

DRAWING LIST

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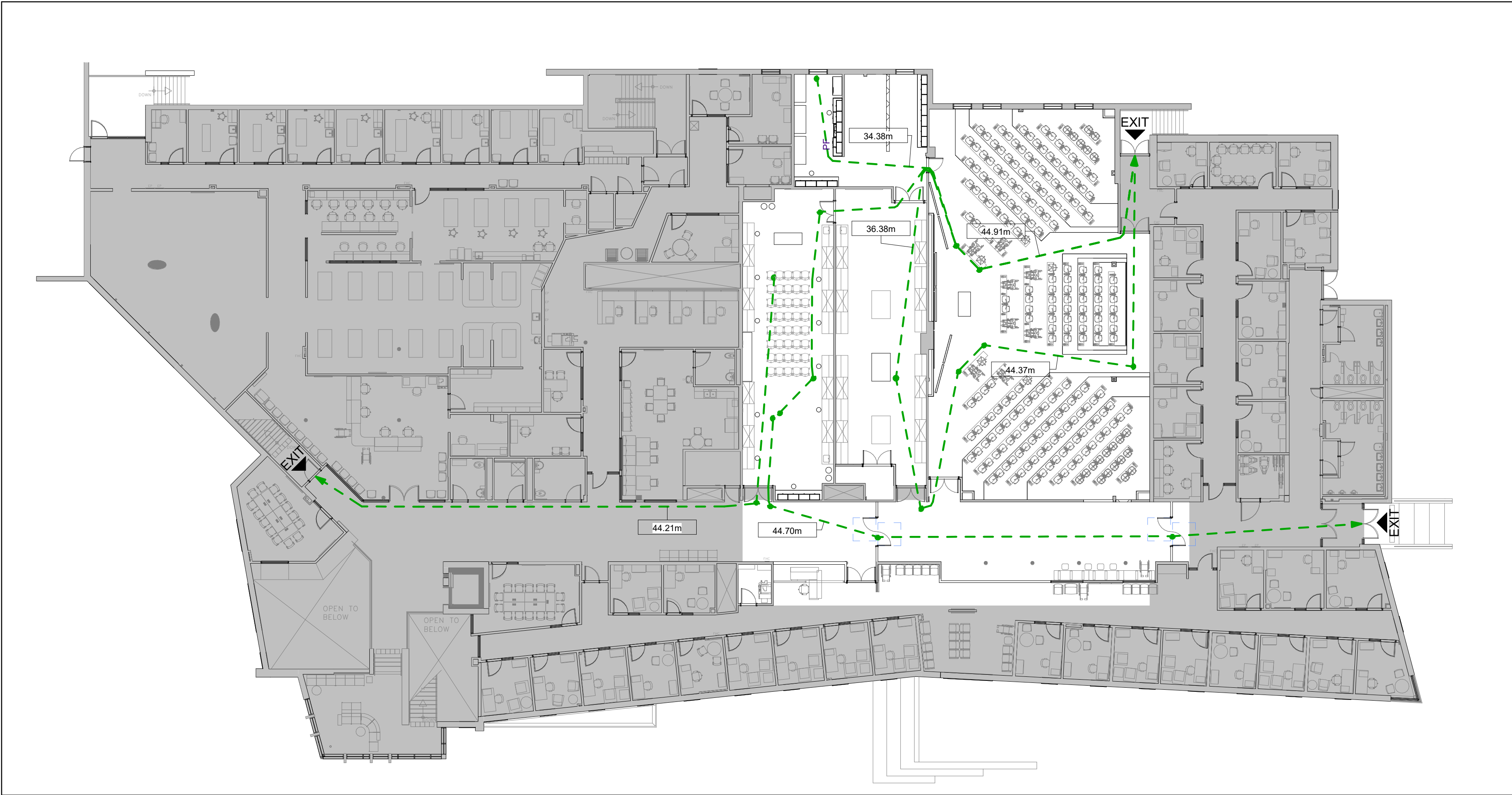
JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

U OF G PROJECT No. 504132

WalterFedy Project No.: 2025-0916-10

ISSUED FOR BID & PERMIT 02/26/2026



1 OVERALL KEY PLAN WITH TRAVEL DISTANCES - LEVEL 02
A1-001 Scale: 1 : 200

OBC DRAWING LEGEND:

● ———→ TRAVEL DISTANCE - 147'-8" (45m) MAX.

----- FIRE SEPARATION - 0 HR FIRE RATED RESISTANCE

----- FIRE SEPARATION - 3/4 HR FIRE RATED RESISTANCE

----- FIRE SEPARATION - 1 HR FIRE RATED RESISTANCE

----- FIRE SEPARATION - 1.5 HR FIRE RATED RESISTANCE

----- FIRE SEPARATION - 2 HR FIRE RATED RESISTANCE

▲ BUILDING EXIT

SEATING CAPACITY AS PER OBC 3.8.2.1:

250 SEATS
242 SWING CHAIRS
(ADAPTABLE SEATS INCLUDED)
8 MOVABLE CHAIRS FOR WHEELCHAIRS

ADAPTABLE:
60 AISLE SEATS x 5% = 3 (SO 5 SEATS)

WHEELCHAIRS:
250 x 5% = 7.5 (SO 8 SEATS)

LIMITING DISTANCE AS PER OBC 3.8.2.1:

EXPOSING BUILDING FACE CALCULATION

Exposing Building Face (EBF) = 495 m²
Unprotected Openings = 50 m²

Percentage of Unprotected Openings:
50 / 495 = 10.1%

Per OBC Table 3.2.3.1-D
(Sprinklered Building, Group A - EBF ≥ 150 m²)

Minimum Required Limiting Distance for 10.1% = 1.2 m

CONDITION 1 – ACTUAL PROVIDED

Limiting Distance to Adjacent Building Face = 4.5 m

Permitted Openings at 4.5 m (>3.0 m) ≥ 22% permitted
Provided = 10.1%

CONDITION 2 – 50% REDUCED DISTANCE


Reduced Limiting Distance = 4.5 m ÷ 2 = 2.25 m

Permitted Openings at 2.25 m
(between 2.0 m = 16% and 2.5 m = 20%)
Provided = 10.1%

BOTH CONDITIONS ARE COMPLIANT WITH PROPOSED GLAZING

2024 ONTARIO BUILDING CODE DATA MATRIX				Issued: 2025 01 01			
PART 11 - RENOVATION				OBC REFERENCE [1]			
Name of Practice		Walterfedy Group Inc.		Seal & Signature			
Address 1		675 Queen St. South, Kitchener, ON, N2M 1A1					
Address 2		Suite #111					
Contact							
Name of Project		University of Guelph Powell Classroom Renovation					
Location/Address		168 Reynolds's Walk, Guelph, Ontario N1G 4Z8		Seal & Signature			
Date		1/7/2026					
11.00 BUILDING CODE VERSION		O.Reg. 163/24		LAST CODE AMENDMENT O.Reg. 447/24			
11.01 PROJECT TYPE		Renovation		[A] 1.3.3.3.B			
11.02 MAJOR OCCUPANCY...		OCCUPANCY	USE		3.1.2.1.(1), 11.2.1, and 2.1.4.1.(1)		
		A2	Post-Secondary Education				
11.03 SUPERIMPOSED MAJOR OCCUPANCIES		N/A		11.2, 2.2.1, and 3.2.2.5. to 3.2.2.8.			
11.04 BUILDING AREA (m²)		DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2, 11.2, and 11.3	
		Level 01		1774.00			1,774.0
		Level 02		3059.00			3,059.0
							-
		TOTAL	4,833.0	-	4,833.0		
11.05 BUILDING HEIGHT		2	STOREYS ABOVE GRADE	7264	(m) ABOVE GRADE	[A] 1.4.1.2, 2.2.2.2, 3.2.1.1, and 11.3	
		1	STOREYS BELOW GRADE				
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS		1	STREETS(S)		3.2.2.10, 3.2.5, 2.2.4.1, and 11.3		
11.07 BUILDING SIZE		LARGE			11.2.1.1, and T.11.2.1.1.B-N		
11.08 EXISTING BUILDING CLASSIFICATION		CHANGE IN MAJOR OCCUPANCY	NO		10.1.1.2, and 11.2.1.1		
		CONSTRUCTION INDEX	6		T.11.2.1.1.A		
		HAZARD INDEX	6		T.11.2.1.1.B-N		
		IMPORTANCE CATEGORY	Normal		4.1.2.1.(3), 2.3.1, and 5.2.2.1.(2)		
11.09 RENOVATION TYPE		BASIC RENOVATION		11.3.3.1, and 11.3.3.2			
11.10 OCCUPANT LOAD		FLOOR LEVEL/AREA	OCCUPANCY TYPE BASED ON	OCCUPANT LOAD (PERSONS)	3.1.17, 2.1.2.2, and 11.4.2.2		
		NO CHANGE TO EXISTING					
		TOTAL				-	
		RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE				3.7.4, 11.3.4, 11.3.5, 11.4.2.4, and 11.4.2.5	
11.11 PLUMBING FIXTURE REQUIREMENTS a		FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED	WCs PROVIDED	
		NO CHANGE TO EXISTING					
11.11 PLUMBING FIXTURE REQUIREMENTS continued b		FLOOR LEVEL/AREA (repeated)	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED	Tables 3.8.2.3.A, and 3.8.2.3.B
		NO CHANGE TO EXISTING					
11.12 BARRIER-FREE DESIGN BARRIER-FREE ENTRANCES		Yes	NO CHANGE TO EXISTING ENTRANCES			11.3.1.2, 11.3.2, and 11.3.3.2	
		1					
11.13 REDUCTION IN PERFORMANCE LEVEL		STRUCTURAL	NO		11.4.2.1		
		INCREASE IN OCCUPANT LOAD	NO		11.4.2.2		
		CHANGE OF MAJOR OCCUPANCY	NO		11.4.2.3		
		PLUMBING	NO		11.4.2.4		
		SEWAGE SYSTEMS	NO		11.4.2.5		
		EXTENSION OF BUILDINGS OF COMBUSTIBLE...	NO		11.4.2.6		
11.14 COMPENSATING CONSTRUCTION		COMPENSATING CONSTRUCTION PROVIDED	N/A		11.4.3.1		
		STRUCTURAL	N/A		11.4.3.2		
		INCREASE IN OCCUPANT LOAD	N/A		11.4.3.3		
		CHANGE OF MAJOR OCCUPANCY	N/A		11.4.3.4		
		PLUMBING	N/A		11.4.3.5		
		SEWAGE SYSTEMS	N/A		11.4.3.6		
		EXTENSION OF BUILDINGS OF COMBUSTIBLE...	N/A		11.4.3.7		
11.15 COMPLIANCE ALTERNATIVES PROPOSED		N/A		11.5.1			
11.16 ALTERNATIVE SOLUTIONS					[A] 1.2.1.1, and [C] 2.1.1		
11.17 NOTES		WHEELCHAIR SPACES AND ADAPTABLE SEATING PROVIDED AS PER TABLE 3.2.8.1					

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KEYPLAN

No.	ISSUANCE	DATE
1	ISSUED FOR SD REPORT	2025-12-11
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3	OWNER REVIEW	2026-02-19
4	ISSUED FOR BID & PERMIT	2026-02-26

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UNIVERSITY OF GUELPH

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PROJECT

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TITLE


CODE PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

800.685.1378 walterfedy.com

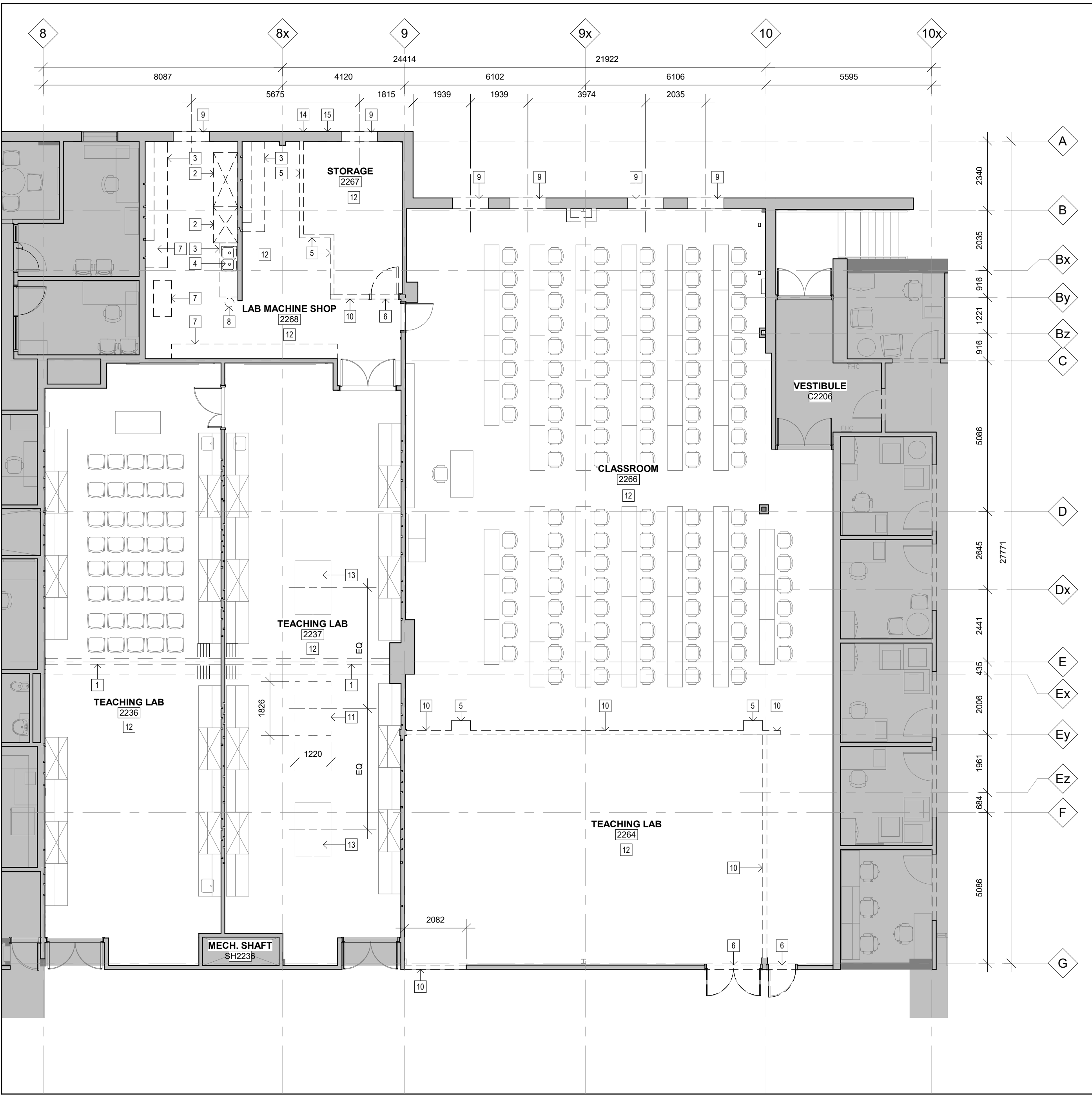
SEAL



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SCALE:	AS NOTED	SHEET NO:
DATE:	2025/12/11	A1-001
PROJECT NO:	2025-0916-10	
DRAWN BY:	JN	
CHECKED BY:	MW	



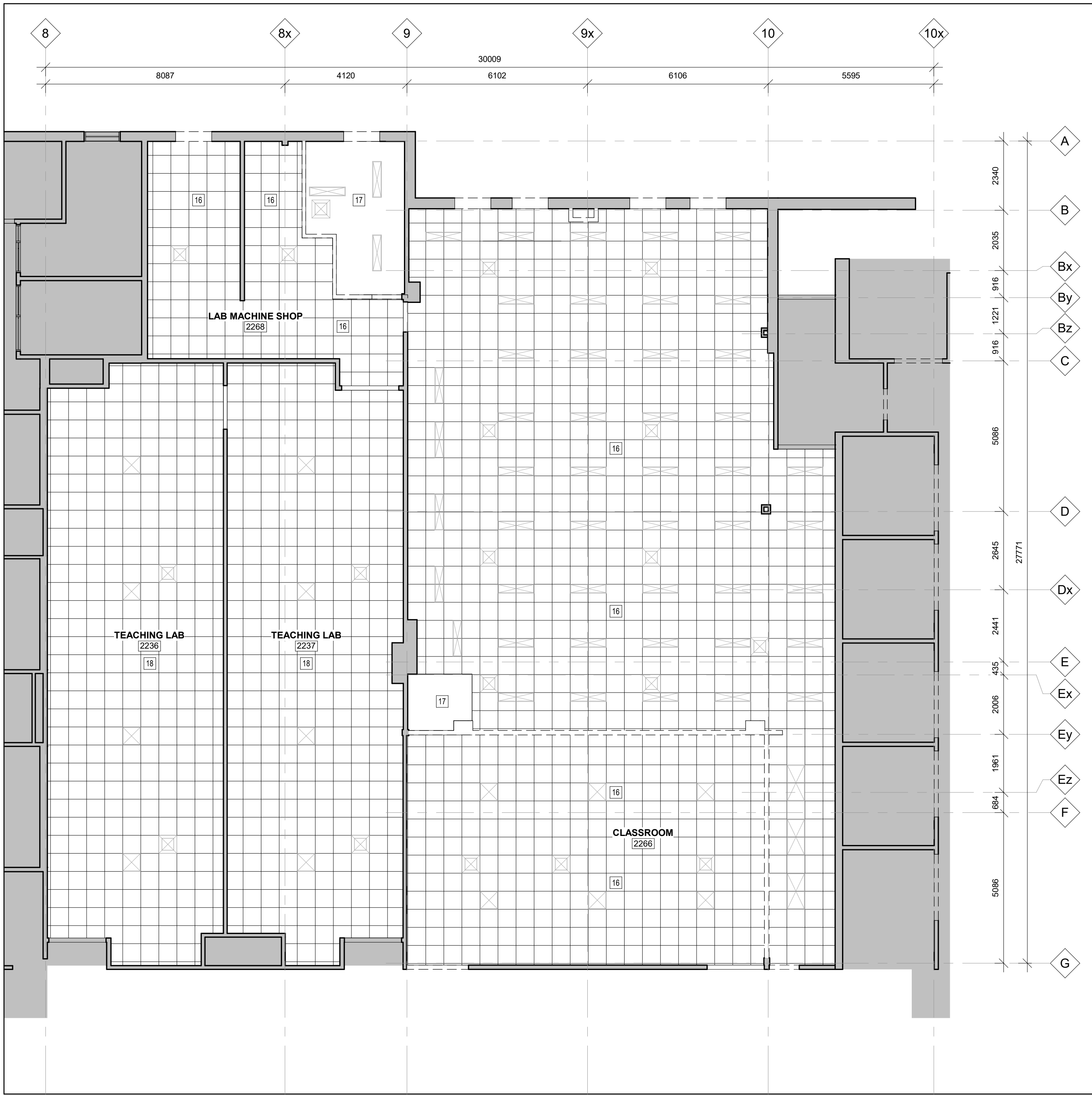
1 DEMOLITION FLOOR PLAN
A1-002 Scale: 1 : 100

DEMOLITION NOTES

- REMOVE EXISTING FOLDING PARTITION COMPLETE ALONG WITH ALL ASSOCIATED HARDWARE INCLUDING TRACK. PATCH AND MAKE GOOD AND PAINT BULKHEAD ABOVE TO REMAIN.
- REMOVE EXISTING FUME HOOD COMPLETE. CAP SERVICE/DUCTING TO SOURCE, REFER TO MECHANICAL.
- REMOVE AND DISPOSE OF EXISTING MILLWORK, CASEWORK AND SHELVEING. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN AND TO ACCEPT NEW WALL & FLOOR FINISH.
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE(S). DISCONNECT AND CAP SERVICES, REFER TO MECHANICAL.
- REMOVE AND DISPOSE OF EXISTING GYPSUM BOARD AND METAL STUD WALL ASSEMBLY C/W SUPPORTING STRUCTURE TO U/S OF EXISTING STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION/FINISH.
- REMOVE AND DISPOSE OF EXISTING DOOR C/W FRAME, SCREENS AND ALL HARDWARE INCLUDING THRESHOLDS. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN.
- REMOVE AND DISPOSE OF EXISTING WORK BENCH/FURNITURE. COORDINATE WITH OWNER FOR RELOCATION/DISPOSAL.
- REMOVE AND DISPOSE OF EXISTING EYEWASH SHOWER. DISCONNECT AND CAP SERVICES, REFER TO MECHANICAL.
- CAREFULLY SAW CUT AND REMOVE PORTION OF EXTERIOR WALL ASSEMBLY TO FACILITATE WINDOW INSTALLATION. ENSURE EXISTING BRICK TO REMAIN IS TEMPORARILY BRACED. CAREFULLY STORE EXISTING BRICK REMOVED TO INFILL AS REQUIRED AFTER MEMBRANE, FLASHING AND INSULATION WORK IS COMPLETED.
- REMOVE AND DISPOSE OF EXISTING BLOCK WALL ASSEMBLY C/W SUPPORTING STRUCTURE TO U/S OF EXISTING STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION/FINISH.
- CAREFULLY SAWCUT AND REMOVE PORTION OF EXISTING CONCRETE FLOOR.
- CAREFULLY REMOVE ANY EXISTING EQUIPMENT/FURNITURE IN ROOM PRIOR TO CONSTRUCTION. COORDINATE WITH OWNER ON TEMPORARY RELOCATION/STORAGE.
- REMOVE AND DISPOSE OF EXISTING FORCE PLATE PLYWOOD COVER. USE EXISTING COVER AS TEMPLATE TO FABRICATE PROPOSED PLYWOOD COVER WITH SHEET FLOORING FINISH TO MATCH EXISTING ADJACENT SIM. TO DETAIL 4/A6-001.
- REMOVE EXISTING DUCT OUTLET (REFER TO MECH.). INFILL PENETRATION THROUGH WALL ASSEMBLY WITH LOW EXPANSION FOAM TO ENSURE ANY BARRIER CONTINUITY. PROVIDE BRICK VENEER INFILL AT EXTERIOR TO MATCH EXISTING ADJACENT BRICK COLOUR, TEXTURE AND FINISH (TYP.).
- REMOVE EXISTING SURFACE MOUNTED FAN (REFER TO MECH.). INFILL INTERIOR OPENING WITH CONCRETE MASONRY UNITS TO MATCH EXISTING ADJACENT. PROVIDE PEEL AND STICK ANY BARRIER MEMBRANE AND TIE INTO EXISTING AV BARRIER TO ENSURE ANY BARRIER CONTINUITY. PROVIDE RIGID INSULATION TO MATCH EXISTING ADJACENT AFTER MEMBRANE INSTALLATION. LASTLY, PROVIDE BRICK VENEER INFILL AT EXTERIOR TO MATCH EXISTING ADJACENT BRICK COLOUR, TEXTURE AND FINISH (TYP.).
- REMOVE AND DISPOSE OF EXISTING ACOUSTICAL CEILING TILE C/W METAL GRID AND SUSPENSION SYSTEM AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADE FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
- REMOVE AND DISPOSE OF EXISTING GYPSUM WALL BOARD CEILING ASSEMBLY COMPLETE AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS FOR REMOVAL AND/OR TEMPORARY SUPPORT OF ANY SERVICES.
- EXISTING CEILING TO REMAIN - REMOVE AND REINSTALL CEILING TILES/GWB AS REQUIRED FOR MECHANICAL AND ELECTRICAL SCOPE OF WORK. PATCH AND MAKE GOOD EXISTING SURFACES TO REMAIN.

GENERAL DEMOLITION NOTES

- THE PURPOSE OF THESE DRAWINGS IS TO SHOW GENERAL SCOPE OF DEMOLITION ONLY. THESE DRAWINGS HAVE BEEN DEVELOPED FROM REFERENCE FILES WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. CONTRACTOR TO VERIFY THESE DRAWINGS, INCLUDING ALL DIMENSIONS, AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BEFORE PROCEEDING WITH DEMOLITION & CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND CONFIRM THE COMPLETE SCOPE OF WORK DURING THE TENDER PERIOD BY ATTENDING SITE VISITS AND ALLOW FOR A REASONABLE QUANTITY OF UNFORESEEN HIDDEN DEMOLITION AND REMOVAL NOT SHOWN ON THESE DRAWINGS.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES. REFER TO SPECIFICATIONS FOR INTERIM LIFE SAFETY MEASURES.
- THE CONTRACTOR SHALL EXECUTE ALL DEMOLITION WORK AS REQUIRED TO FACILITATE THE NEW WORK AND COORDINATE ACTIVITIES ACCORDINGLY WITH THE WORK OF THE TRADES.
- EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES. REPLACE OR REPAIR ANY FINISHES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION (I.E. - CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.). CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR, AND MAKE GOOD ALL DAMAGE TO ADJACENT FINISHED SURFACES AND ASSEMBLIES.
- REFER TO MECHANICAL AND ELECTRICAL SPECIFICATION, DRAWINGS OR DEMOLITION NOTES FOR DETAILS OF SCOPE OF MECHANICAL AND ELECTRICAL DEMOLITION.
- REPAIR ANY DAMAGED FIRE-RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION. UNLESS OTHERWISE NOTED, VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF RENOVATION (SMOKE COMPARTMENT) MEETS THE FIRE PROTECTION RATINGS DESIGNATED ON THE LIFE SAFETY PLANS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING WALLS, DOORS, DUCTS, ETC. UP TO THE PROPER FIRE PROTECTION RATING. DOORS AND/OR FRAMES SHALL HAVE THE PROPER LABELING. WHERE REMOVAL OF PIPES, CONDUITS AND ELECTRICAL SERVICES WITHIN EXISTING FIRE RATED ASSEMBLIES ARE IDENTIFIED ON MECHANICAL AND ELECTRICAL DRAWINGS, CONTRACTOR SHALL REPAIR AND MAKE GOOD TO MAINTAIN THE FIRE RESISTANCE RATING OF THE ASSEMBLY.
- REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIOR FINISH PLANS.
- WHERE NEW FINISHES ARE TO BE INSTALLED ON SURFACES TO REMAIN, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE NEW FINISH.
- COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE TEMPORARY REMOVAL OF ALL EQUIPMENT, FIXTURES, ACCESSORIES, ETC. PRIOR TO START OF ANY DEMOLITION WORK. COORDINATE WITH MECHANICAL & ELECTRICAL DWG'S. HANDLE ALL COMPONENTS OF EQUIPMENT CAREFULLY. CLEAN & STORE FOR RE-INSTALLATION UPON COMPLETION OF WORK AS REQUIRED (COORDINATE WITH OWNER).
- SEE MECHANICAL, PLUMBING, AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES. FOR EXTENT AND LOCATION OF CHANNELING OF FLOOR SLABS. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. IF PIPING OR CONDUIT WORK (OTHER THAN THE DESIRED CONNECTION) IS ENCOUNTERED WHILE CHANNELING, NOTIFY THE ARCHITECT BEFORE CONTINUING.
- CONTRACTOR TO ENSURE ALL EXIT SIGNAGE TO REMAIN AS INSTALLED AND ENSURE FIXTURES ARE OPERATIONAL. CONTRACTOR TO PROVIDE RE-SUPPORT AS REQUIRED. CONTRACTOR TO VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION, AND ENSURE ALL EMERGENCY LIGHT FIXTURES TO REMAIN CONNECTED ALONG EGRESS ROUTES.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF THE REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED. BRACE ALL STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION. DO NOT CUT ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.
- WHEREVER POSSIBLE, RETAIN REMOVED MASONRY, TO BE USED TO FILL WALL OPENINGS OF SIMILAR CONSTRUCTION.
- WHERE CORE DRILLING ACTIVITIES ARE REQUIRED TO ACCOMMODATE SEEING OF NEW SERVICE PENETRATIONS THROUGH THE CONCRETE FLOOR LAB, THESE AREAS SHALL BE MARKED OUT ON SITE WITH LOCATIONS DIMENSIONED AND SUBMITTED TO THE CONSULTANT FOR REVIEW/APPROVAL PRIOR TO COMMENCEMENT. STRUCTURAL OPENINGS IN CONCRETE DEMISING WALLS AND FLOOR SLAB SHALL BE MADE BY AN EXPERIENCED AND PROFESSIONAL CORE DRILLING AND CUTTING SUB-CONTRACTOR. THE CONTRACTOR SHALL INFILL OPENINGS IN SLABS WHERE CONDUITS HAVE BEEN REMOVED OR RELOCATED.
- WHERE WALL, GYPSUM BOARD CEILINGS, TERRAZZO COVED BASES & CURBS OR FLOOR SURFACES ARE TO BE FILLED, PATCHED AND REPAIRED THE CONTRACTOR SHALL ENSURE THAT THE STRUCTURAL INTEGRITY OF THE BUILDING IS MAINTAINED.
- NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF MEP SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION.
- ALL DEMOLITION DEBRIS TO BE DISPOSED OF BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED SHALL DISPOSE OF DEMOLISHED MATERIALS AND DEBRIS IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AT THE END OF EACH WORK DAY EXCEPT OTHERWISE INDICATED TO BE SALVAGED OR RE-USED.
- PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, CONTRACTOR SHALL ARRANGE WITH THE APPROPRIATE TRADE FOR THE DISCONNECTION OF UTILITY SERVICES AFFECTING THE WORK. PRESERVE IN OPERATING CONDITION ALL ACTIVE UTILITIES TO REMAIN FUNCTIONAL DURING THE COURSE OF THE WORK. DISCONNECT AND TEMPORARILY RELOCATE EXISTING SERVICES WHERE AFFECTED BY THE SCOPE OF DEMOLITION WORK, AND WHERE NECESSARY, RECONNECT AS REQUIRED TO MAINTAIN NORMAL OPERATIONS OF THE BUILDING. THIS WORK SHALL INCLUDE, WITHOUT BEING LIMITED TO PLUMBING, DRAINAGE, HEATING, VENTILATION AND ELECTRICAL SERVICES.
- CONTRACTOR TO PROTECT AND SUPPORT ALL EXISTING HEAT AND SMOKE DETECTORS AS APPLICABLE DURING DEMOLITION. COORDINATE ANY NECESSARY REMOVALS WITH THE PROJECT MANAGER AND FIRE ALARM CONTRACTOR.
- CONTRACTOR TO REPAIR ANY EXISTING WALL, FLOOR, CEILING ASSEMBLY AFFECTED BY THE REMOVAL OF WALLS, DOORS, WINDOWS, MILLWORK, ETC. CONTRACTOR TO PATCH AND REPAIR EXISTING WALLS, FRAMES, DOOR SURFACES, CEILING BULKHEADS AS REQUIRED TO RECEIVE NEW PAINT FINISH.
- THE CONTRACTOR IS RESPONSIBLE AND SHALL MAKE ALL REASONABLE EFFORTS AND PROVIDE ADEQUATE MEASURES TO MITIGATE AND LIMIT THE TRANSMISSION OF NOISE, VIBRATION AND DUST MIGRATION INTO ADJOINING AND/OR NEIGHBORING OCCUPIED ROOM AREAS THROUGHOUT THE COURSE OF CONSTRUCTION.
- DASHED LINES INDICATE WORK THAT SHALL BE REMOVED UNLESS INDICATED OTHERWISE. ANY EXISTING WORK THAT IS INTENDED TO REMAIN UNDISTURBED AND IS DAMAGED RESULTING FROM THE COURSE OF THE WORK DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION THAT MATCHES EXISTING AND AT A LEVEL ACCEPTABLE TO THE STANDARD OF THE OWNER. ALL REPAIR WORK SHALL HAVE A NEAT AND CLEAN APPEARANCE AND BE COMPATIBLE WITH EXISTING FINISHES TO MATCH. INDIVIDUAL ITEMS IDENTIFIED AS PART OF A GENERAL INSTALLATION, SUCH AS "ALL EXISTING", ARE TO BE UNDERSTOOD TO ILLUSTRATE THE GENERAL INSTRUCTION AND NOT LIMITED TO JUST THOSE ITEMS IDENTIFIED ON DRAWING.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE AREA OF WORK UPON COMPLETION OF CONSTRUCTION ACTIVITY ON EACH WORK DAY TO ALLOW FOR THE OWNER TO RESUME OPERATIONS UNIMPEDED AS USUAL.



2 DEMOLITION REFLECTED CEILING PLAN
A1-002 Scale: 1 : 100

CLIENT LOGO



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KEYPLAN

No.	ISSUANCE	DATE
1	ISSUED FOR SD REPORT	2025-12-11
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168 Reynolds Walk, Guelph, ON, N1G 4Z8

PROJECT

JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

TITLE

DEMOLITION PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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SEAL

ONTARIO ASSOCIATION
OF
ARCHITECTS

MICHAEL D. B. WINTERS
LICENCE
8180
2025-12-11
2026-02-26

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SCALE: AS NOTED
DATE: 2025/12/11
PROJECT NO.: 2025-0916-10
DRAWN BY: JN
CHECKED BY: MW

SHEET NO.:

A1-002

GENERAL FINISH NOTES

- ALL INTERIOR FINISHES SHALL MEET ONTARIO BUILDING CODE. THE MAXIMUM FLAME SPREAD RATING AND THE SMOKE DEVELOPMENT OF INTERIOR WALLS AND CEILING FINISHES, SHALL NOT EXCEED THAT SET FORTH IN SECTION 3.1.13 AND 3.1.16 OF THE OBC.
- REFER TO SPECIFICATIONS. ALL INTERIOR FINISH NOTES, ELEVATIONS AND DETAILS FOR COMPLETE INTERIOR INFORMATION. REFER TO SPECIFICATIONS FOR ALL SUBMITTAL GUIDELINES AND REQUIREMENTS.
- ALL FINISHES ARE TO BE APPLIED IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS. REFERENCE MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS.
- CONTACT CONSULTANT FOR CLARIFICATION IN THE EVENT OF CONTRADICTION INFORMATION BETWEEN DRAWINGS. LEGEND AND/OR SPECIFICATIONS. IF COLOUR OR FINISH IS NOT SPECIFIED, CONTACT CONSULTANT FOR CLARIFICATION.
- PROVIDE A SUBMITTAL SCHEDULE ALLOWING FOR LONG LEAD TIME ITEMS TO PREVENT SUBSTITUTIONS. CONTRACTOR IS TO NOTIFY THE CONSULTANT OF ANY LONG LEAD ITEMS GREATER THAN SIX WEEKS.
- ALIGN TRANSITION OF FLOOR MATERIAL WITH CENTER OF HINGE IN DOOR WAY FOR SWING DOORS AND INSIDE FACE OF WALL FOR SLIDING DOORS.
- WELD ALL JOINTS BETWEEN RESILIENT FLOORING SECTIONS. IF COLOUR OR FINISH IS NOT SPECIFIED CONTACT CONSULTANT FOR CLARIFICATION.
- FEATHER FLOOR AT ALL CHANGE IN MATERIAL TO ENSURE A LEVEL TRANSITION. PROVIDE TRANSITION STRIPS AT ALL JUNCTIONS OF NEW AND EXISTING FLOORING.
- PAINT GRILLS, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR. ALL EXISTING DOORS AND FRAMES TO BE RE-PAINTED TO MATCH ADJACENT WALL.
- SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- PROVIDE MINIMUM 300mm CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR. PROVIDE MINIMUM 600mm CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- REFER TO FINISHES PLANS FOR WALL PROTECTION LOCATIONS.

FINISH NOTES

- FN1. DOOR AND FRAME TO BE PAINTED TO MATCH EXISTING BOTH SIDES.
- FN2. EXISTING CARPET TILE TO REMAIN. REPLACE ANY DAMAGED CARPET TILE WITH CP1.
- FN3. PROVIDE CERAMIC TILE, CERAMIC WALL BASE AND GROUT TO MATCH EXISTING.
- FN4. ACOUSTIC WALL PANEL TO EXTEND FULL HEIGHT FROM FINISHED FLOOR TO U/S OF CEILING.

FINISH LEGEND

ARCHITECTURAL WOODWORK

- PL1 PLASTIC LAMINATE
PL2 PHENOLIC COUNTERTOP

RESILIENT FLOORING

- RF1 RUBBER FLOORING
RB1 RUBBER WALL BASE
EXRF RESILIENT FLOORING TO MATCH EXISTING
EXWB WALL BASE TO MATCH EXISTING

CARPET

- CP1 CARPET POWERBOND
CP2 CARPET POWERBOND

ACOUSTIC TREATMENT

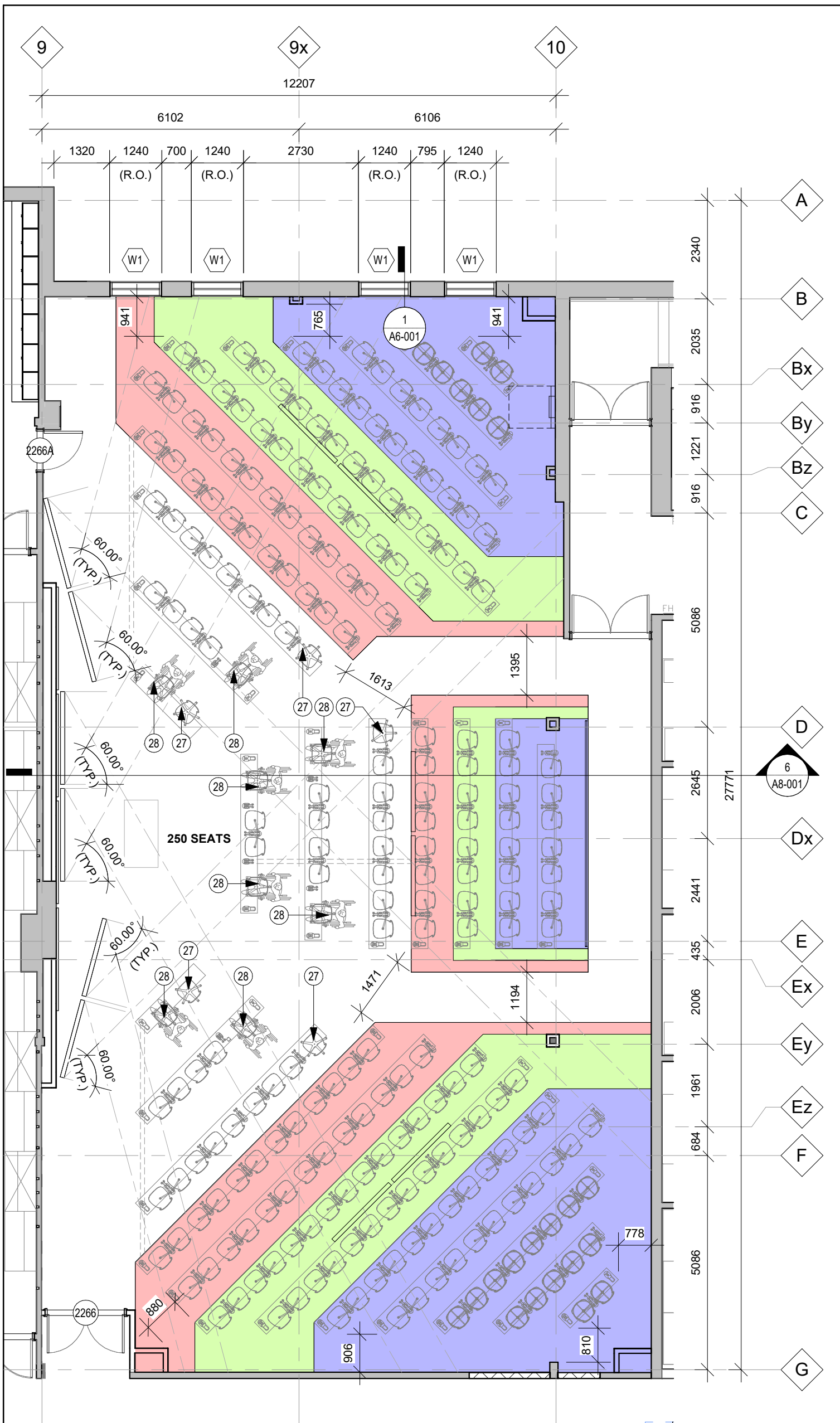
- WC1 ACOUSTIC WALL PANEL

PAINT

- PT1 MAIN WALL PANEL
PT2 GYP. BD. CEILING/BULKHEAD PAINT
PT3 ACCENT WALLS, DOORS AND FRAMES
EXT2 PAINT TO MATCH EXISTING

GENERAL NOTES

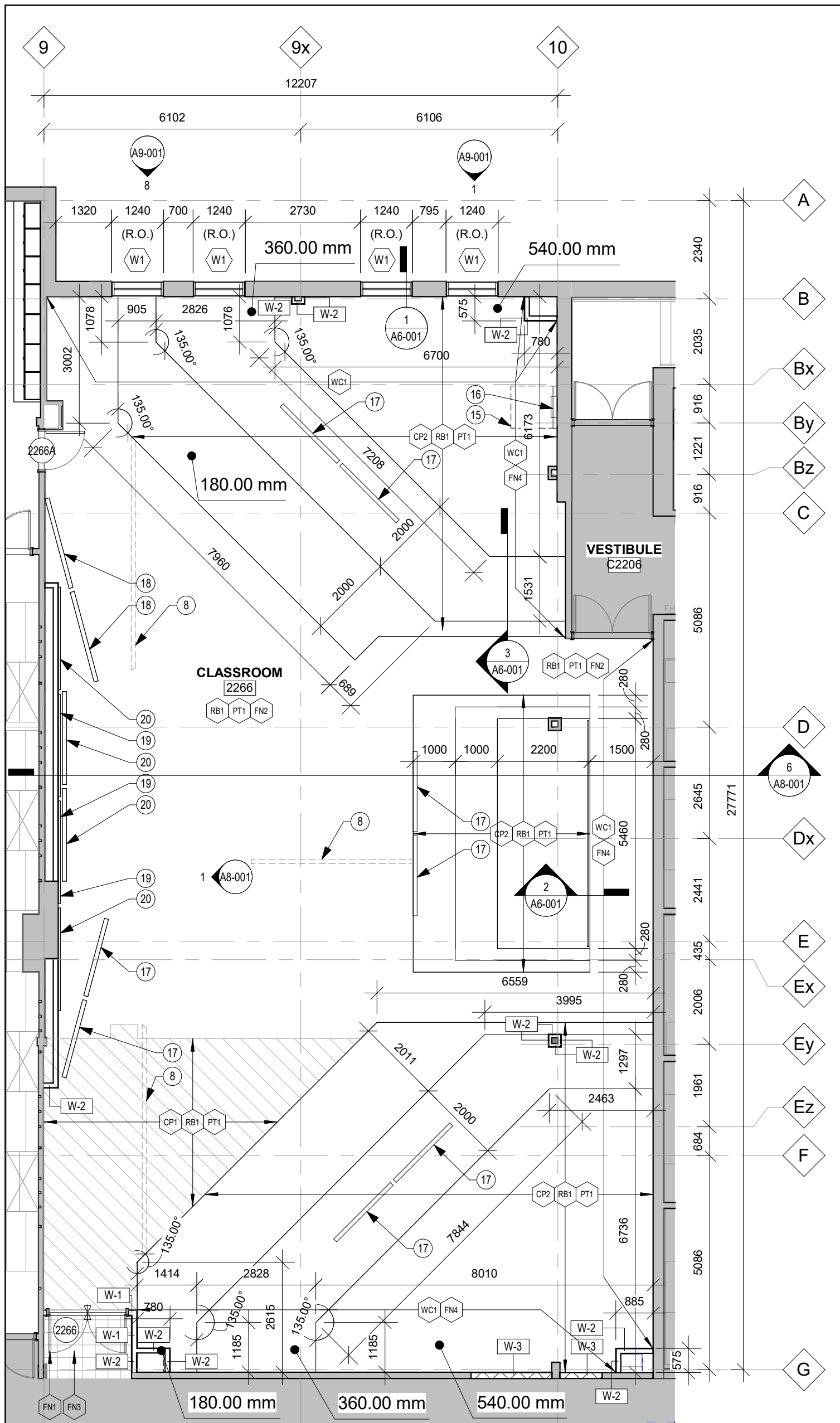
- A. ALL WALLS TO EXTEND TO U/S STRUCTURAL DECK UNLESS OTHERWISE NOTED
- B. FIRESTOP AND SEAL ALL PENETRATIONS THROUGH RATED ASSEMBLIES EQUAL TO ASSEMBLY RATING
- C. ASSEMBLY CONSTRUCTION READ FROM TAG SIDE OF ASSEMBLY
- D. CEILING MOUNTS FOR MONITORS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR



4 ENLARGED FURNITURE PLAN - CLASSROOM LEVEL 02
A2-001 Scale: 1 : 100

DRAWING NOTES

- EXISTING FORCE PLATE. REPLACE COVER TO MATCH PROPOSED.
- FORCE PLATE c/w STAINLESS STEEL CHECKER PLATE COVER
- GAS CYLINDER STORAGE c/w WALL BRACKET
- STORAGE CABINETS
- WORK BENCH
- 1830x760 U-LINE STAINLESS STEEL TABLE
- STAINLESS STEEL SINK w/ FOLD DOWN EYEWASH, REFER TO MECH.
- ELECTRICAL RACEWAY UNDER CARPET SHOWN DASHED
- EXISTING ELECTRICAL PANEL TO REMAIN
- MOTORIZED BLACK OUT BLINDS
- INFILL MILLWORK TO MATCH EXISTING ADJACENT TO REMAIN. REFER TO MILLWORK SECTIONS ON A6-001 FOR SIM. CONSTRUCTION.
- FLAMMABLE STORAGE CABINET VENTED TO EXTERIOR
- WORK STOOL (12 - TO MATCH EXISTING)
- CLASSROOM CHAIR (TYP.) (25 STACKABLE - TO MATCH EXISTING)
- HIDDEN LINE INDICATES REQUIRED CLEARANCE AROUND PANEL (TYP.)
- RAISE EXISTING ELECTRICAL PANEL TO REMAIN. REFER TO ELEC.
- CEILING HUNG MONITOR BY OWNER (1900W x 1100H)
- CEILING HUNG MONITOR BY OWNER (2200W x 1260H)
- WALL MOUNTED CHALKBOARD (2440W x 1220H)
- WALL MOUNTED WHITEBOARD (2440W x 1220H)
- MANUALLY OPERATED BLACKOUT BLINDS
- WALL HUNG MONITOR BY OWNER (2200W x 1260H)
- DOOR AND FRAME TO BE PAINTED TO MATCH EXISTING BOTH SIDES.
- EXISTING CARPET TILE TO REMAIN. REPLACE ANY DAMAGED CARPET TILE WITH CP1.
- PROVIDE CERAMIC TILE, CERAMIC WALL BASE AND GROUT TO MATCH EXISTING.
- ACOUSTIC WALL PANEL TO EXTEND FULL HEIGHT FROM FINISHED FLOOR TO U/S OF CEILING.
- ADAPTABLE SEAT
- WHEELCHAIR SPACE w/ BARIATRIC SEAT



1 ENLARGED FLOOR PLAN - CLASSROOM LEVEL 02
A2-001 Scale: 1 : 100

WALL ASSEMBLIES:

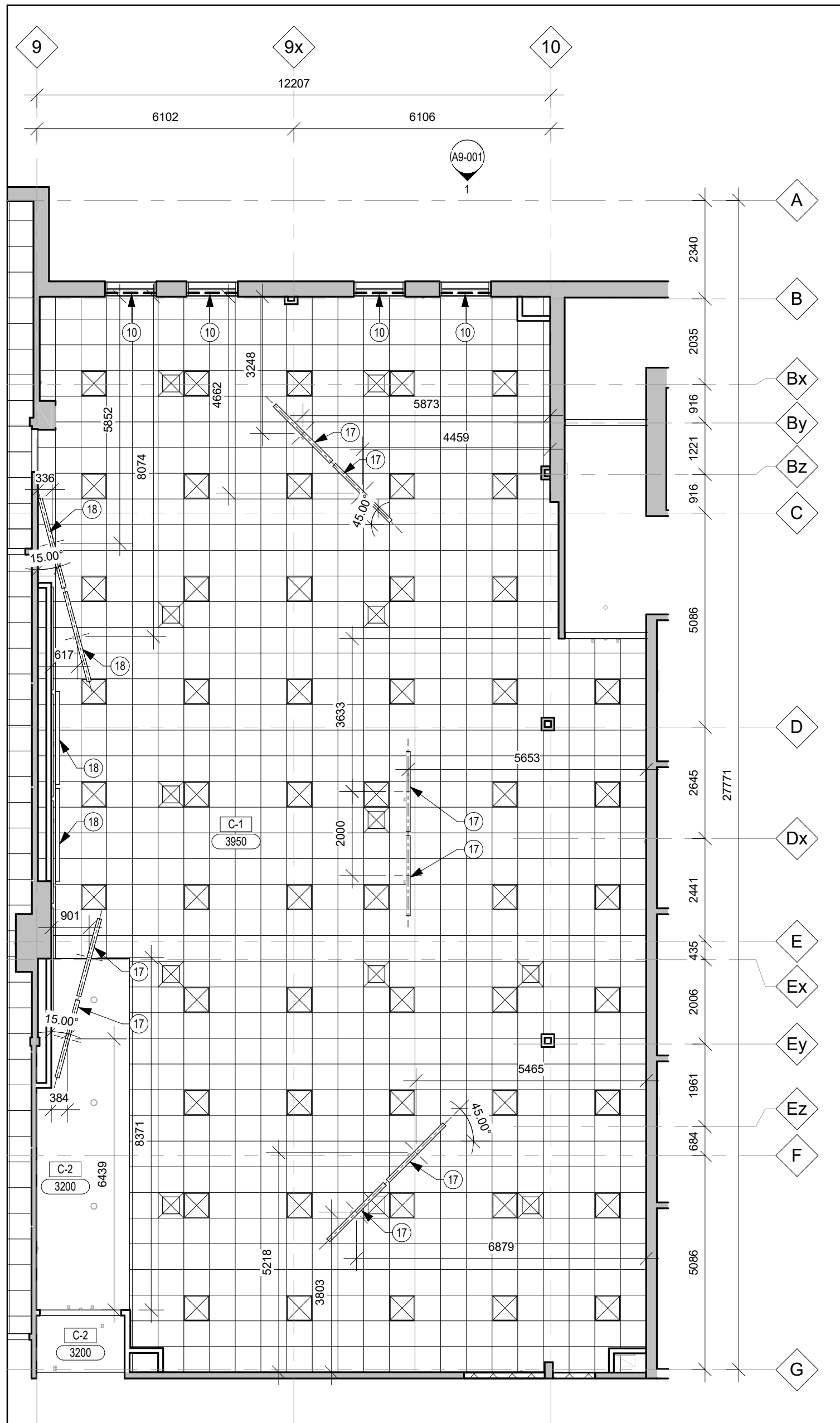
- W-X EXISTING WALL TO REMAIN.
- W-1 16 GWB SHEATHING
102 METAL STUDS @ 400 O.C.
16 GWB SHEATHING
- W-2 102 GALV. METAL STUDS @ 400 O.C.
16 GWB SHEATHING
- W-3 CONCRETE MASONRY UNITS,
INFILL TO MATCH EXISTING ADJACENT
- W-4 190 CONCRETE MASONRY UNITS

CEILING ASSEMBLIES

- C-X EXISTING ACOUSTIC CEILING TILE TO REMAIN
- C-1 610x610 ACOUSTIC CEILING TILE
PREFINISHED METAL T-BAR SUSPENSION SYSTEM
- C-2 BULKHEAD
16 GYPSUM WALL BOARD SHEATHING
64 CARRYING CHANNELS @ 400 o.c.
SUSPENSION SYSTEM
- C-3 16 GYPSUM WALL BOARD SHEATHING
22 FURRING CHANNELS @ 600 o.c.
64 CARRYING CHANNELS @ 400 o.c.
192 COLD FORMED METAL FLOOR JOIST FRAMING
13 PLYWOOD SHEATHING

SEATING TIER LEGEND

- TIER 1 (180mm ABOVE FINISHED FLOOR)
- TIER 2 (360mm ABOVE FINISHED FLOOR)
- TIER 3 (540mm ABOVE FINISHED FLOOR)



2 REFLECTED CEILING PLAN - CLASSROOM LEVEL 02
A2-001 Scale: 1 : 100

DRAWING LEGEND

- HATCH DENOTES AREA NOT IN ARCHITECTURAL SCOPE OF WORK - TYP.
- HATCH DENOTES AREA OF DEMOLITION.
- EXISTING WALL(S) TO REMAIN.
- EXISTING WALL(S) TO BE DEMOLISHED.
- NEW WALL - REFER TO WALL ASSEMBLY LEGEND FOR DETAILS.
- W-1
- 1 DEMOLITION NOTE SYMBOL
- 1 RENOVATION NOTE SYMBOL
- FLOOR FINISH TRANSITION
- HOARDING (TYPICAL)
- HOARDING (TEMPORARY)
- DOOR NUMBER
- SCREEN NUMBER
- WINDOW NUMBER
- RWL RAIN WATER LEADER, REFER TO MECH.
- FD FLOOR DRAIN, REFER TO MECH.
- CO CLEAN OUT DRAIN, REFER TO MECH.
- FB RECESSED FLOOR BOX, REFER TO ELEC.
- CR CARD READER, REFER TO ELEC.

REFLECTED CEILING PLAN LEGEND:

- C-1 CEILING ASSEMBLY TYPE
- XXXX U/S OF CEILING ELEVATION (MEASURED FROM FIN. FLOOR)
- GYPSUM WALL BOARD
- ACOUSTICAL CEILING TILE
- GYPSUM WALL BOARD ACCESS PANEL (REFER TO SPEC)
- LIGHT FIXTURE (SEE ELEC.)
- EMERGENCY LIGHT
- SUPPLY AIR DIFFUSER (SEE MECH.)
- RETURN AIR DIFFUSER (SEE MECH.)
- LIGHTING DATA SERVICE (SEE. ELEC.)
- WALL MOUNTED FIXTURE (SEE ELEC)
- OCCUPANCY SENSOR (REFER TO ELEC)
- LINEAR DIFFUSER (REFER TO MECH)
- WALLS TO U/S OF CEILING
- MOTORIZED BLIND / SHADE

CLIENT LOGO



KEYPLAN

No.	ISSUANCE	DATE
1	ISSUED FOR SD REPORT	2025-12-11
2	OWNER REVIEW	2026-01-23
3	OWNER REVIEW	2026-02-19
4	ISSUED FOR BID & PERMIT	2026-02-26

U OF G PROJECT No. 504132

CLIENT

UNIVERSITY OF GUELPH

168 Reynolds Walk, Guelph, ON, N1G 4Z8

PROJECT

JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

TITLE

CLASSROOM FLOOR PLAN &
REFLECTED CEILING PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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SEAL



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SCALE: AS NOTED

DATE: 2025/12/11

PROJECT NO: 2025-0916-10

DRAWN BY: JN

CHECKED BY: MW

A2-001

GENERAL FINISH NOTES

- ALL INTERIOR FINISHES SHALL MEET ONTARIO BUILDING CODE. THE MAXIMUM FLAME SPREAD RATING AND THE SMOKE DEVELOPMENT OF INTERIOR WALLS AND CEILING FINISHES, SHALL NOT EXCEED THAT SET FORTH IN SECTION 3.1.13 AND 3.1.16 OF THE OBC.
- REFER TO SPECIFICATIONS, ALL INTERIOR FINISH NOTES, ELEVATIONS AND DETAILS FOR COMPLETE INTERIOR INFORMATION. REFER TO SPECIFICATIONS FOR ALL SUBMITTAL GUIDELINES AND REQUIREMENTS.
- ALL FINISHES ARE TO BE APPLIED IN STRICT ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS. REFERENCE MANUFACTURER'S INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS.
- CONTACT CONSULTANT FOR CLARIFICATION IN THE EVENT OF CONTRADICTORY INFORMATION BETWEEN DRAWINGS, LEGEND AND/OR SPECIFICATIONS. IF COLOUR OR FINISH IS NOT SPECIFIED, CONTACT CONSULTANT FOR CLARIFICATION.
- PROVIDE A SUBMITTAL SCHEDULE ALLOWING FOR LONG LEAD TIME ITEMS TO PREVENT SUBSTITUTIONS. CONTRACTOR IS TO NOTIFY THE CONSULTANT OF ANY LONG LEAD ITEMS GREATER THAN SIX WEEKS.
- ALIGN TRANSITION OF FLOOR MATERIAL WITH CENTER OF HINGE IN DOOR WAY FOR SWING DOORS AND INSIDE FACE OF WALL FOR SLIDING DOORS.
- WELD ALL JOINTS BETWEEN RESILIENT FLOORING SECTIONS. IF COLOUR OR FINISH IS NOT SPECIFIED CONTACT CONSULTANT FOR CLARIFICATION.
- FEATHER FLOOR AT ALL CHANGE IN MATERIAL TO ENSURE A LEVEL TRANSITION. PROVIDE TRANSITION STRIPS AT ALL JUNCTIONS OF NEW AND EXISTING FLOORING.
- PAINT GRILLS, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR. ALL EXISTING DOORS AND FRAMES TO BE RE-PAINTED TO MATCH ADJACENT WALL.
- SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- PROVIDE MINIMUM 300mm CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR. PROVIDE MINIMUM 600mm CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- REFER TO FINISHES PLANS FOR WALL PROTECTION LOCATIONS.

FINISH NOTES

- FN1. DOOR AND FRAME TO BE PAINTED TO MATCH EXISTING BOTH SIDES.
- FN2. EXISTING CARPET TILE TO REMAIN. REPLACE ANY DAMAGED CARPET TILE WITH CP1.
- FN3. PROVIDE CERAMIC TILE, CERAMIC WALL BASE AND GROUT TO MATCH EXISTING.
- FN4. ACOUSTIC WALL PANEL TO EXTEND FULL HEIGHT FROM FINISHED FLOOR TO U/S OF CEILING.

FINISH LEGEND

ARCHITECTURAL WOODWORK

- PL1 PLASTIC LAMINATE
PL2 PHENOLIC COUNTERTOP

RESILIENT FLOORING

- RF1 RUBBER FLOORING
RB1 RUBBER WALL BASE
EXRF RESILIENT FLOORING TO MATCH EXISTING
EXWB WALL BASE TO MATCH EXISTING

CARPET

- CP1 CARPET POWERBOND
CP2 CARPET POWERBOND

ACOUSTIC TREATMENT

- WC1 ACOUSTIC WALL PANEL

PAINT

- PT1 MAIN WALL PANEL
PT2 GYP. BD. CEILING/BULKHEAD PAINT
PT3 ACCENT WALLS, DOORS AND FRAMES
EXPT PAINT TO MATCH EXISTING

WALL ASSEMBLIES:

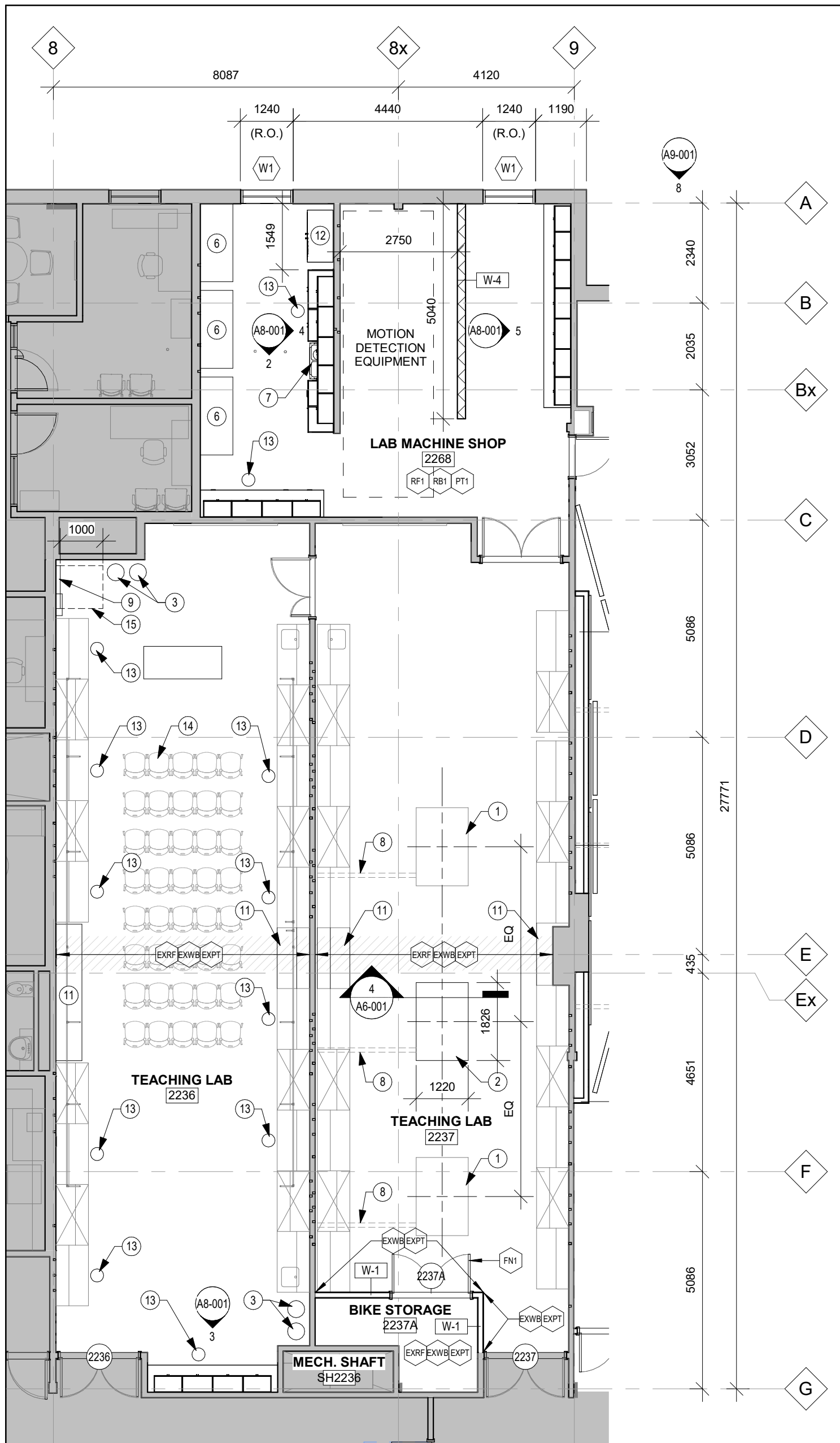
- W-X EXISTING WALL TO REMAIN.
- W-1 16 GWB SHEATHING
102 METAL STUDS @ 400 O.C.
16 GWB SHEATHING
- W-2 102 GALV. METAL STUDS @ 400 O.C.
16 GWB SHEATHING
- W-3 CONCRETE MASONRY UNITS,
INFILL TO MATCH EXISTING ADJACENT
- W-4 190 CONCRETE MASONRY UNITS

CEILING ASSEMBLIES

- C-X EXISTING ACOUSTIC CEILING TILE TO REMAIN
- C-1 610x610 ACOUSTIC CEILING TILE
PREFINISHED METAL T-BAR SUSPENSION SYSTEM
- C-2 BULKHEAD
16 GYPSUM WALL BOARD SHEATHING
64 CARRYING CHANNELS @ 400 o.c.
SUSPENSION SYSTEM
- C-3 16 GYPSUM WALL BOARD SHEATHING
22 FURRING CHANNELS @ 600 o.c.
64 CARRYING CHANNELS @ 400 o.c.
152 COLD FORMED METAL FLOOR JOIST FRAMING
13 PLYWOOD SHEATHING

GENERAL NOTES

- A. ALL WALLS TO EXTEND TO U/S STRUCTURAL DECK UNLESS OTHERWISE NOTED
- B. FIRESTOP AND SEAL ALL PENETRATIONS THROUGH RATED ASSEMBLIES EQUAL TO ASSEMBLY RATING
- C. ASSEMBLY CONSTRUCTION READ FROM TAG SIDE OF ASSEMBLY
- D. CEILING MOUNTS FOR MONITORS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR



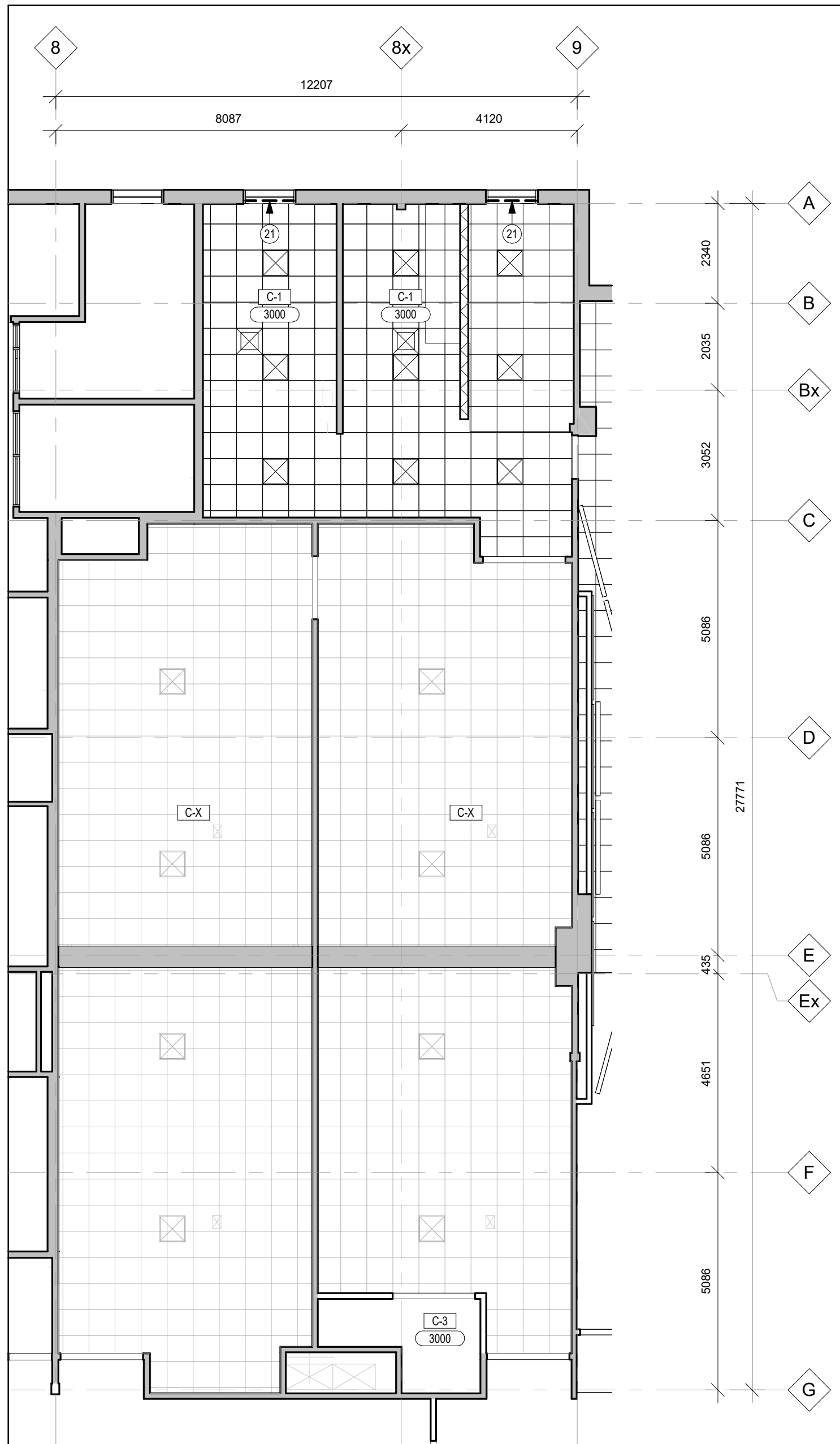
1 ENLARGED FLOOR PLAN - LAB LEVEL 02
A2-002 Scale: 1 : 100

DRAWING NOTES

- EXISTING FORCE PLATE. REPLACE COVER TO MATCH PROPOSED.
- FORCE PLATE c/w STAINLESS STEEL CHECKER PLATE COVER
- GAS CYLINDER STORAGE c/w WALL BRACKET
- STORAGE CABINETS
- WORK BENCH
- 1830x760 U-LINE STAINLESS STEEL TABLE
- STAINLESS STEEL SINK w/ FOLD DOWN EYEWASH, REFER TO MECH.
- ELECTRICAL RACEWAY UNDER CARPET SHOWN DASHED
- EXISTING ELECTRICAL PANEL TO REMAIN
- MOTORIZED BLACK OUT BLINDS
- INFILL MILLWORK TO MATCH EXISTING ADJACENT TO REMAIN. REFER TO MILLWORK SECTIONS ON A6-001 FOR SIM. CONSTRUCTION.
- FLAMMABLE STORAGE CABINET VENTED TO EXTERIOR
- WORK STOOL (12 - TO MATCH EXISTING)
- CLASSROOM CHAIR (TYP.) (25 STACKABLE - TO MATCH EXISTING)
- HIDDEN LINE INDICATES REQUIRED CLEARANCE AROUND PANEL (TYP.)
- RAISE EXISTING ELECTRICAL PANEL TO REMAIN, REFER TO ELEC.
- CEILING HUNG MONITOR BY OWNER (1900W x 1100H)
- CEILING HUNG MONITOR BY OWNER (2200W x 1260H)
- WALL MOUNTED CHALKBOARD (2440W x 1220H)
- WALL MOUNTED WHITEBOARD (2440W x 1220H)
- MANUALLY OPERATED BLACKOUT BLINDS
- WALL HUNG MONITOR BY OWNER (2200W x 1260H)
- DOOR AND FRAME TO BE PAINTED TO MATCH EXISTING BOTH SIDES.
- EXISTING CARPET TILE TO REMAIN. REPLACE ANY DAMAGED CARPET TILE WITH CP1.
- PROVIDE CERAMIC TILE, CERAMIC WALL BASE AND GROUT TO MATCH EXISTING.
- ACOUSTIC WALL PANEL TO EXTEND FULL HEIGHT FROM FINISHED FLOOR TO U/S OF CEILING.
- ADAPTABLE SEAT
- WHEELCHAIR SPACE w/ BARIATRIC SEAT

DRAWING LEGEND

- HATCH DENOTES AREA NOT IN ARCHITECTURAL SCOPE OF WORK - TYP.
- HATCH DENOTES AREA OF DEMOLITION.
- EXISTING WALL(S) TO REMAIN.
- EXISTING WALL(S) TO BE DEMOLISHED.
- NEW WALL - REFER TO WALL ASSEMBLY LEGEND FOR DETAILS.
- DEMOLITION NOTE SYMBOL
- RENOVATION NOTE SYMBOL
- FLOOR FINISH TRANSITION
- HOARDING (TYPICAL)
- HOARDING (TEMPORARY)
- DOOR NUMBER
- SCREEN NUMBER
- WINDOW NUMBER
- RAIN WATER LEADER, REFER TO MECH.
- FLOOR DRAIN, REFER TO MECH.
- CLEAN OUT DRAIN, REFER TO MECH.
- RECESSED FLOOR BOX, REFER TO ELEC.
- CARD READER, REFER TO ELEC.
- EXISTING DOOR(S) TO BE DEMOLISHED.
- EXISTING DOOR(S) TO REMAIN.
- NEW DOOR.



2 REFLECTED CEILING PLAN - LAB LEVEL 02
A2-002 Scale: 1 : 100

REFLECTED CEILING PLAN LEGEND:

- C-1 CEILING ASSEMBLY TYPE
- XXXX U/S OF CEILING ELEVATION (MEASURED FROM FIN. FLOOR)
- GYPSUM WALL BOARD
- ACOUSTICAL CEILING TILE
- GYPSUM WALL BOARD ACCESS PANEL (REFER TO SPEC)
- LIGHT FIXTURE (SEE ELEC.)
- EMERGENCY LIGHT
- SUPPLY AIR DIFFUSER (SEE MECH.)
- RETURN AIR DIFFUSER (SEE MECH.)
- LIGHTING DATA SERVICE (SEE ELEC.)
- WALL MOUNTED FIXTURE (SEE ELEC)
- OCCUPANCY SENSOR (REFER TO ELEC)
- LINEAR DIFFUSER (REFER TO MECH)
- WALLS TO U/S OF CEILING
- MOTORIZED BLIND / SHADE

CLIENT LOGO



KEYPLAN

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2	OWNER REVIEW	2026-01-23
3	OWNER REVIEW	2026-02-19
4	ISSUED FOR BID & PERMIT	2026-02-26

U OF G PROJECT No. 504132

CLIENT

UNIVERSITY OF GUELPH

168 Reynolds Walk, Guelph, ON, N1G 4Z8

PROJECT

JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

TITLE

LAB FLOOR PLAN &
REFLECTED CEILING PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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SEAL

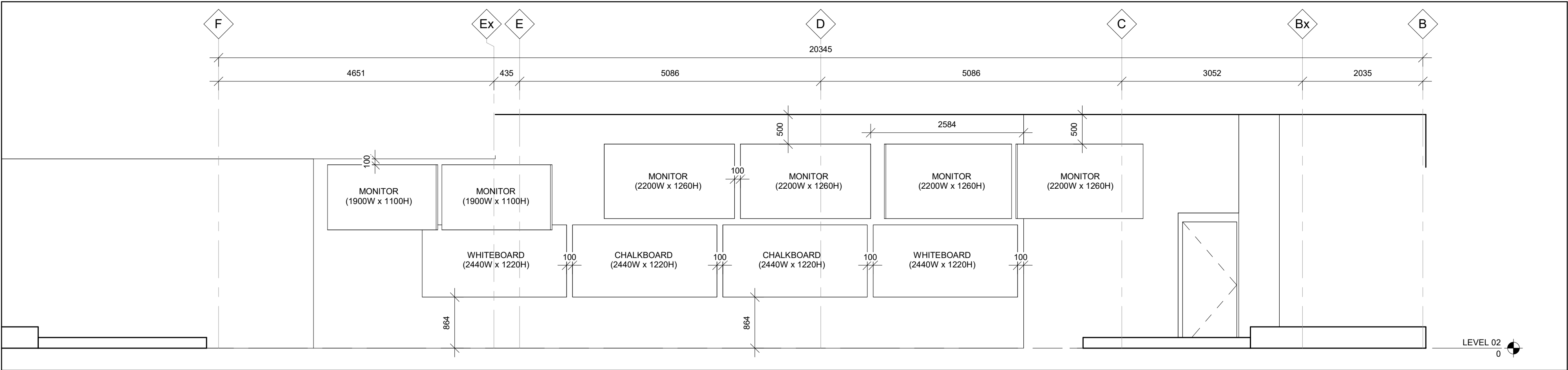


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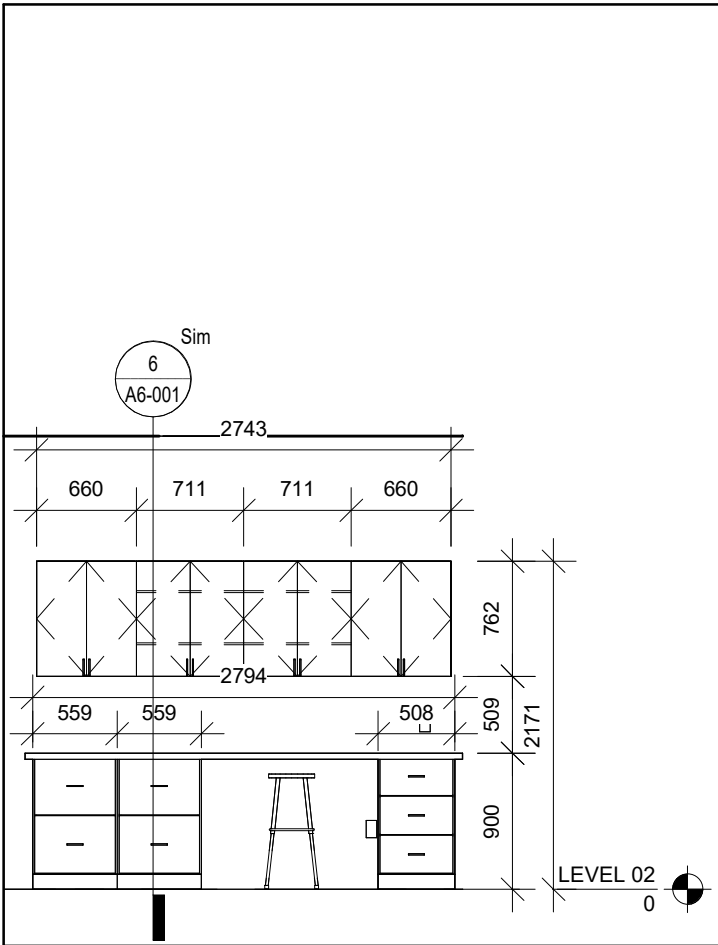
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DATE: 2025/12/11
PROJECT NO: 2025-0916-10
DRAWN BY: JN
CHECKED BY: MW

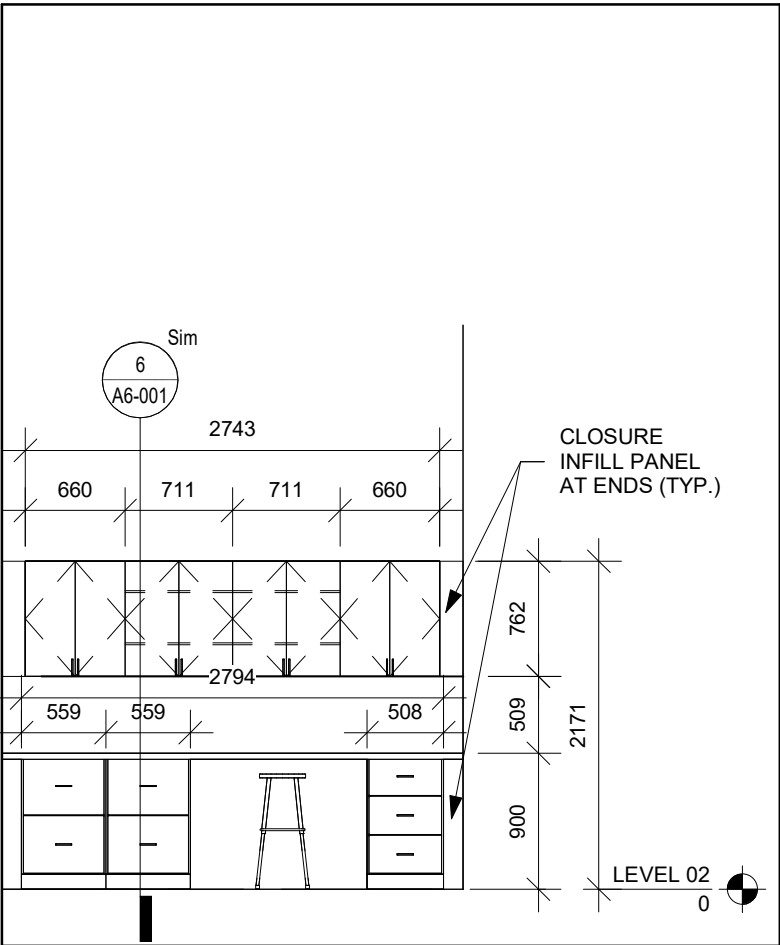
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A2-002



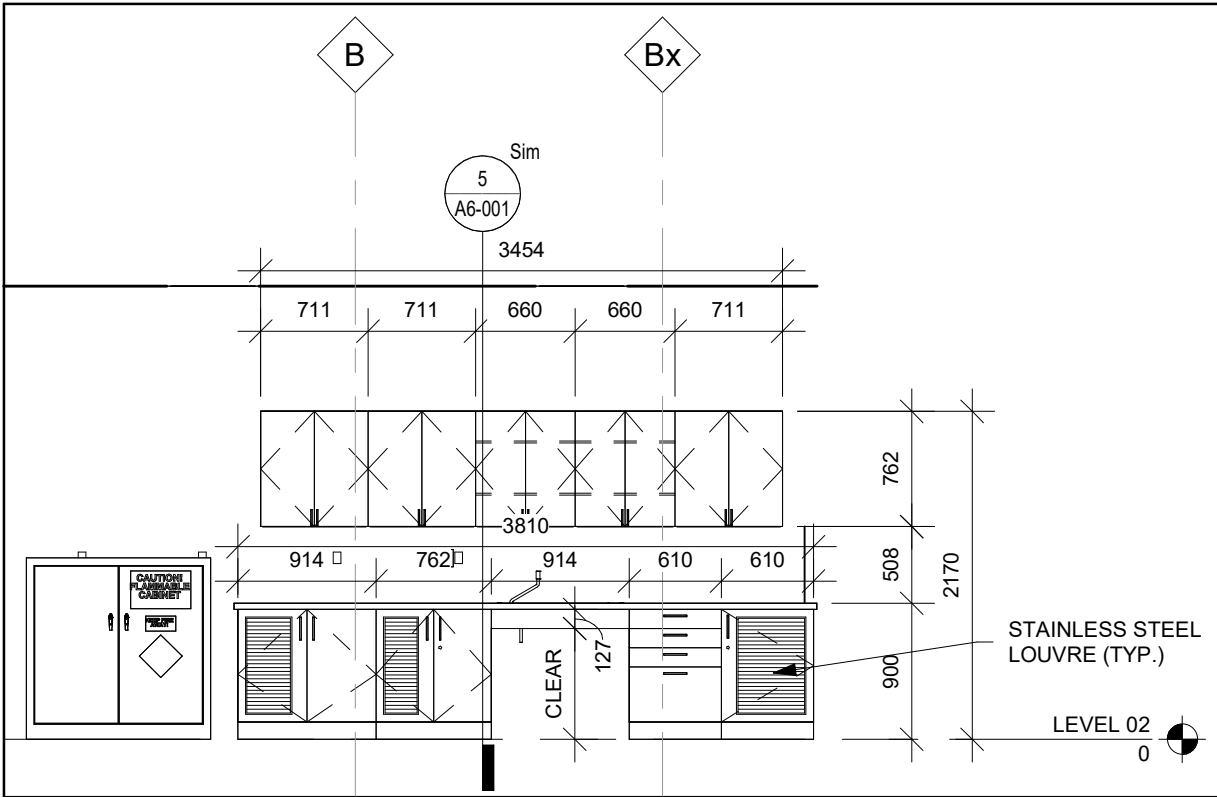
1 INTERIOR ELEVATION - FRONT OF CLASSROOM
A8-001 / Scale: 1 : 50



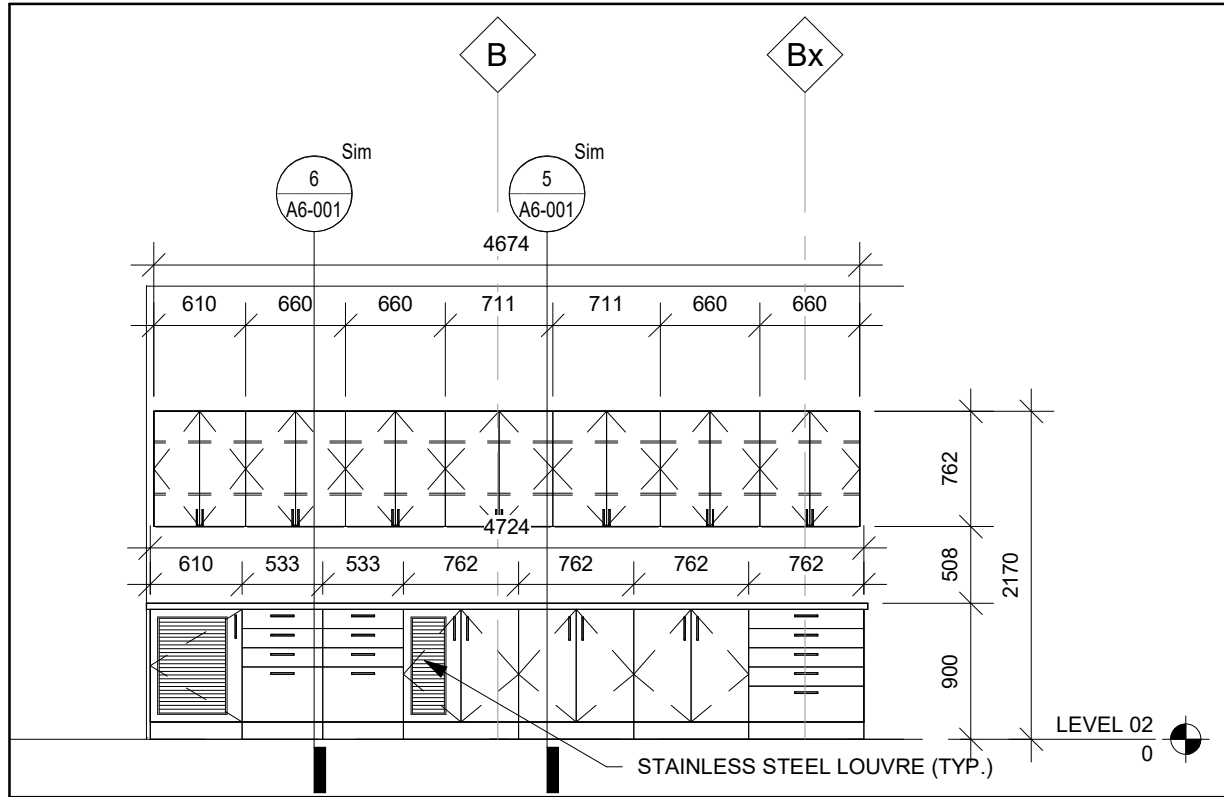
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A8-001 / Scale: 1 : 50



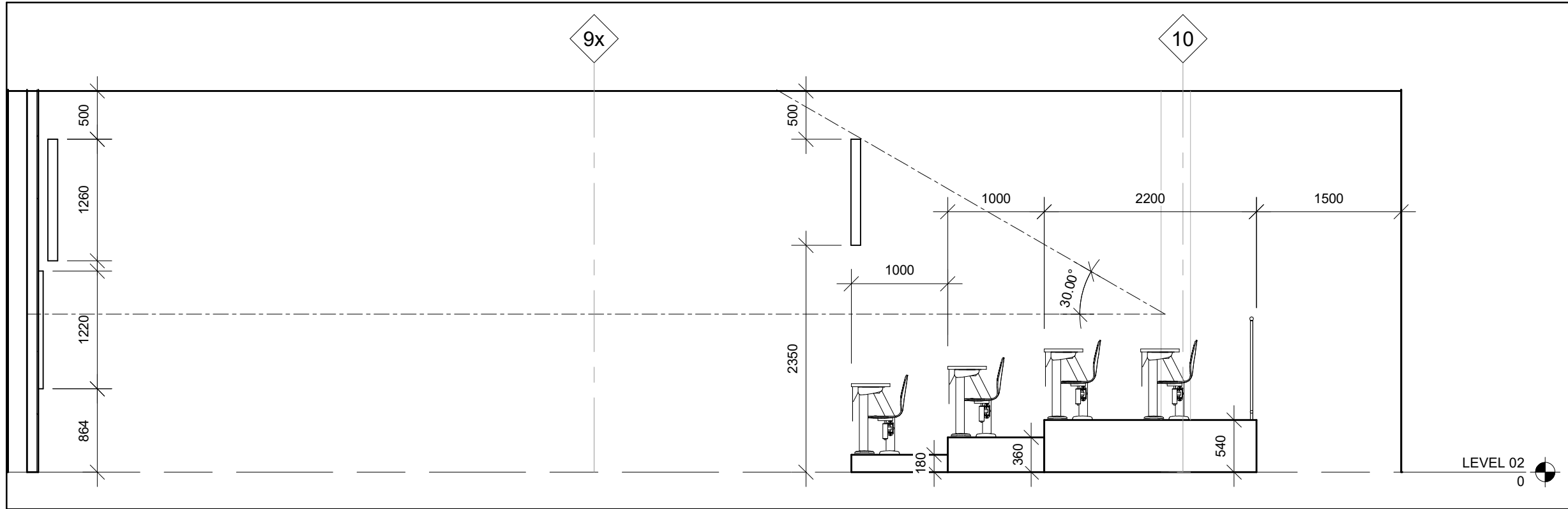
3 INTERIOR ELEVATION
A8-001 / Scale: 1 : 50




4 INTERIOR ELEVATION
A8-001 / Scale: 1 : 50



5 INTERIOR ELEVATION
A8-001 / Scale: 1 : 50



6 BUILDING SECTION - FURNITURE LAYOUT
A8-001 / Scale: 1 : 50



UNIVERSITY OF
GUELPH

KEYPLAN

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U OF G PROJECT No. 504132

CLIENT

UNIVERSITY OF GUELPH

168 Reynolds Walk, Guelph, ON, N1G 4Z8

PROJECT

JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

TITLE


INTERIOR ELEVATIONS

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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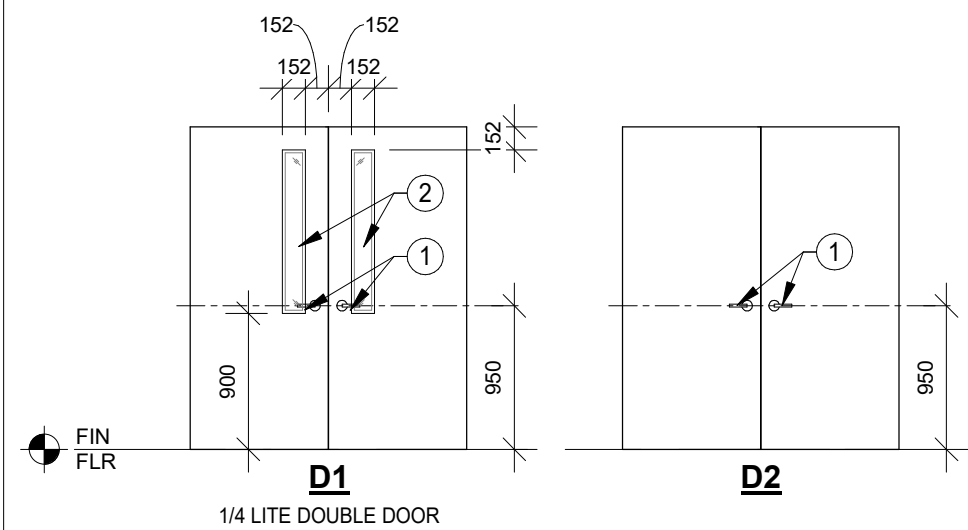
SCALE:	AS NOTED	SHEET NO:
DATE:	2025/12/11	A8-001
PROJECT NO:	2025-0916-10	
DRAWN BY:	JN	
CHECKED BY:	MW	

DOOR & SCREEN SCHEDULE - with Legend

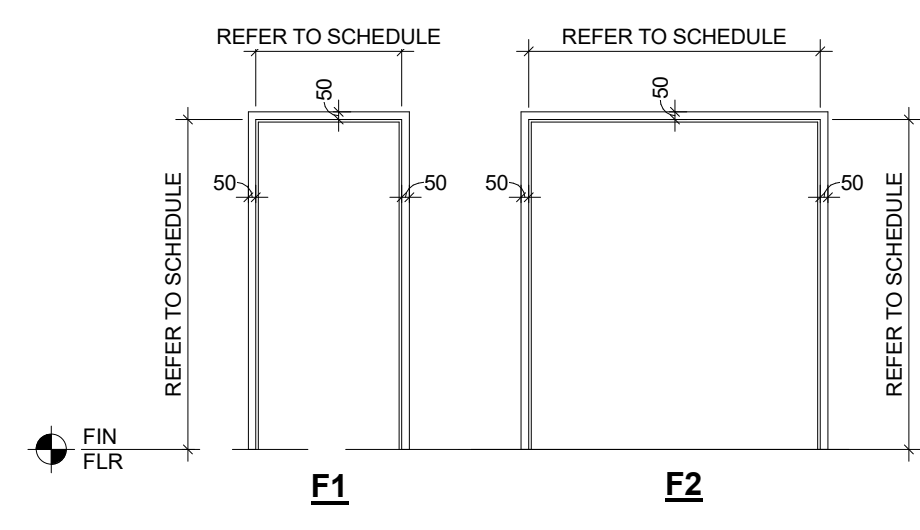
REFER TO TYPICAL DETAILS FOR DOOR TYPE ELEVATIONS, FRAMES AND DETAILS

LEGEND	AL ANO CGL CR	ALUMINUM ANODIZED CERAMIC COATED FIRE RATED GLASS (RATED TO MATCH DOOR) CARD READER	DTGL ELS FF HM	INSULATED DOUBLE TEMPERED & LAMINATED GLASS ELECTRIC STRIKE FACTORY FINISH HOLLOW METAL	PDO PLAM PNT S&V TGL	POWER DOOR OPERATOR PLASTIC LAMINATE PAINT STAIN & VARNISH/CLEAR SINGLE TEMPERED & LAMINATED GLASS	WSC 45 MIN	WOOD SOLID CORE INDICATES 45 MIN. FIRE RESISTANCE RATING REQUIRED, INCLUDING HOLLOW METAL FRAME																	
									Door/Screen				Frame				Hardware				Rating				Notes
									Mark	Door Size WxHxT	Type / Elev	Material	Finish	Glazing	Grille	Type / Elev	Profile	Material	Finish	ULC Panics	Closer	Threshold	Weather Strip	Fire Rating	
LEVEL 02																									
2236	2'9 1/2 x 2'13 1/4 x 4 1/2																	A.C. EXISTING DOOR TO REMAIN, PAINT							
2237	2'9 1/2 x 2'13 1/4 x 4 1/2																	A.C. EXISTING DOOR TO REMAIN, PAINT							
2237A	2'9 1/2 x 2'13 1/4 x 4 1/2	D2	HM	PNT	-	-	F2	DF1	HM	PNT	No	No	No	No	-	No		H.J							
2266	2'9 1/2 x 2'13 1/4 x 4 1/2	D1	HM	PNT	TGL	-	F2	DF1	HM	PNT	Yes	Yes	No	No	-	No		A.B.C.H.J							
2266A	9'15 x 2'13 1/4 x 5'1	-	-	PNT	-	-	-	-	-	PNT					-			EXISTING DOOR TO REMAIN, PAINT AND REPLACE HARDWARE w/ STOREROOM FUNCTION							
Grand total: 5																									

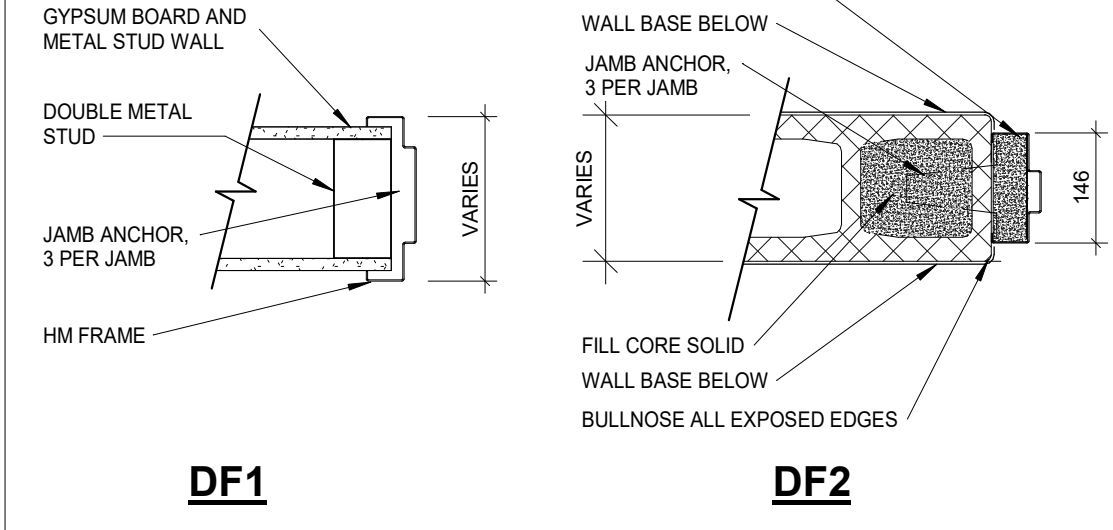
DOOR ELEVATIONS



DOOR FRAME ELEVATIONS



DOOR FRAME PROFILES



DOOR SCHEDULE LEGEND AND NOTES

DOOR SCHEDULE ABBREVIATIONS:

AL	ALUMINUM
ANO	ANODIZED
DTGL	DOUBLE TEMPERED GLASS
TGL	TEMPERED GLASS
STL	STEEL
FF	FACTORY FINISH
FRGL	FIRE RATED GLASS
GLV	GALVANIZED METAL
HM	HOLLOW METAL
PT	PAINT
SS	STAINLESS STEEL
EC	EPOXY COATED
CLR	CLEAR

DOOR HARDWARE (REF. DOOR SCHEDULE):

A	CARD READER
B	PDO - POWER DOOR OPERATOR
C	ELS - ELECTRIC STRIKE
D	G90 GALVANIZED DOOR
E	DOOR GRILL
F	3/4" UNDERCUT
G	SOUND SEAL
H	LOCKABLE
J	12 GAUGE STAINLESS STEEL KICK PLATE
K	SITE VERIFY EXISTING OPENING, REPLACE AS NOTED
L	SMOKE SEAL

DOOR ELEVATION NOTES:

GENERAL NOTE:

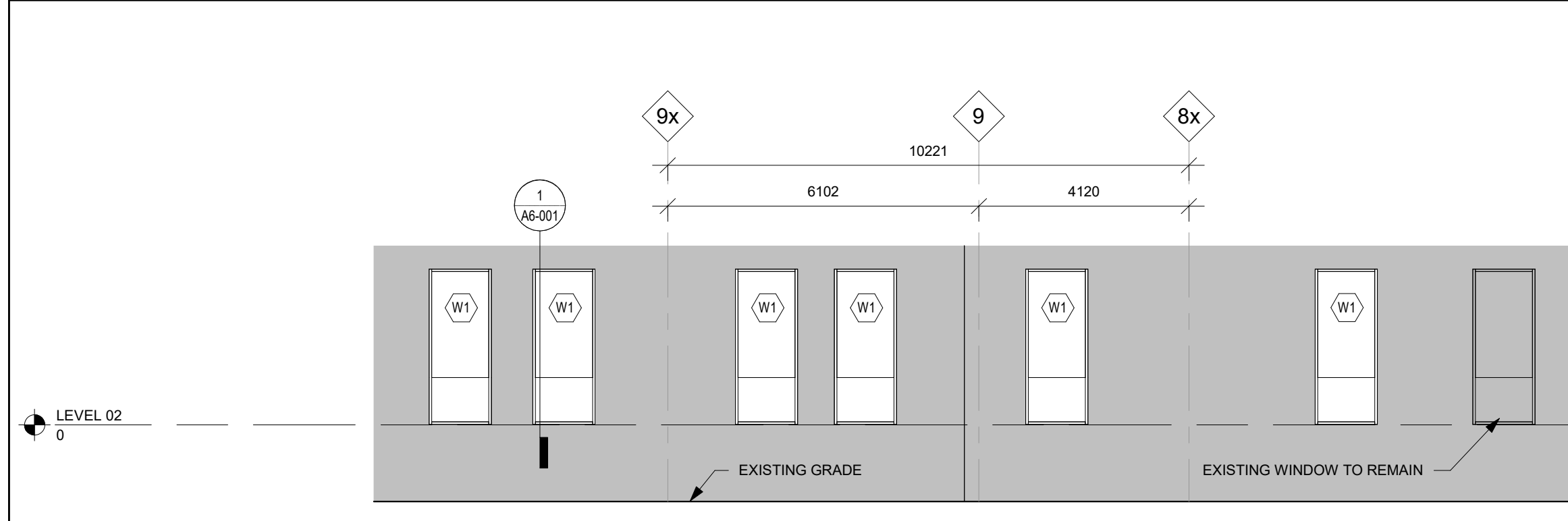
- DOOR HARDWARE, REFER TO SCHEDULE
- GLAZING TYPE, REFER TO SCHEDULE
- LOUVRE, REFER TO SCHEDULE

NOTE:

- ALL DOOR CLOSERS TO BE INSIDE ROOMS, UNLESS OTHERWISE NOTED (TYP.)
- DOOR HARDWARE AND SPECIALTY DOOR HARDWARE OPTIONS TO BE COORDINATED AND APPROVED WITH OWNER.

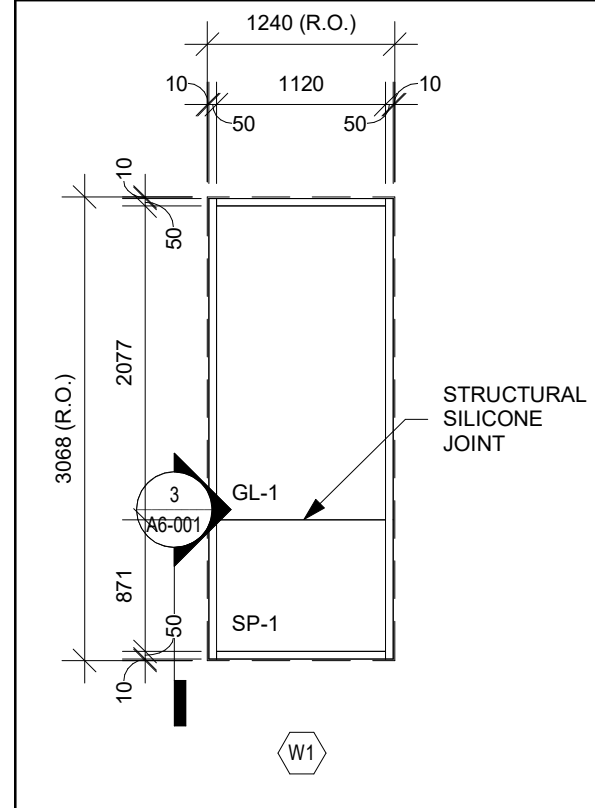
NOTES:

- SHOULD A PROPONENT (GENERAL CONTRACTOR) FIND A DISCREPANCY BETWEEN THE DOOR, FRAME, AND HARDWARE SCHEDULES AND THE DRAWING PLANS, THE CONTRACTOR SHALL REPORT THE DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL BE DEEMED LIABLE FOR THE COST INCURRED TO SUPPLY THE DOOR, FRAME AND HARDWARE.
- ANY DOOR, FRAMES AND HARDWARE QUERIES SHALL BE IDENTIFIED DURING THE TENDERING PROCESS OR WILL BE ASSUMED INCLUDED IN THE CONTRACTORS TENDER QUOTATION.
- DOORS, FRAMES, HARDWARE AND GLAZING LOCATED WITHIN A FIRE SEPARATION OR WALLS REQUIRED TO HAVE A FIRE RATING, AS SHOWN ON THE DRAWING PLANS, SHALL BE ASSUMED TO BE FIRE RATED, MEETING REQUIREMENTS FOR DOORS, FRAMES, HARDWARE AND GLAZING, TO MATCH THE ASSEMBLIES REQUIRED FIRE RESISTANCE RATING.
- S.S FRAMES ARE TO BE FOAM FILLED UNLESS NOTED OTHERWISE.
- ALL IMP OPENINGS TO BE CAPPED WITH 12GA STAINLESS STEEL BENT PLATE C/W 3" (76mm) MIN. REVEAL ON EACH SIDE, WELDED AT CORNERS.
- ALL SERVICE DOORS TO RECEIVE STAINLESS STEEL HARDWARE UNLESS NOTED OTHERWISE (REFER TO SPECIFICATIONS).
- FOR DETERMINING FRAME PROFILE WIDTHS REFER TO THE DRAWING PLANS AND THE OVERALL WALL THICKNESS, AS SHOWN ON THE WALL TYPE SCHEDULE ON ARCHITECTURAL DRAWINGS.
- ALL DOOR FRAMES IN FIRE SEPERATION WALLS TO BE GROUTED SOLID.
- ALL DOORS LOCATED IN EXTERIOR WALLS ARE TO BE INSULATED.
- ALL FRAMES LOCATED IN EXTERIOR WALLS ARE TO BE FILLED WITH MINERAL FIBRE INSULATION UNLESS NOTED OTHERWISE.
- HEAD DETAIL IS SIMILAR TO JAMB DETAIL, FOR HOLLOW METAL DOOR FRAME HEADS PROVIDE CONTRACTOR-CUT STUD TABS FOR ANCHORING OF HEAD STUD FRAMING.
- ALL GLAZING LOCATED IN OFFICE/ADMIN. AREAS TO BE IMPACT-SAFETY RATED TEMPERED GLASS
- ALL GLAZING LOCATED IN PRODUCTION AREAS TO BE IMPACT-SAFETY RATED LEXAN PANELS
- ALL GLAZING LOCATED IN FIRE SEPERATIONS TO BE IMPACT-SAFETY RATED CERAMIC GLASS



8 EXTERIOR ELEVATION

A9-001 Scale: 1 : 100



1 WINDOW ELEVATION

A9-001 Scale: 1 : 50

CLIENT LOGO



KEYPLAN

No.	ISSUANCE	DATE
1	ISSUED FOR SD REPORT	2025-12-11
2	OWNER REVIEW	2026-01-23
3	OWNER REVIEW	2026-02-19
4	ISSUED FOR BID & PERMIT	2026-02-26

U OF G PROJECT No. 504132

CLIENT

UNIVERSITY OF GUELPH

168 Reynolds Walk, Guelph, ON, N1G 4Z8

PROJECT

JTP CLASSROOM RENOVATION

168 Reynolds Walk, Guelph, ON, N1G 4Z8

TITLE

DOOR & WINDOW SCHEDULE

WALTERFEDY

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SCALE:	AS NOTED	SHEET NO:
DATE:	2025/12/11	
PROJECT NO:	2025-0916-10	
DRAWN BY:	JN	
CHECKED BY:	MW	

A9-001