4 SOIL HABITAT ZONES INSTALLATION & SPECS
CITY OF KITCHENER STANDARD DETAIL
NTS



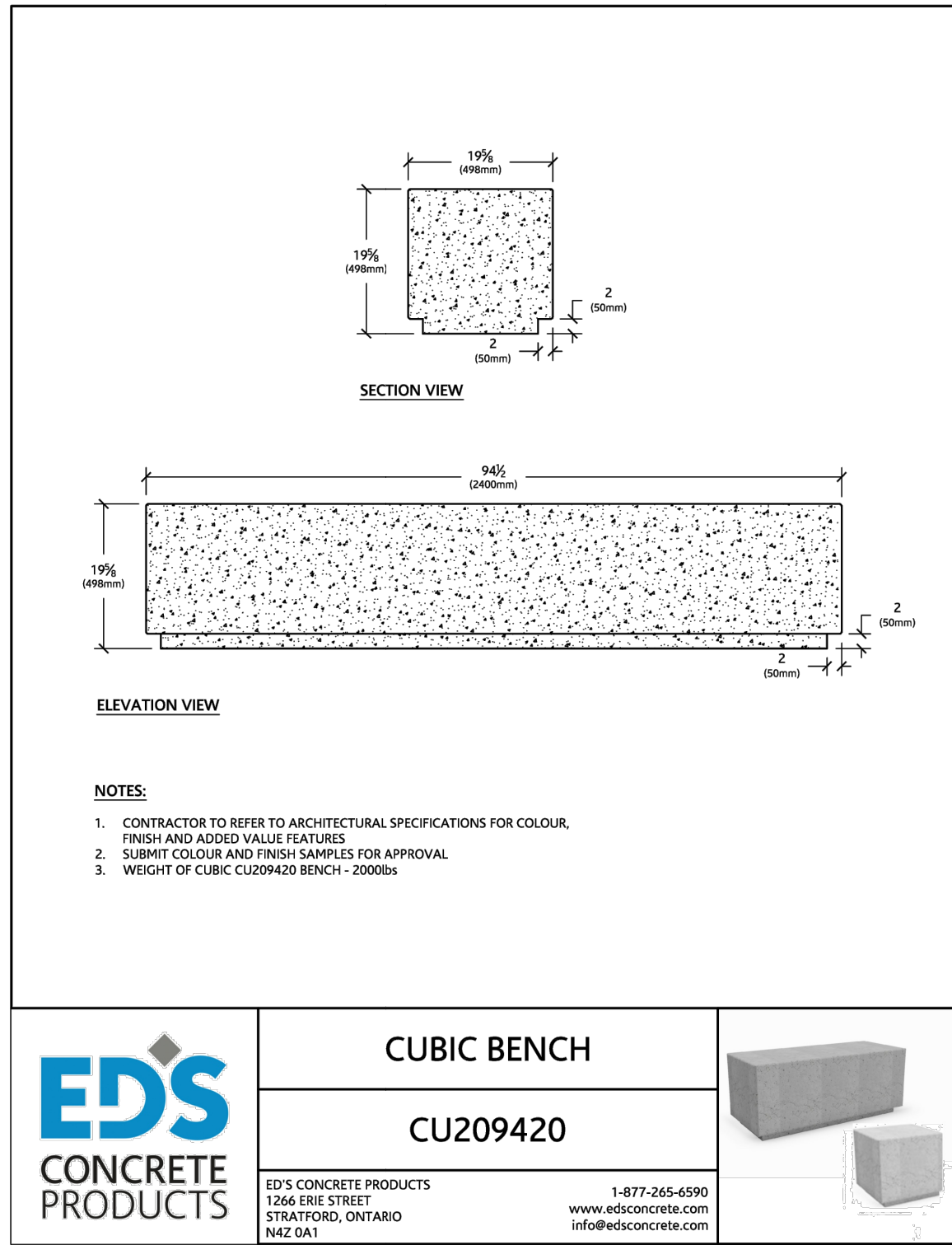
DECIDUOUS TREE PLANTING DETAIL

SCALE: N.T.S.



SEAT WALL BY ED'S CONCRETE
(OR APPROVED EQUAL)
T 1-519-442-7500
WWW.EDSCONCRETE.CA
INFO@EDSCONCRETE.CA

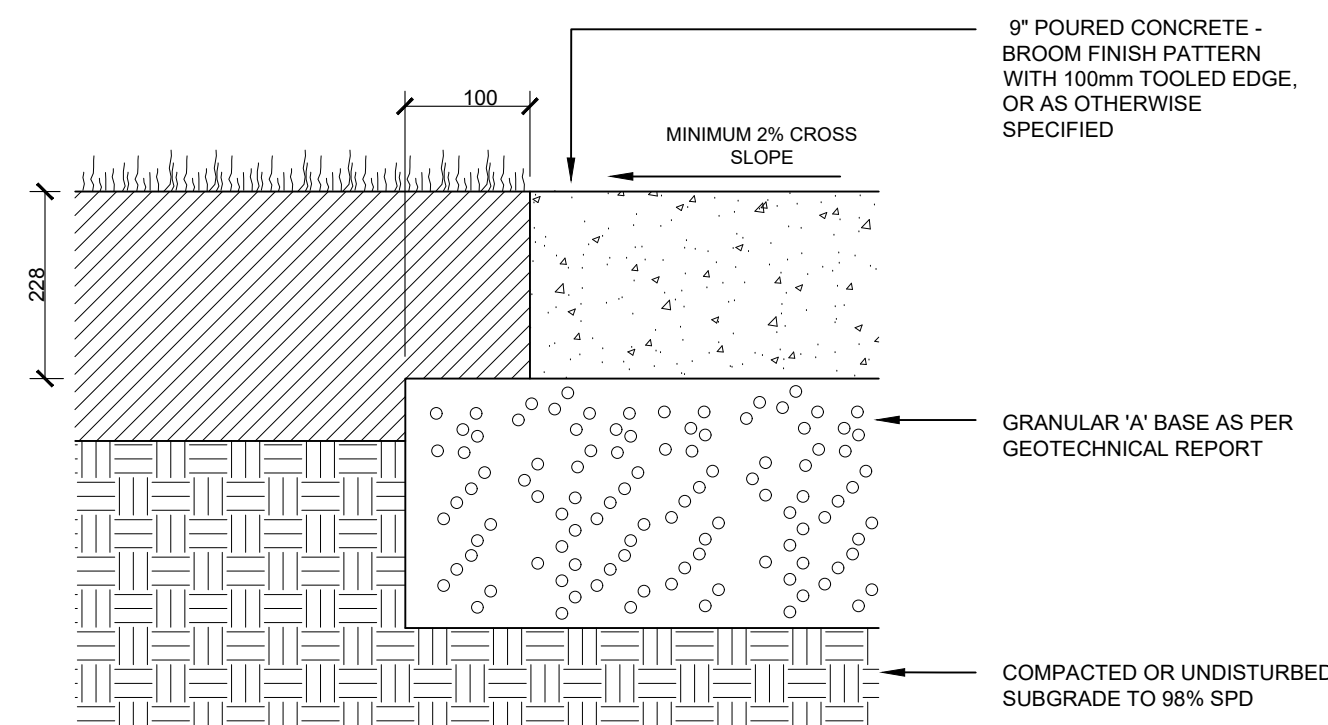
SPECIFICATIONS:
MODEL: CUBIC BENCH CU209420
FINISH: SMOOTH
COLOUR: GREY STANDARD
INSTALLATION AS PER
MANUFACTURE'S INSTRUCTIONS



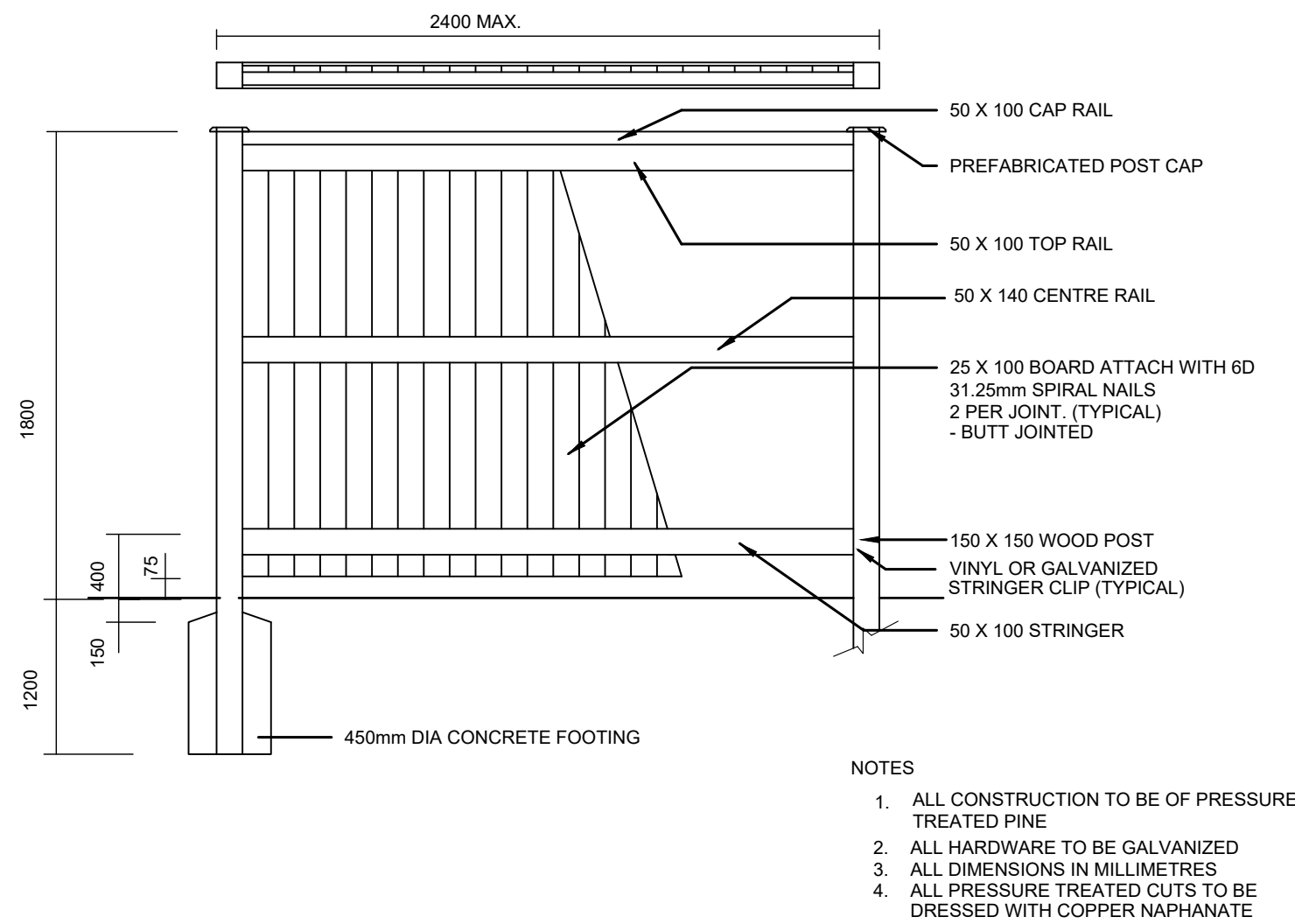
8 TYPICAL CONCRETE SEAT WALL DETAIL
NTS

NOTES:

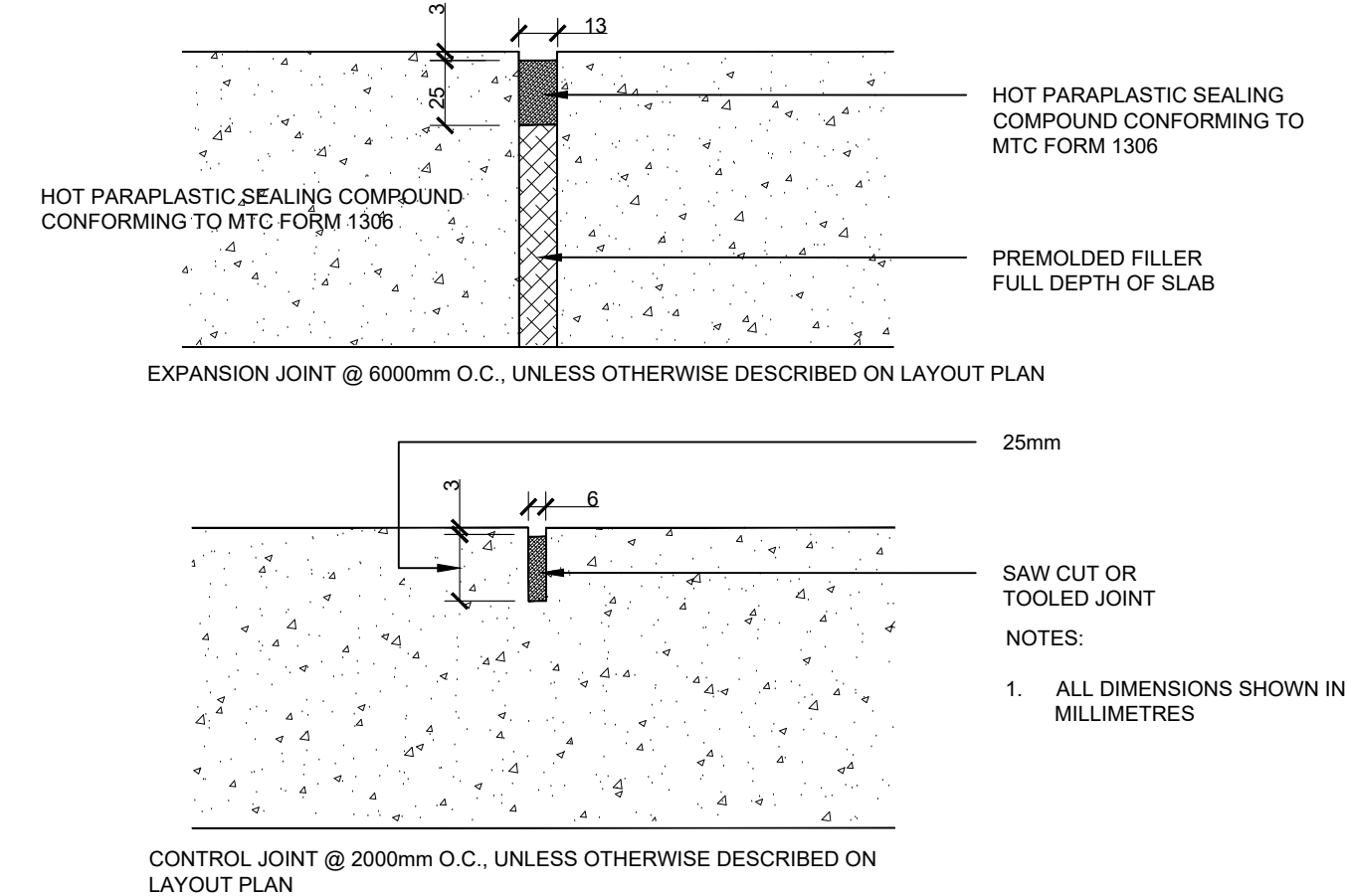
1. REFER TO DETAIL: CONCRETE JOINTS



11 PIP CONCRETE PAD DETAIL
NTS



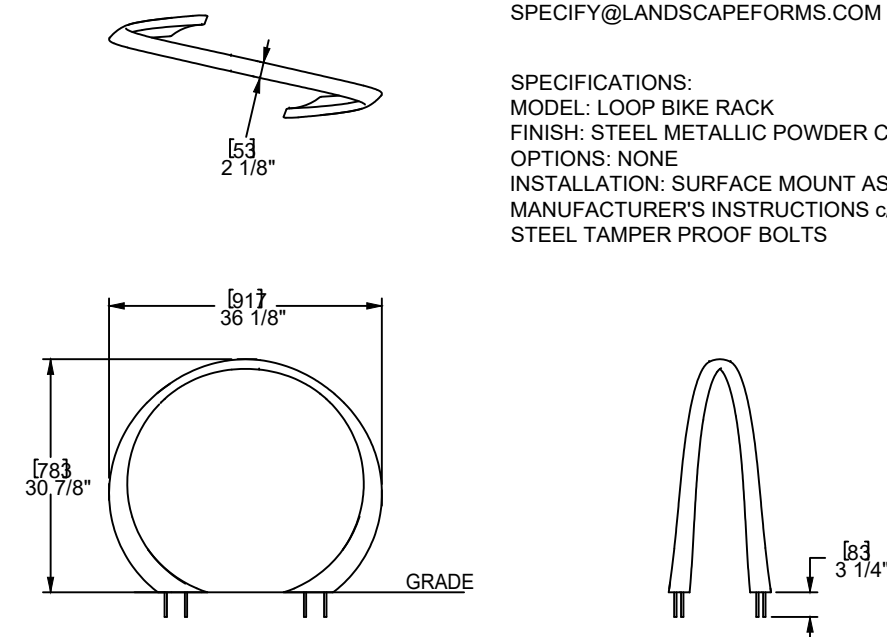
9 1.8m HIGH WOOD BOARD FENCE DETAIL
NTS



12 CONCRETE JOINT DETAILS
NTS

BIKE RACK BY LANDSCAPE FORMS
(OR APPROVED EQUAL)
T 269-381-0396
F 269-381-3455
WWW.LANDSCAPEFORMS.COM
SPECIFY@LANDSCAPEFORMS.COM

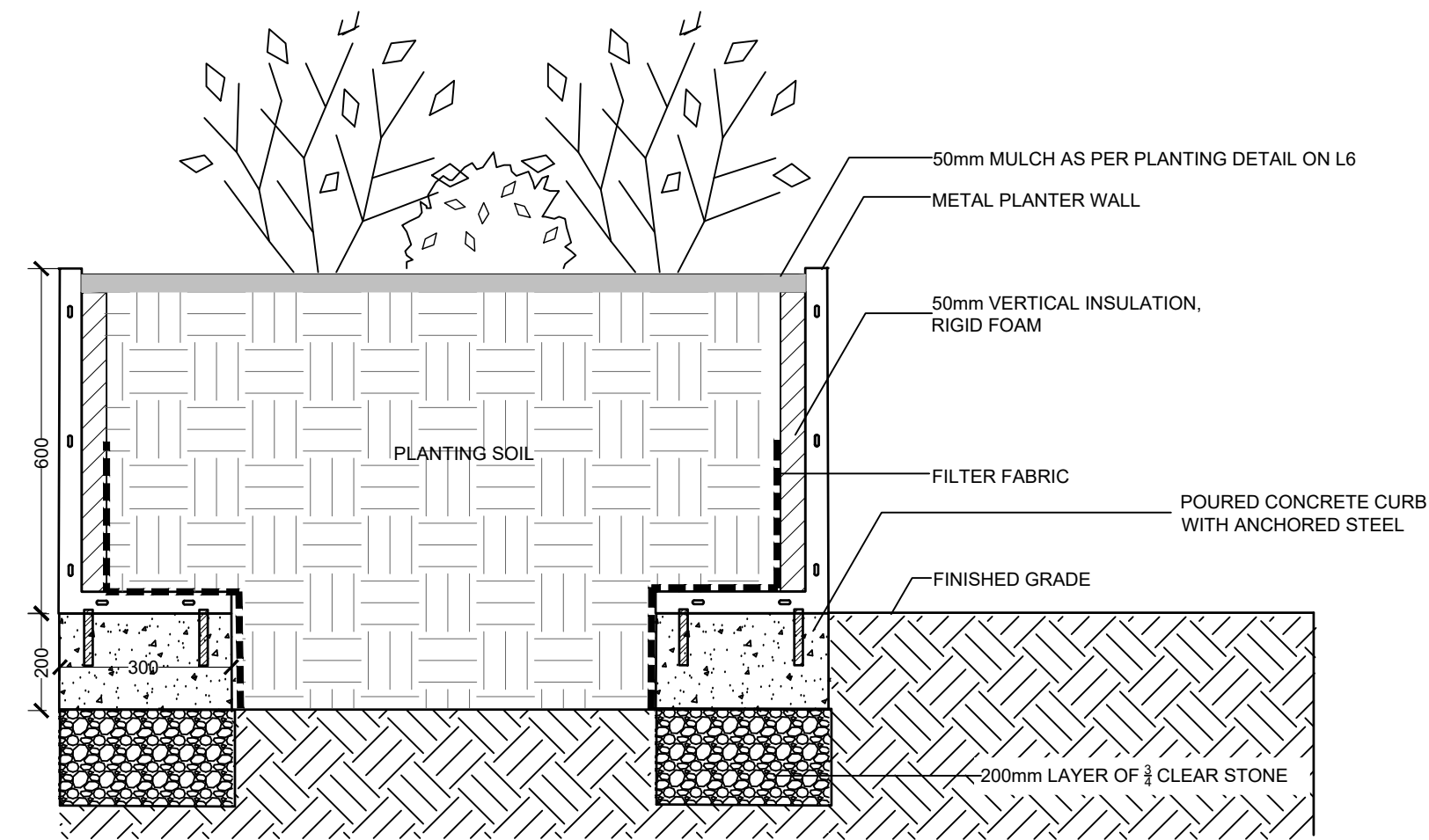
SPECIFICATIONS:
MODEL: LOOP BIKE RACK
FINISH: STEEL METALLIC POWDER COAT
OPTIONS: NONE
INSTALLATION: SURFACE MOUNT AS PER
MANUFACTURER'S INSTRUCTIONS *and* STAINLESS
STEEL TAMPER PROOF BOLTS



15 BIKE RACK DETAIL
NTS

METAL PLANTER BY GREEN THEORY
(OR APPROVED EQUAL)
T 1-844-747-9283
WWW.GREENTHEORY.COM
INFO@GREENTHEORY.COM

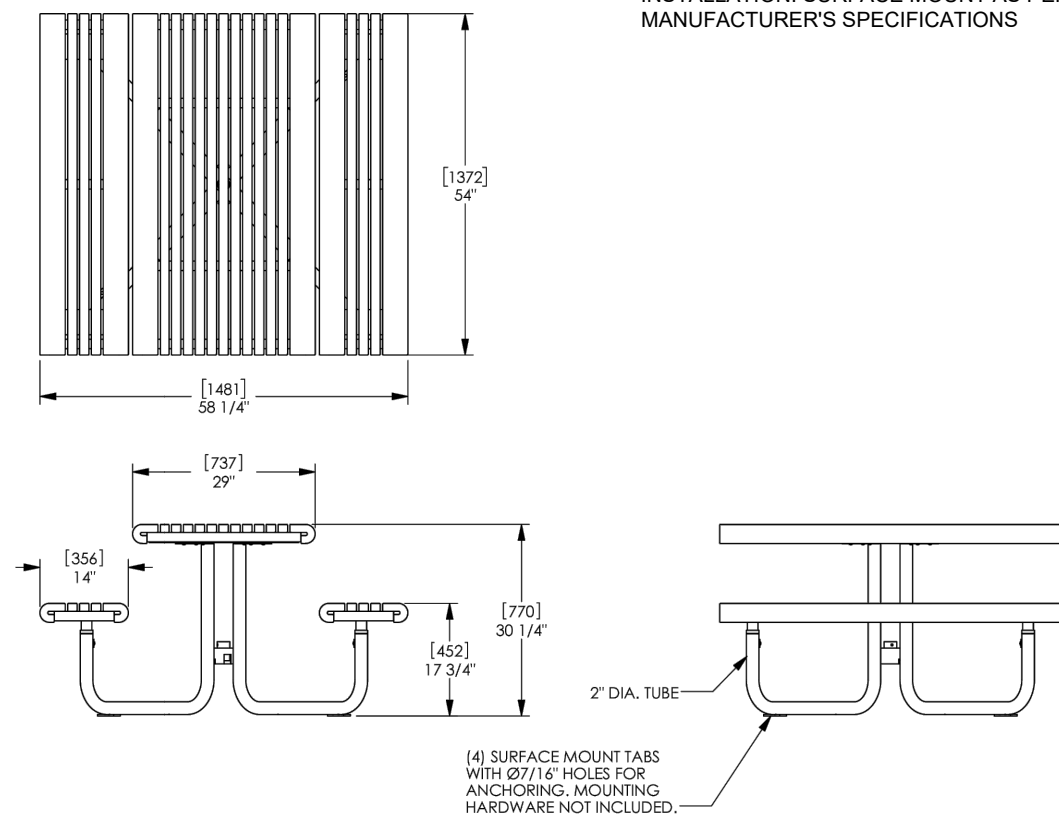
SPECIFICATIONS:
MODEL: EDGE PLANTER
FINISH: PEWTER POWDER COAT
OPTIONS: 600mm HIGH
INSTALLATION: SURFACE MOUNT AS PER MANUFACTURER'S INSTRUCTIONS
LINE SIDES OF PLANTER WITH FILTER FABRIC



10 METAL PLANTER DETAIL
NTS

PICNIC TABLE BY LANDSCAPE FORMS
(OR EQUAL)
T 1-800-521-2546
WWW.LANDSCAPEFORMS.COM

SPECIFICATIONS:
MODEL: GRETCHEN
FINISH: WOOD, WOODGRAIN TO BE DETERMINED
METAL TO BE STEEL POWDER COAT
OPTIONS: NO UMBRELLA HOLE
INSTALLATION: SURFACE MOUNT AS PER
MANUFACTURER'S SPECIFICATIONS



13 PICNIC TABLE DETAIL
NTS

SHADE STRUCTURE BY
HAUSER SITE FURNISHINGS
(OR EQUAL)
T 1-800-268-7328 EXT. 243
HAUSERSITE.COM
SALES@HAUSERSITE.COM

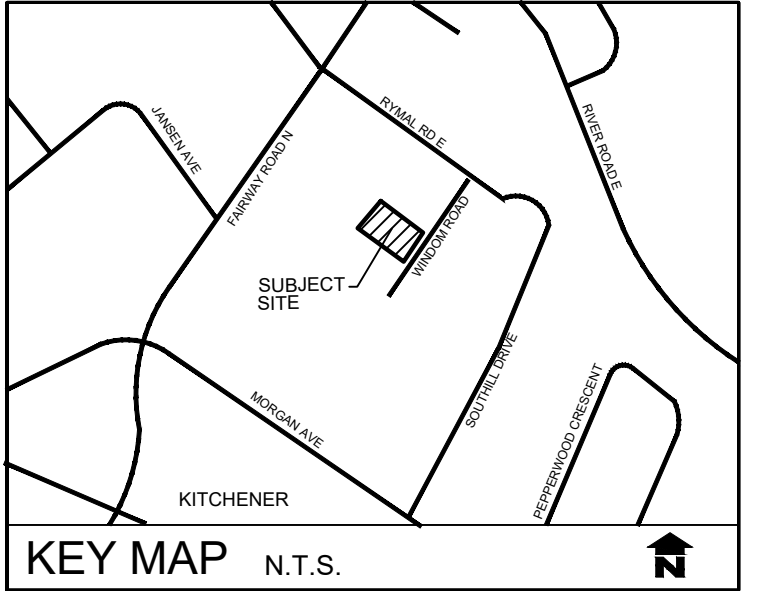
SPECIFICATIONS:
MODEL: CUSTOM PERGOLA
MATERIAL: ALUMINUM FRAME, CEDAR SLATS
METAL COLOUR: GUNMETAL
OPTIONS: SEE NOTES
INSTALLATION: SURFACE MOUNT AS PER
MANUFACTURER'S SPECIFICATIONS

AMENITY SPACE PERGOLA
HEIGHT: 2.4m
WIDTH: 3.6m
LENGTH: 3.3m



NOTES:
ENGINEERING OF STRUCTURE AND FOOTING DESIGN BY
OTHERS. SHOP DRAWINGS INCLUDING FOOTING DESIGN TO
BE PROVIDED.

16 SHADE STRUCTURE DETAIL
NTS



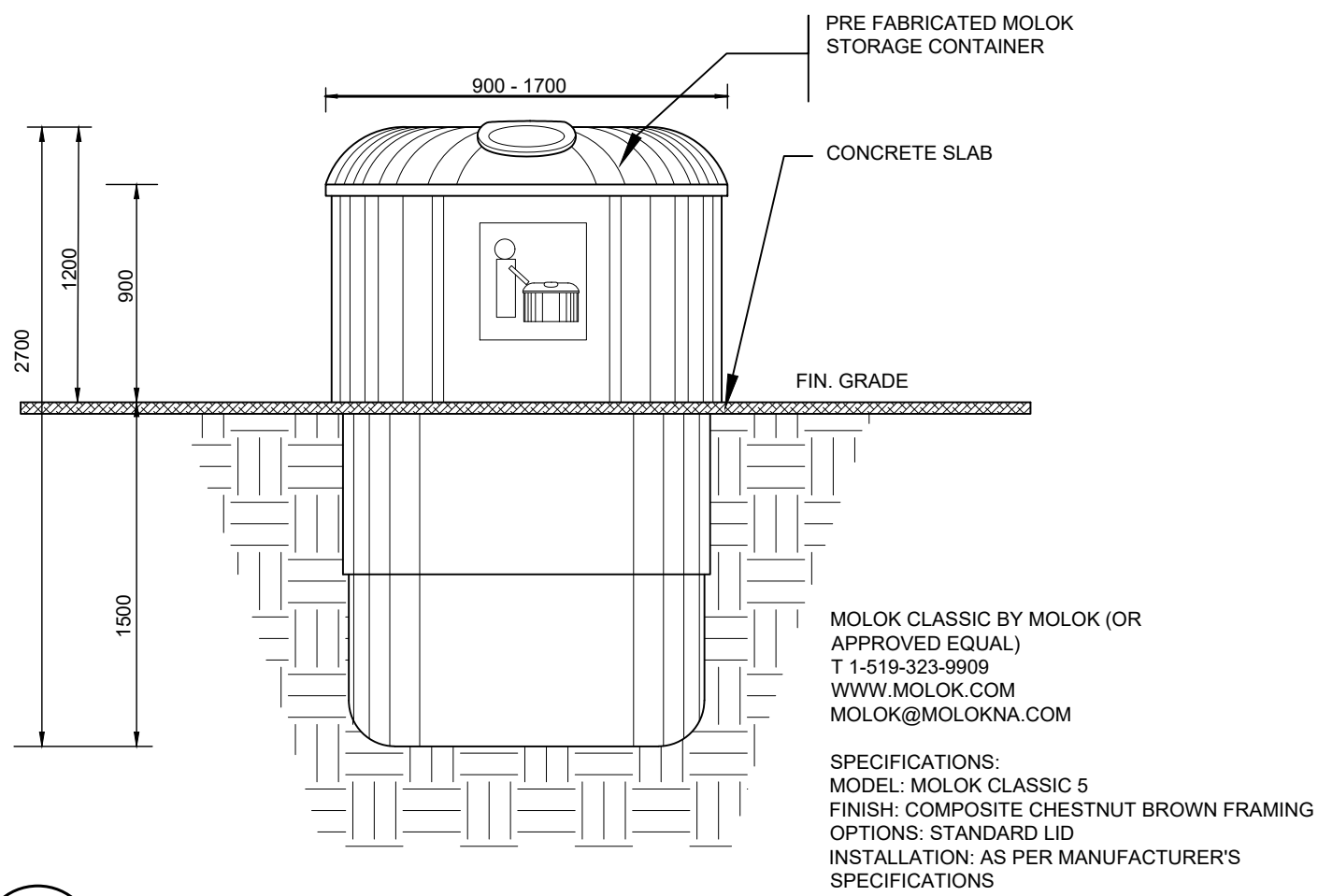
no.	date	description	by
1.	Jul 07 25	Issued for Approval	EH
2.	Oct 20 25	Issued as per Updated Site Plan	EH
3.	Oct 20 25	Issued as per Updated Mail Box Location	EH
4.	Dec 04 25	Issued as per Updated Transformer Location	EH
5.	Jan 07 26	Issued as per Comment	EH
6.	Feb 26 26	Issued as Updated Amenity Space	EH
7.	Mar 06 26	Issued as per Comment	EH

PROPOSED DEVELOPMENT
32-42 Windom Road
City of Kitchener

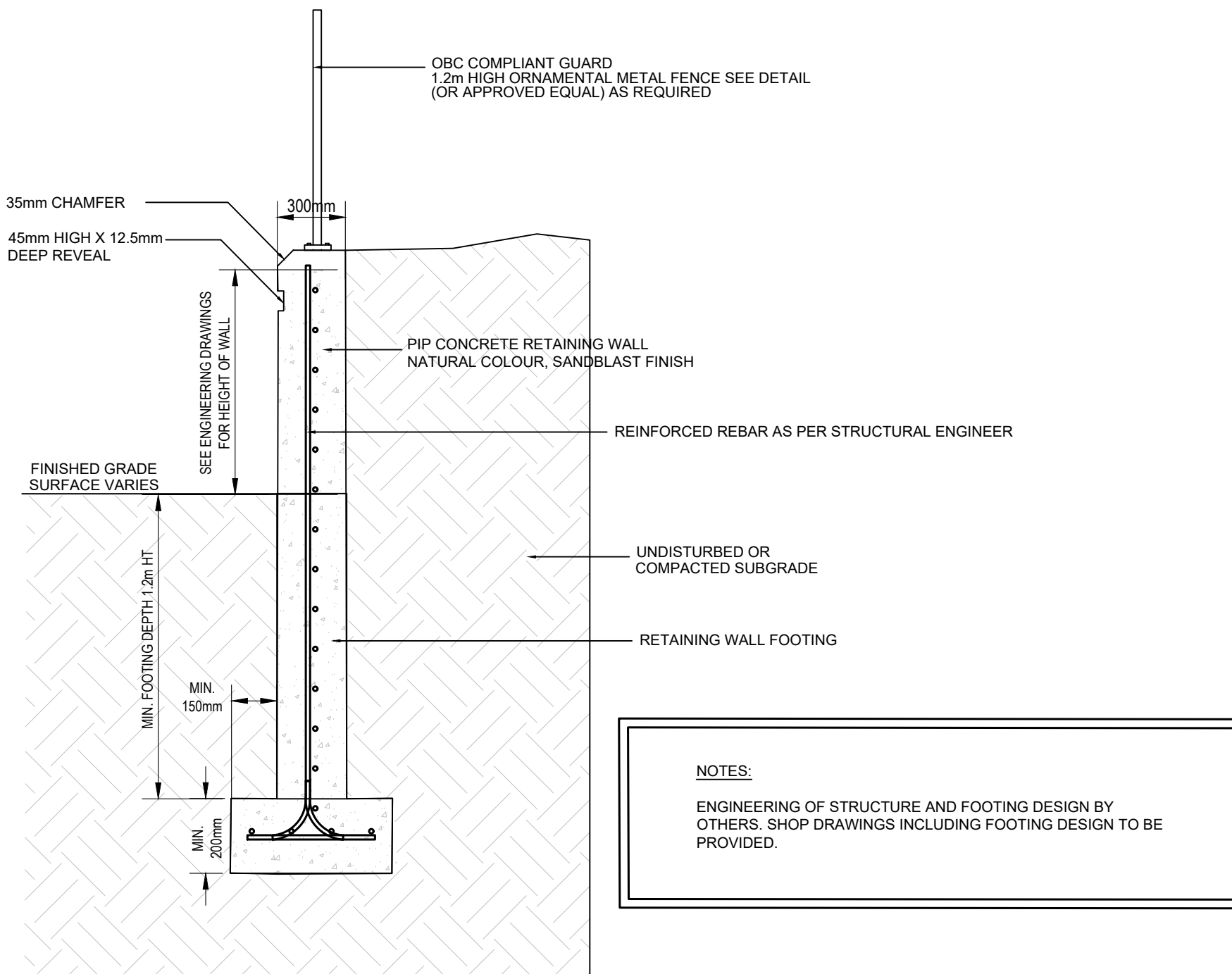
Landscape Details



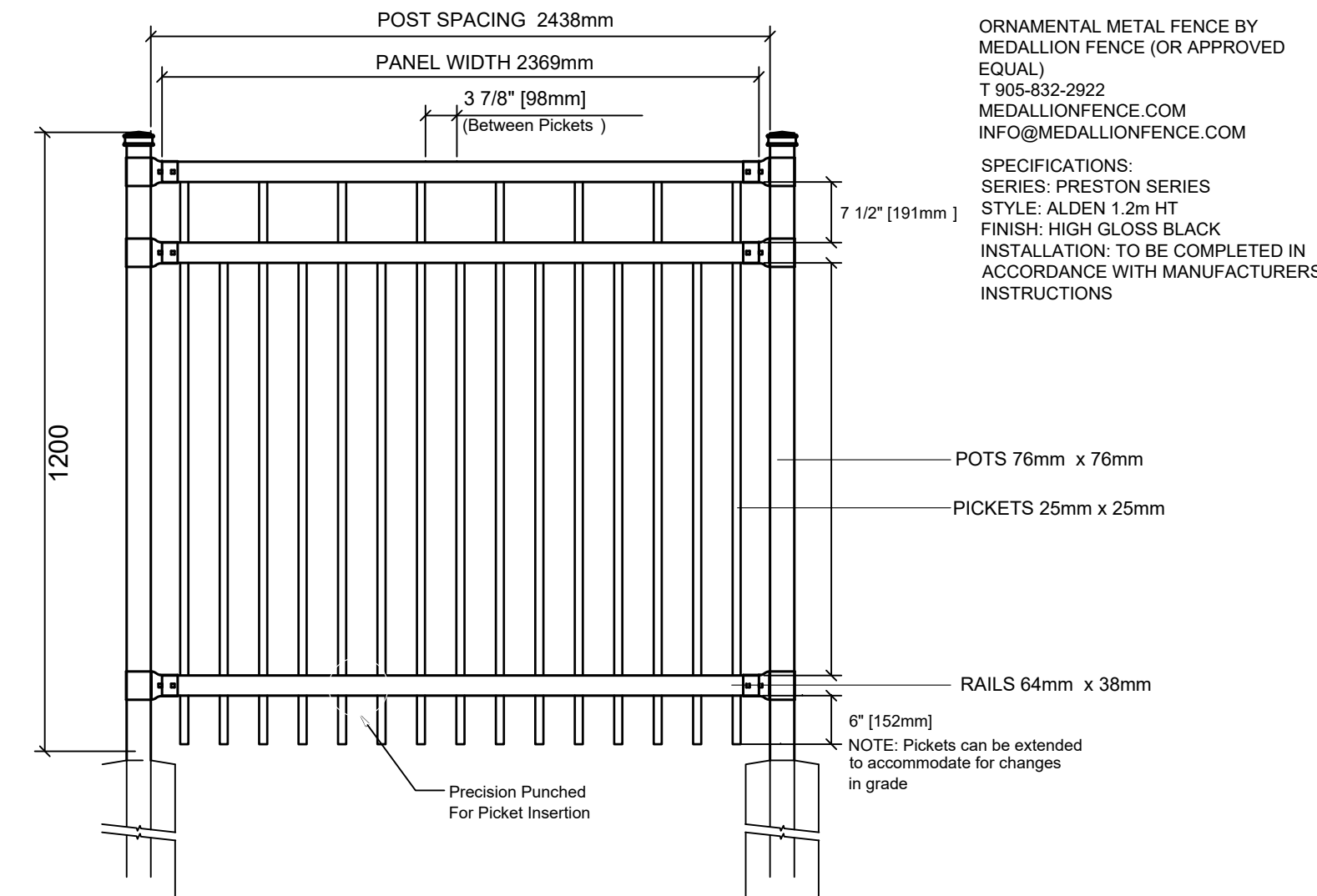
PROJECT NO. : 2025-52	DRAWN BY: EH
SCALE: AS NOTED	DESIGNED BY: EH
SHEET:	APPROVED BY: AWH
L3	PLOT DATE: Mar. 06, 2026



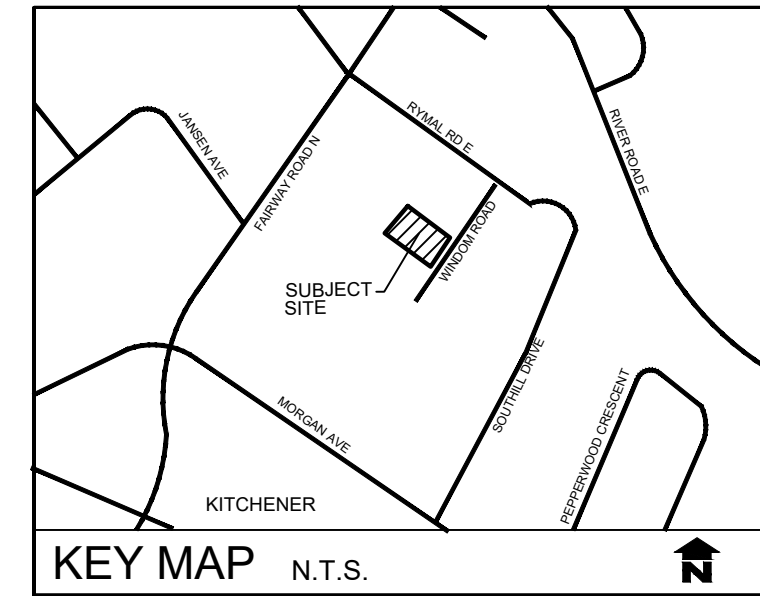
17 MOLOK DETAIL
NTS



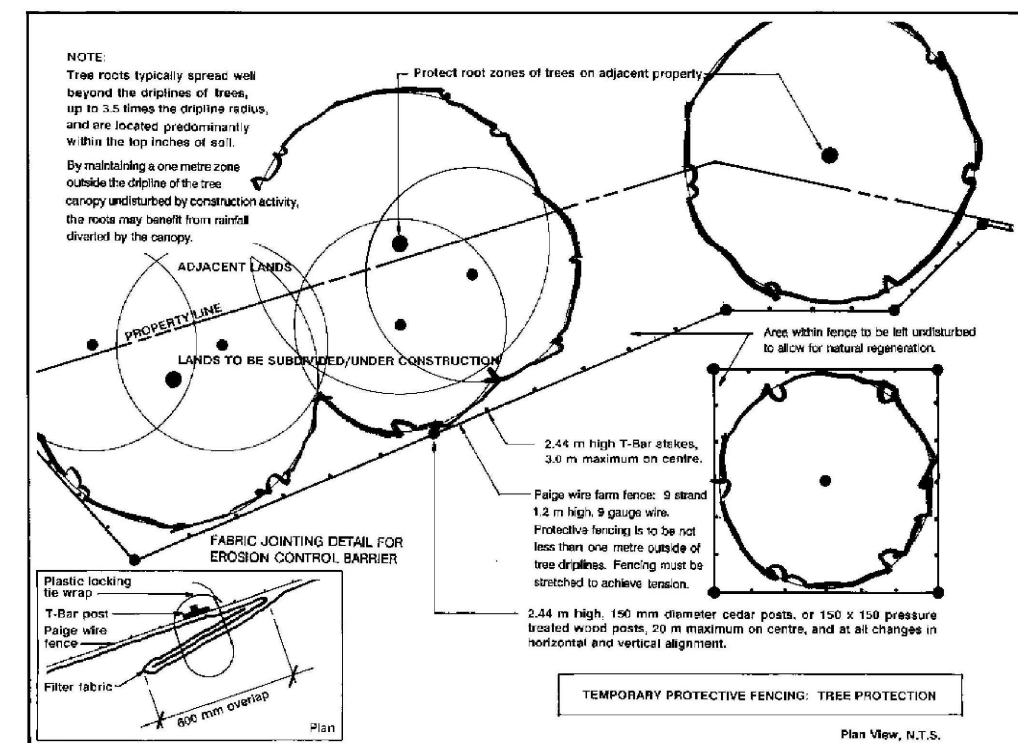
18 TYPICAL PIP CONCRETE RETAINING WALL DETAIL
NTS



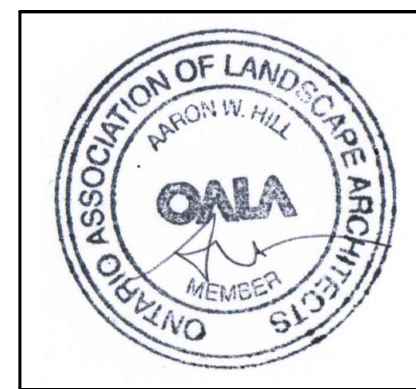
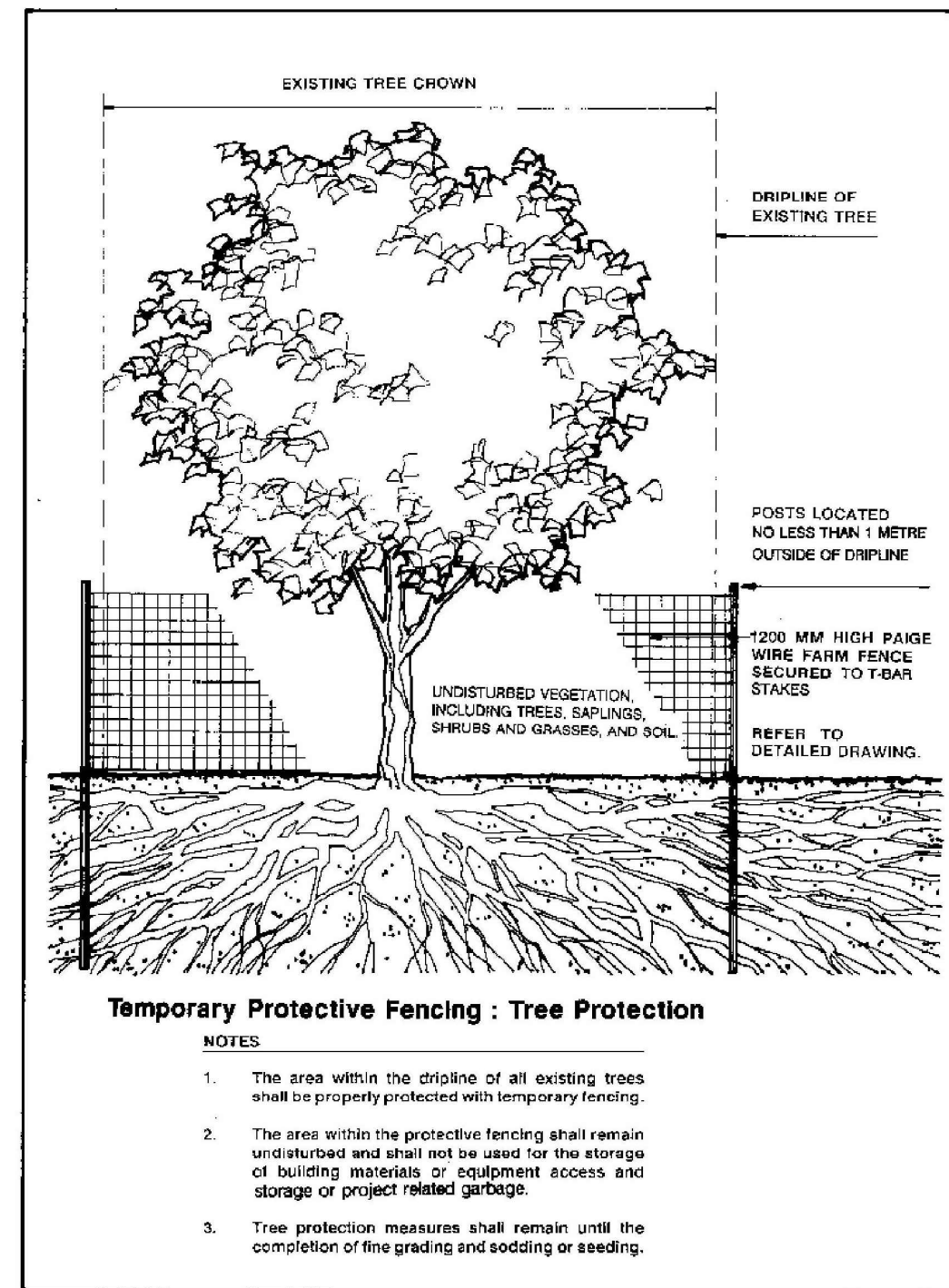
19 1.2m HT. ORNAMENTAL METAL FENCE
NTS



POLICY NUMBER: I-1160
SUBJECT: TREE MANAGEMENT POLICY – APPENDIX E



20 CITY OF KITCHENER STANDARD TREE PROTECTION DETAILS
NTS



REVISIONS			
no.	date	description	by
1.	Jul 07 25	Issued for Approval	EH
2.	Oct 20 25	Issued as per Updated Site Plan	EH
3.	Oct 20 25	Issued as per Updated Mail Box Location	EH
4.	Dec 04 25	Issued as per Updated Transformer Location	EH
5.	Jan 07 26	Issued as per Comment	EH
6.	Feb 26 26	Issued as Updated Amenity Space	EH
7.	Mar 06 26	Issued as per Comment	EH

PROPOSED DEVELOPMENT
32-42 Windom Road
City of Kitchener

Landscape Details



PROJECT NO. : 2025-52	DRAWN BY: EH
SCALE: AS NOTED	DESIGNED BY: EH
SHEET:	APPROVED BY: AWH
L4	PLOT DATE: Mar. 06, 2026