

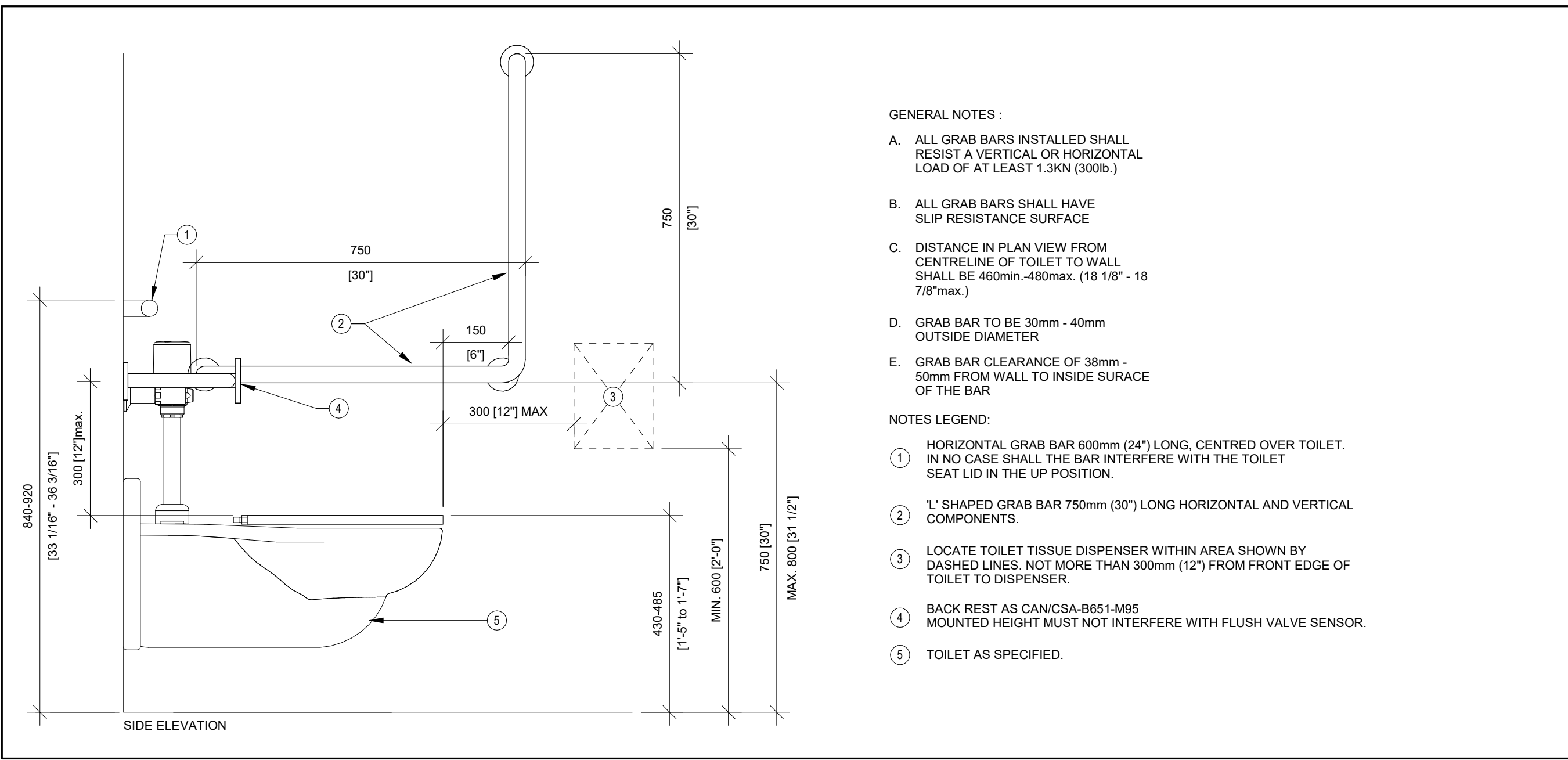
DRAWING LIST

ARCHITECTURE	
A001	LEGENDS AND NOTES
A201	UNIVERSITY CENTRE
A202	UNIVERSITY CENTRE ADO'S
A204	LANDSCAPE ARCHITECTURE
MECHANICAL	
M001	LEGEND, ROOM SCHEDULE AND DRAWING LIST
M002	MECHANICAL SPECIFICATIONS
M201	UNIVERSITY CENTRE PLUMBING, DRAINAGE, AND HVAC
M204	LANDSCAPE ARCHITECTURE PLUMBING, DRAINAGE, AND HVAC
ELECTRICAL	
E001	ELECTRICAL NOTES, LEGENDS, AND DRAWING LIST
E002	ELECTRICAL SPECIFICATIONS
E201	UNIVERSITY CENTRE - POWER & LIGHTING LAYOUTS
E202	LANDSCAPE ARCHITECTURE - POWER & LIGHTING LAYOUTS
E204	DOOR OPERATOR LAYOUTS - UNIVERSITY CENTRE
E301	ELECTRICAL NOTES, SCHEDULES & DRAWING LIST
E302	ELECTRICAL SPECIFICATIONS
E303	POWER LAYOUTS - SCIENCE COMPLEX & MCNAUGHTON

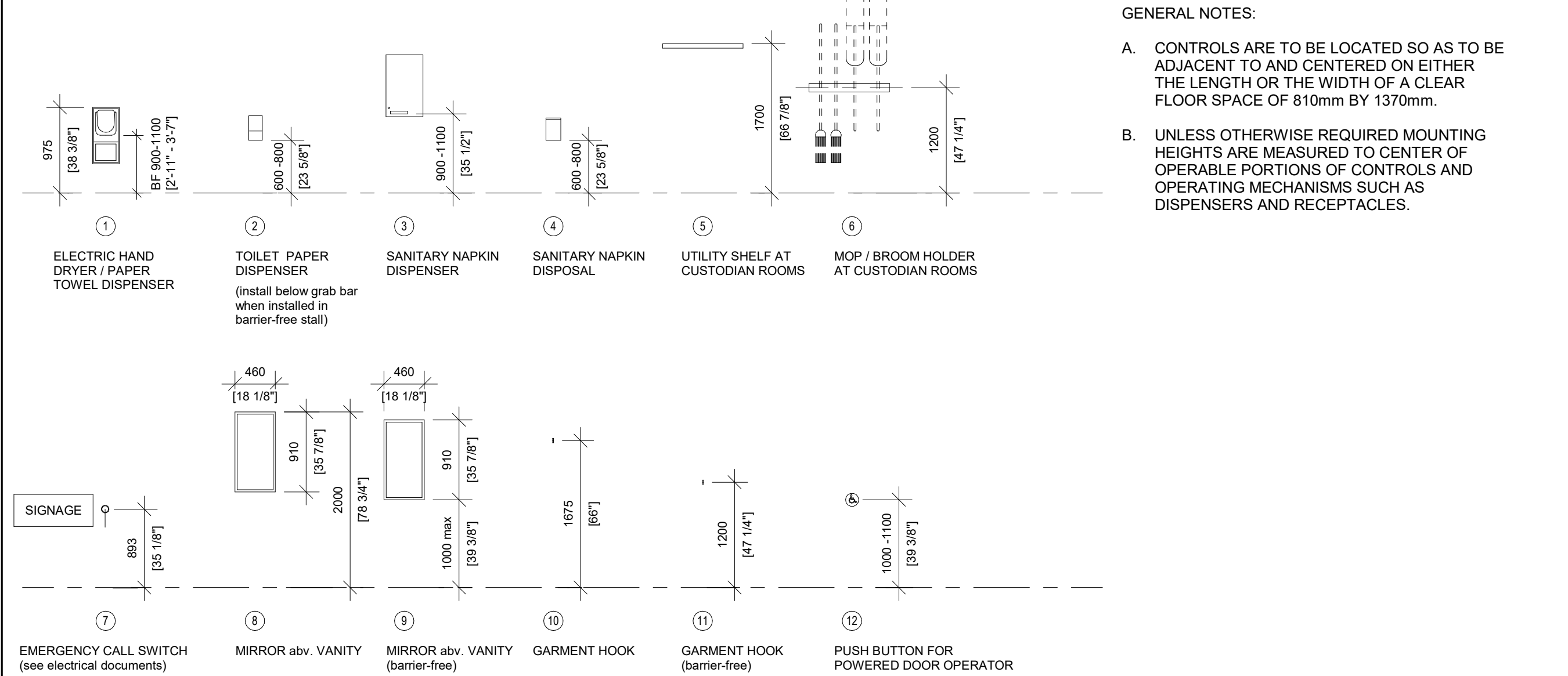


UNIVERSITY OF GUELPH
U of G WASHROOM & ADO UPGRADES
Landscape Architecture - Building 051
UG PN: 621412

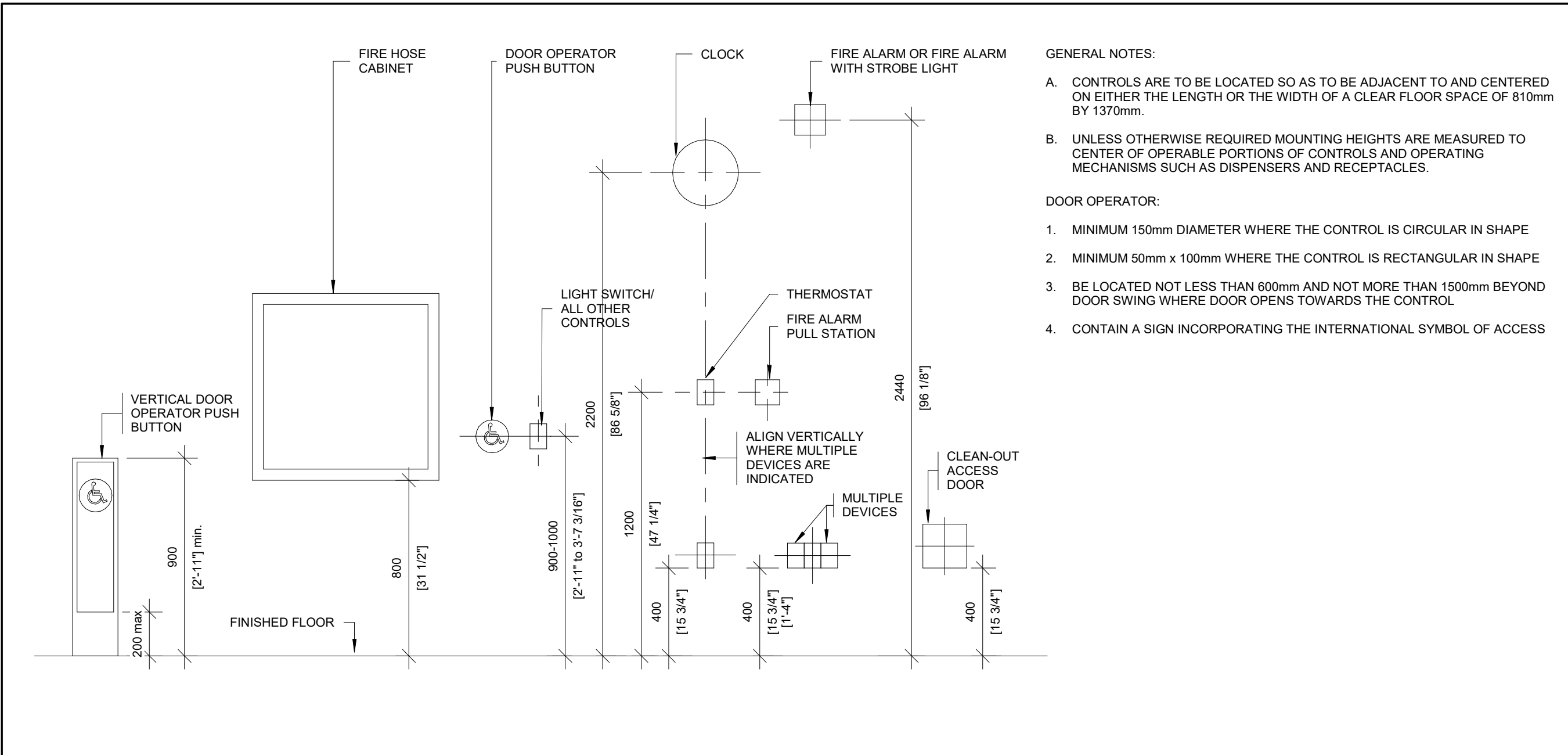
WalterFedy Project No.: 2026-0006-10
ISSUED FOR BID & PERMIT April 2026



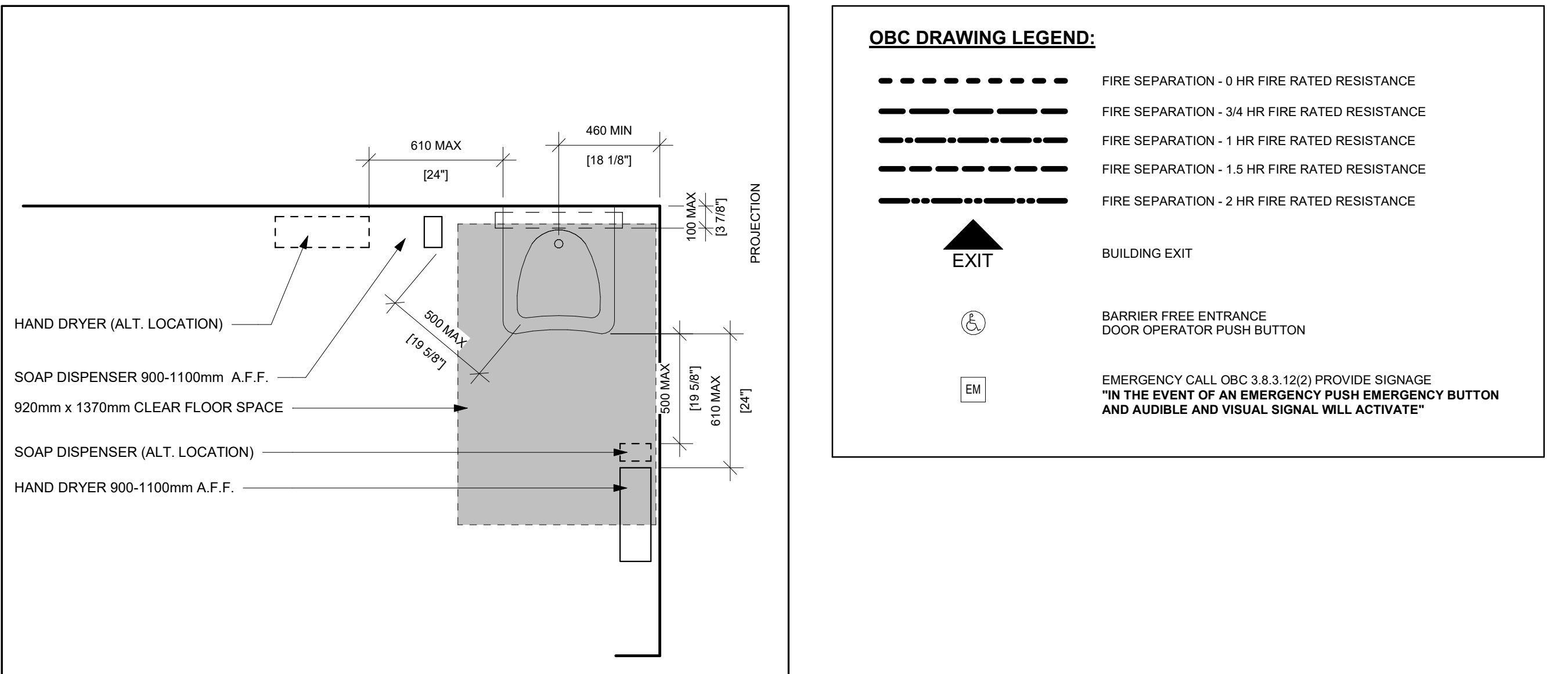
1 B.F. 'L' GRAB BAR AND ACCESS. FOR SENSOR TOILETS W/O SEAT LID
Scale: 1 : 10



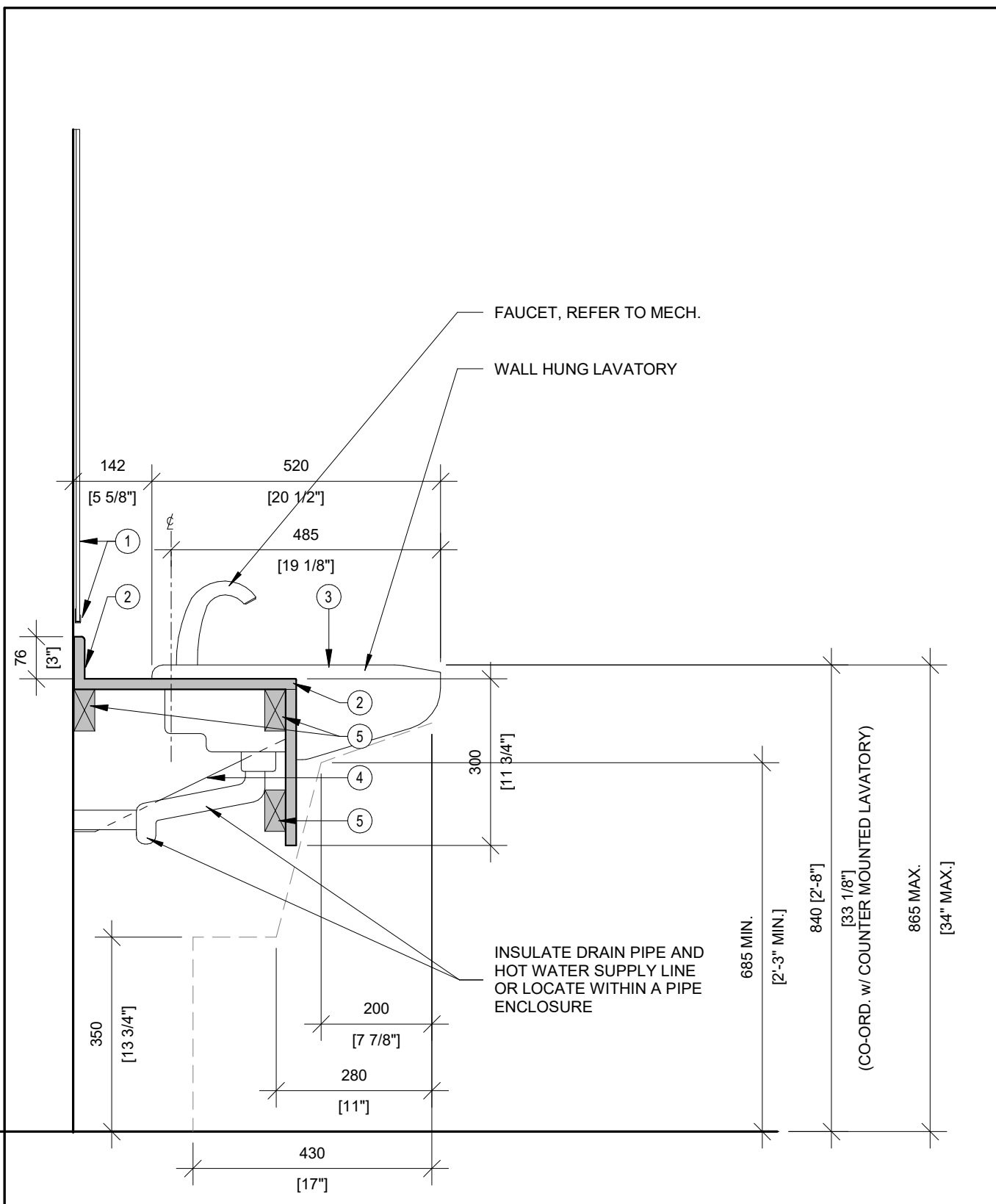
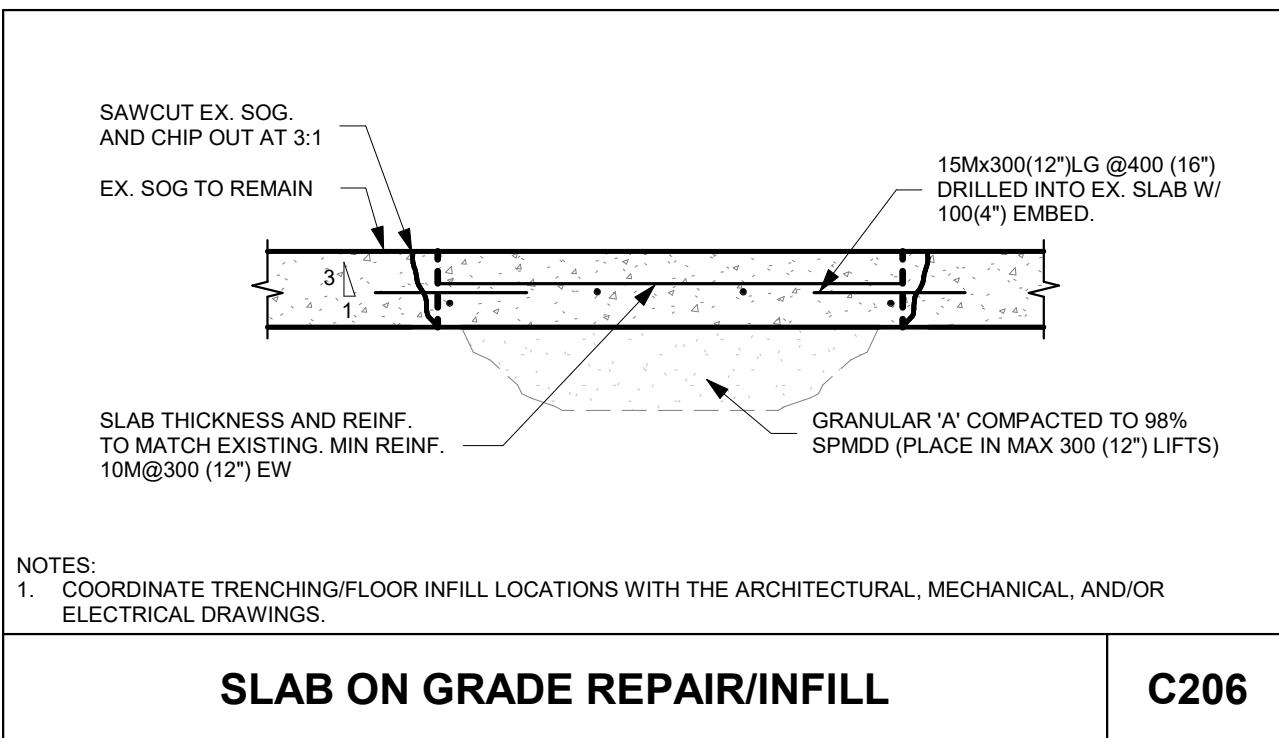
2 1000-6 Typical Washroom Accessory Mounting Heights
Scale: 1 : 50

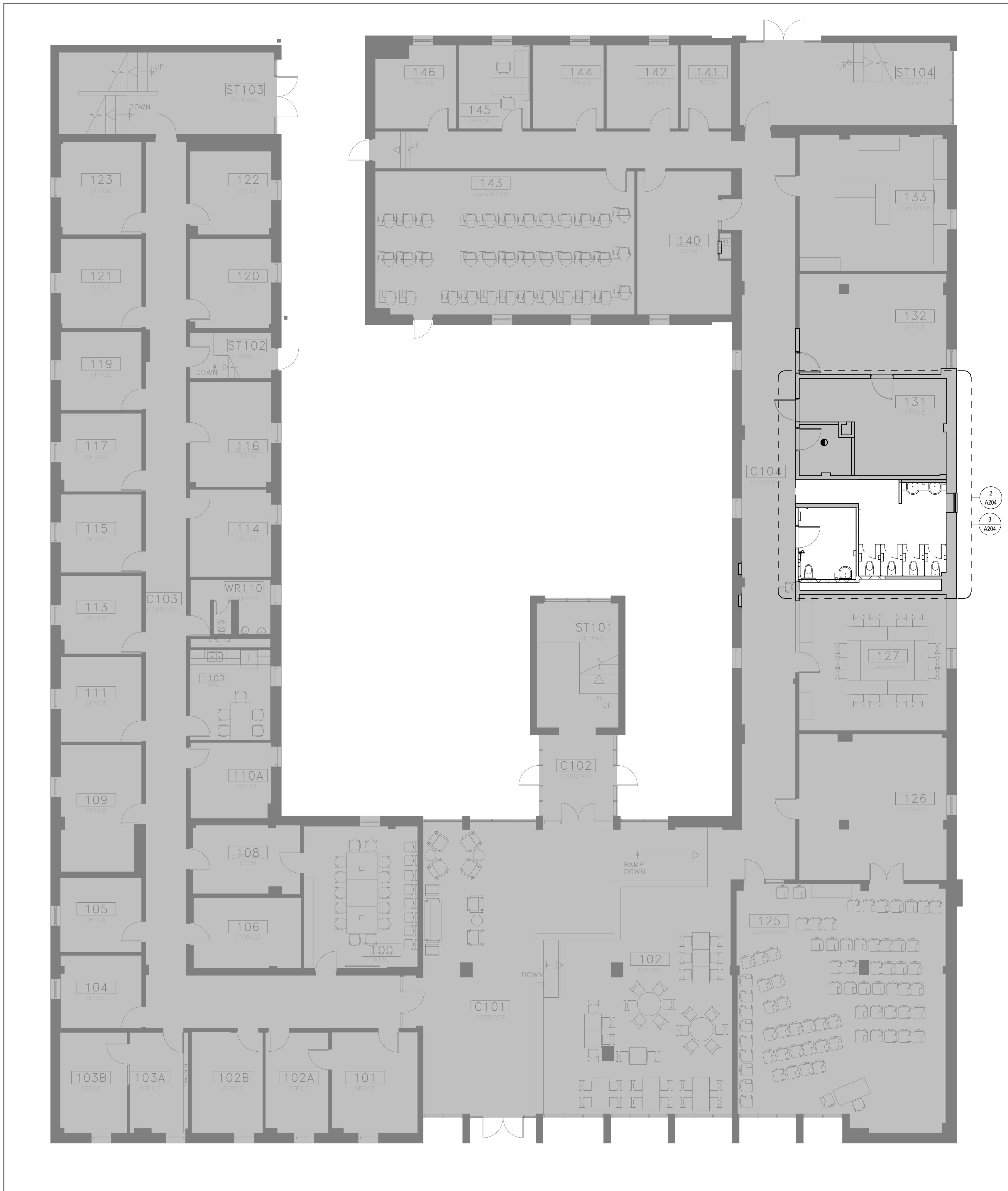


3 1000-7 Typical Fixture Mounting Heights Elevation
Scale: 1 : 20

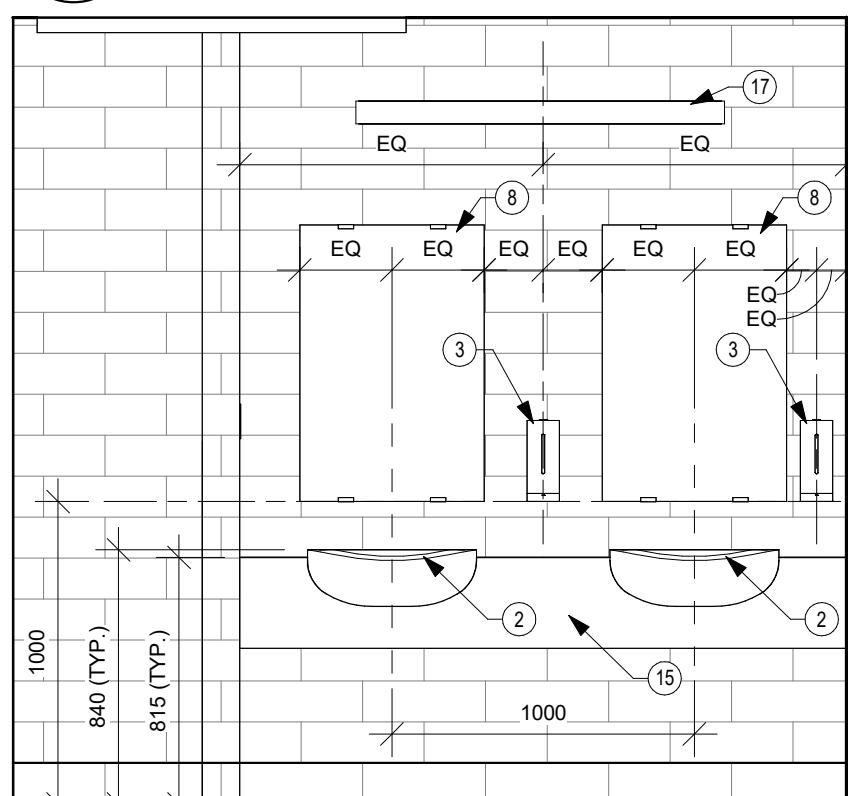


6 BARRIER-FREE LAVATORY PLAN
Scale: 1 : 20



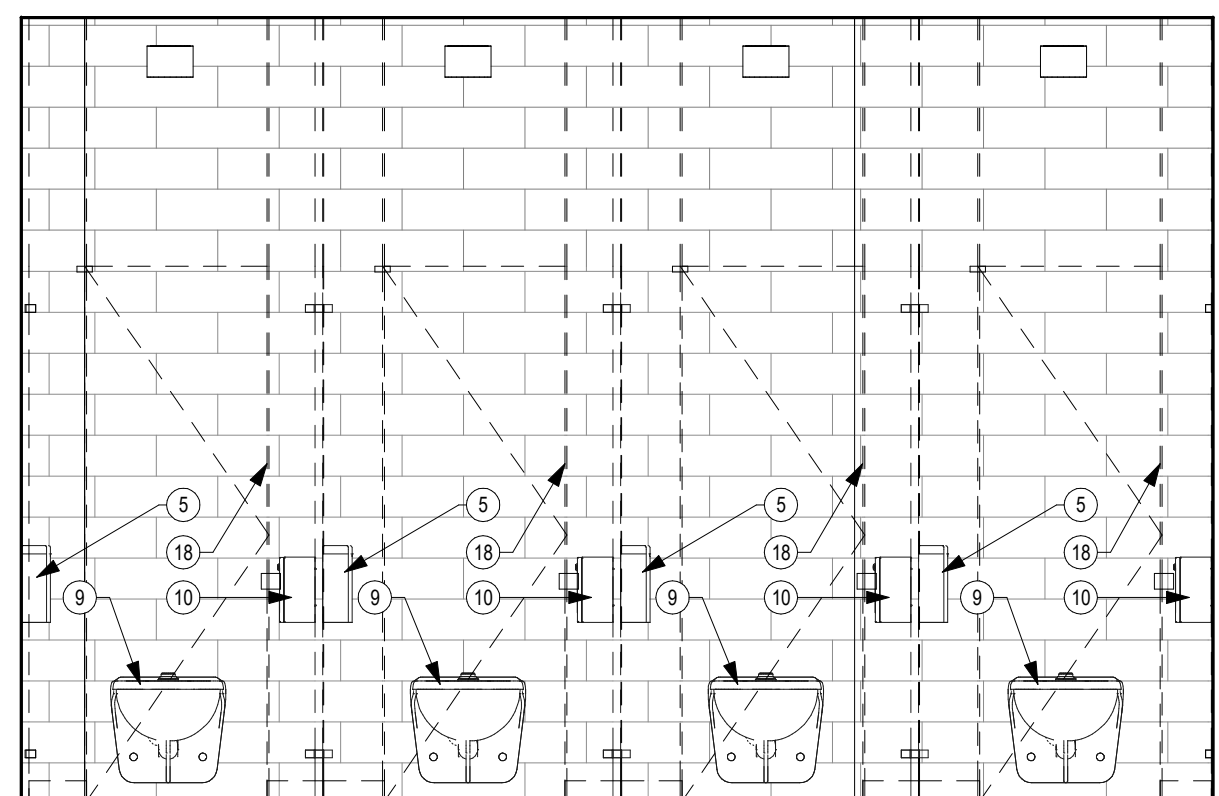


1 KEY PLAN
A204 Scale: 1: 100



5 INTERIOR ELEVATION
A204 Scale: 1: 25

DOOR & SCREEN SCHEDULE - LA														
Door/Screen	Width x Height x Thickness	Door/Screen	Material	Finish	Glazing	Grille	Frame	Profile	Material	Finish	Hardware	Closer	Threshold	Weather Strip
111	960x2150x45	D1	HM	PNPT	-	-	F1	DF1	HM	PNPT	No	No	No	No
128	960x2150x45	D1	HM	PNPT	-	-	F1	DF1	HM	PNPT	No	Yes	No	No



6 INTERIOR ELEVATION
A204 Scale: 1: 25

2024 ONTARIO BUILDING CODE DATA MATRIX						Issue: 2020-01-01
PART 11 - RENOVATION						OBC REFERENCE [1]
11.00 BUILDING CODE VERSION		O Reg. 163/24		LAST CODE AMENDMENT: O Reg. 447/24		
11.01 PROJECT TYPE		Renovation				[A] 1.3.3.8
11.02 MAJOR OCCUPANCY...		OCCUPANCY		USE		3.1.2.1(1), 11.2.1 and 2.14.1(7)
		A2		Post-Secondary Education		
11.03 SUPERIMPOSED MAJOR OCCUPANCIES		NO				11.2.2.1, and 3.2.2.5 to 3.2.2.6
11.04 BUILDING AREA (m²)		DESCRIPTION		EXISTING	NEW	TOTAL
		NO CHANGE FROM EXISTING		-	-	-
				-	-	-
				-	-	-
		TOTAL		-	-	-
11.05 BUILDING HEIGHT		2		STOREYS ABOVE GRADE		[A] 4.1.2, 2.2.2.2, 3.2.1.1, and 11.3
		1		STOREYS BELOW GRADE		
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS		1		STREETS		3.2.2.5, 3.2.6, 2.2.4.1, and 11.3
11.07 BUILDING SIZE		-				11.2.1.1 and T.11.2.1.B.3
11.08 EXISTING BUILDING CLASSIFICATION		CHANGE IN MAJOR OCCUPANCY		NO		10.1.1.2, and 11.2.1.1
		CONSTRUCTION INDEX		-		T.11.2.1.A
		HAZARD INDEX		-		T.11.2.1.B
		IMPORTANCE CATEGORY		-		4.1.2.1.B, 2.3.1, and 5.2.2.1(2)
11.09 RENOVATION TYPE		BASIC RENOVATION				11.3.3.1, and 11.3.3.2
11.10 OCCUPANT LOAD		FLOOR LEVEL/AREA		OCCUPANCY TYPE BASED ON		OCCUPANT LOAD (PERSONS)
		NO CHANGE FROM EXISTING				3.1.17, 2.1.2.2, and 14.2.2
		TOTAL				
11.11 PLUMBING FIXTURE REQUIREMENTS		RATIO		MALE/FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE		3.74, 11.34, 11.35, 11.4.2.4, and 11.4.2.5
a		FLOOR LEVEL/AREA		OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED
						WCs PROVIDED
		Refer to notes below		-	-	-
11.11 PLUMBING FIXTURE REQUIREMENTS continued		b		FLOOR LEVEL/AREA (repeated)	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED
				UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED	Tables 3.6.2.3.A, and 3.6.2.3.B
		Refer to notes below		-	-	-
11.12 BARRIER-FREE DESIGN		Yes - all new construction				11.3.1.2, 11.3.2, and 11.4.2.1
11.13 REDUCTION IN PERFORMANCE...		STRUCTURAL		NO		11.4.2.1
		INCREASE IN OCCUPANT LOAD		NO		11.4.2.2
		CHANGE OF MAJOR OCCUPANCY		NO		11.4.2.3
		PLUMBING		NO		11.4.2.4
		SEWAGE SYSTEMS		NO		11.4.2.5
		EXTENSION OF BUILDINGS OF COMBUSTIBLE...		NO		11.4.2.6
11.14 COMPENSATING...		COMPENSATING CONSTRUCTION PROVIDED		NO		11.4.3.1
		STRUCTURAL		NO		11.4.3.2
		INCREASE IN OCCUPANT LOAD		NO		11.4.3.3
		CHANGE OF MAJOR OCCUPANCY		NO		11.4.3.4
		PLUMBING		NO		11.4.3.5
		SEWAGE SYSTEMS		NO		11.4.3.6
		EXTENSION OF BUILDINGS OF COMBUSTIBLE...		NO		11.4.3.7
11.15 COMPLIANCE ALTERNATIVES PROPOSED		N/A				11.5.1
11.16 ALTERNATIVE SOLUTIONS		N/A				[A] 1.2.1.1, and 1.2.1.2
11.17 NOTES		Existing Building Classification: 3.2.2.26 Group A, Div 2, up to 2 Storeys, Increased Area, Sprinklered				
		Sprinkler System:		Required, provided in northwest wing only. Existing non-conforming		
		Fire Alarm System:		Required, existing		
		Standpipe System:		Required, not provided in area of scope. Existing non-conforming		
		Existing Plumbing Fixture Count (in-scope area only): 5 WCs + 5 fixtures				
		Proposed Plumbing Fixture Count (in-scope area only): 5 WCs + 1 Universal Washroom (Univ. counting as 1M and 1F per 3.7.4.2.(B)) + 6 fixtures				
		Existing Barrier-Free Fixtures: None				
		Proposed Barrier-Free Fixtures: 1 Universal Washroom				
		Junior's Rooms: 45m² as per 3.3.1.22 (2)				
		1. ALL REFERENCES ARE TO DIVISION 8 OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C.				
		Ontario Building Code Data Matrix, Part 11 - © Ontario Association of Architects				

- ### DEMOLITION NOTES
- REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY AND/OR SCREEN C/W SUPPORTING STRUCTURE TO US OF EXISTING STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
 - REMOVE AND DISPOSE OF EXISTING DOOR C/W FRAME, SCREENS AND ALL HARDWARE INCLUDING THRESHOLDS, PATCH AND MAKE GOOD ALL SURFACES TO REMAIN. INCLUDES THRESHOLDS, PATCH AND MAKE GOOD ALL SURFACES TO REMAIN. INCLUDES THRESHOLDS, PATCH AND MAKE GOOD ALL SURFACES TO REMAIN. INCLUDES THRESHOLDS, PATCH AND MAKE GOOD ALL SURFACES TO REMAIN.
 - REMOVE AND DISPOSE OF EXISTING FLOORING AND BASE C/W ALL ADHESIVES/GROUT, PATCH AND MAKE GOOD EXISTING SLAB/SUBSTRATE TO ACCEPT PROPOSED FLOOR FINISH.
 - REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES C/W ALL WALL MOUNTED ACCESSORIES INCLUDING GRAB BARS, WALL PROTECTION, ALL GROUT AND ADHESIVES. DISCONNECT AND CAP SERVICES AS NECESSARY.
 - REMOVE AND DISPOSE OF EXISTING MILLWORK AND CASEWORK COMPLETE. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN AND TO ACCEPT PROPOSED WALL & FLOOR FINISH.
 - REMOVE AND DISPOSE OF EXISTING CEILING ASSEMBLY C/W DRYWALL, SUPPORTING FRAME, FASTENERS AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
 - EXISTING CEILING TO REMAIN. REMOVE AND RENTALL CEILING TILES/SHW AS REQUIRED FOR MECHANICAL AND ELECTRICAL SCOPE OF WORK. PATCH AND MAKE GOOD EXISTING SURFACES.
 - REMOVE AND DISPOSE OF EXISTING WASHROOM PARTITIONS COMPLETE INCLUDING ALL RELATED HARDWARE. HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSERS MOUNTED TO TOILET PARTITION.
 - REMOVE AND DISPOSE OF EXISTING EXISTING PAPER TOWEL DISPENSER.
 - REMOVE AND DISPOSE OF EXISTING HYDRONIC HEATER. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE.
 - REMOVE AND HAND OVER TO OWNER EXISTING SOAP DISPENSER(S).
 - REMOVE AND HAND OVER TO OWNER EXISTING MIRROR(S).
 - REMOVE AND DISPOSE OF EXISTING WALL TILE C/W ALL ADHESIVES/GROUT. PATCH AND MAKE GOOD EXISTING WALLS TO ACCEPT PROPOSED WALL FINISH.
 - REMOVE AND DISPOSE OF EXISTING WINDOW SILL C/W SHIMS AND ASSOCIATED ANCHORS.
 - REMOVE AND DISPOSE OF EXISTING DISPOSAL UNIT.
 - REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY FOR PROPOSED DOOR. REFER TO DOOR SCHEDULE FOR SIZE OF OPENING. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
 - REMOVE AND HAND OVER TO OWNER SANITARY NAPKIN DISPOSAL.
 - REMOVE AND HAND OVER TO OWNER EXISTING HAND DRYERS COMPLETE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE.
 - REMOVE AND DISPOSE OF EXISTING GRAB BAR.
 - REMOVE AND HAND OVER TO OWNER EXISTING SANITARY NAPKIN DISPENSER.
 - REMOVE AND HAND OVER TO OWNER EXISTING CHANGE TABLE.
 - REMOVE AND DISPOSE OF EXISTING STAINLESS STEEL PLATE COVER, REFL OPENING WITH WALL ASSEMBLY TYPE W-1 AND MAKE FLUSH WITH EXISTING ADJACENT WALL TYPE TO REMAIN TO ACCEPT NEW WALL FINISH AND ENSURE SMOOTH TRANSITION.
 - SAW CUT, REMOVE, AND DISPOSE OF PORTION OF EXISTING CONCRETE FLOOR ASSEMBLY TO ACCOMMODATE SCOPE OF WORK. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND SIZE. DIMENSIONS SHOWN ARE APPROXIMATE FOR PRECING ONLY.
 - REMOVE AND DISPOSE OF EXISTING CEILING ASSEMBLY C/W GRID, CEILING TILE, SUSPENSION SYSTEM AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
 - REMOVE EXISTING OPENING FRAME COMPLETE.
 - DASHED LINE INDICATES EXTENT OF DEMOLITION.
 - REMOVE AND DISPOSE OF EXISTING WALL TILE C/W ALL ADHESIVES/GROUT. REPLACE WALL SUBSTRATE AS REQUIRED TO ACCEPT PROPOSED WALL FINISH.
 - REMOVE AND HAND OVER TO OWNER EXISTING STAINLESS STEEL BASIN. REFER TO MECH. FOR REMOVAL OF PLUMBING FIXTURE.
 - REMOVE AND HAND OVER TO OWNER EXISTING EQUIPMENT.
 - REMOVE AND HAND OVER TO OWNER EXISTING CABINETS AND MISC. ITEMS IN ROOM.
 - REMOVE AND HAND OVER TO OWNER EXISTING WALL MOUNTED CHAIRS/SEAT/CONDORED.
 - REMOVE AND HAND OVER TO OWNER EXISTING SHOWER CURTAIN AND ROD.
 - REMOVE AND HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSER.
 - PROPOSED CEILING TO MATCH EXISTING ADJACENT HEIGHT. PROVIDE SEAMLESS TRANSITION.
 - CAREFULLY REMOVE AND RENTALL EXISTING DRINKING FOUNTAIN FURTHER SOUTH AS REQUIRED TO FACILITATE WALL ADJACENT WALL CONSTRUCTION. EXTEND SERVICES SUCH AS ANY ELEC. AND MECH. CONNECTIONS FOR REINSTALLATION.

WALL ASSEMBLIES:

- [W1] EXISTING WALL TO REMAIN.
- [W1] 64 GALV. METAL STUDS (20ga.) @ 400 O.C.
- [W1] 16 GWS SHEATHING
- [W2] 16 GWS SHEATHING
- [W2] 64 GALV. METAL STUDS (20ga.) @ 400 O.C.
- [W2] 16 MINERAL FIBRE ACOUSTIC BATT CAVITY INSUL. (WHERE SHOWN)
- [W2] 16 GWS SHEATHING
- [W3] 16 GWS SHEATHING
- [W3] 64 GALV. METAL STUDS (20ga.) @ 400 O.C.
- [W4] 140 CONCRETE MASONRY UNITS
- [W5] 190 CONCRETE MASONRY UNITS

CEILING ASSEMBLIES

- [C1] EXISTING CEILING TO REMAIN
- [C1] 18 GYPSUM WALL BOARD SHEATHING
- [C1] 22 FURRING CHANNELS @ 900
- [C1] 64 CARRYING CHANNELS @ 400 o.c.
- [C2] 810x1229 ACOUSTIC CEILING TILE
- [C2] PREFINISHED METAL T-BAR SUSPENSION SYSTEM
- [C3] EXPOSED METAL DECK, STEEL STRUCTURE, AND MECHANICAL SERVICES, PAINT
- [C4] BULKHEAD
- [C4] 18 GYPSUM WALL BOARD SHEATHING
- [C4] 64 CARRYING CHANNELS @ 400 o.c.
- [C4] SUSPENSION SYSTEM

DRAWING NOTES

- 1500 BARRIER-FREE PUSH DOOR OPERATOR PUSH BUTTON.
- HANDWASH SINK
- SOAP DISPENSER
- HAND DRYER
- SANITARY NAPKIN DISPOSAL
- COAT HOOK
- SHELF 100mm DEEP
- 610 X 914 MIRROR, CENTERED ON SINK BELOW
- WALL MOUNTED TOILET
- TOILET TISSUE DISPENSER
- 750 X 750 L-SHAPED GRAB BAR
- 380(112) HORIZONTAL GRAB BAR 750 LONG, CENTERED OVER TOILET
- SOLID SURFACE WINDOW SILL, MATCH EXISTING DIMENSIONS AND PROVIDE CONTINUOUS SEALANT AT MATERIAL TRANSITION/JUNCTIONS.
- WALL ASSEMBLY TO BE ADDED ON TOP OF EXISTING KNEE WALL.
- COUNTER SKIRT
- EMERGENCY CALL BUTTON, LOCATED 910mm ABOVE FINISHED FLOOR, CIRC 3.8 X 120. PROVIDE SIGNAGE "IN THE EVENT OF AN EMERGENCY PULL EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE" IN LETTERS AT 25mm HIGH W/ 6mm STROKE, CENTERED ON EMERGENCY CALL BUTTON. REFER TO SPECIFICATION AND COORDINATE WITH ELECTRICAL DRAWINGS.
- LIGHT FIXTURE, REFER TO ELECTRICAL
- FULL HEIGHT WASHROOM PARTITION
- STAINLESS STEEL SHELF
- ANTI-LIGATURE COAT HOOK
- 460x460 WALL MOUNTED ACCESS PANEL, MOUNTED 150 AFF TO BOTTOM EDGE (TYP.)
- PROVIDE SEAMLESS TRANSITION FROM EXISTING TO PROPOSED GYPSUM CEILING (TYP.)
- 360x300 WALL MOUNTED ACCESS PANEL
- UNDERPIRSE OF BULKHEAD TO BE 200 AFF
- PROVIDE TRANSITION TRIM FOR SEAMLESS TRANSITION BETWEEN EXISTING CEILING AND PROPOSED GYPSUM CEILING

FINISH LEGEND

FLOOR FINISH

- F1 TILE FINISH
- F2 SEALED CONCRETE
- F3 CARPET TILE

WALL FINISH

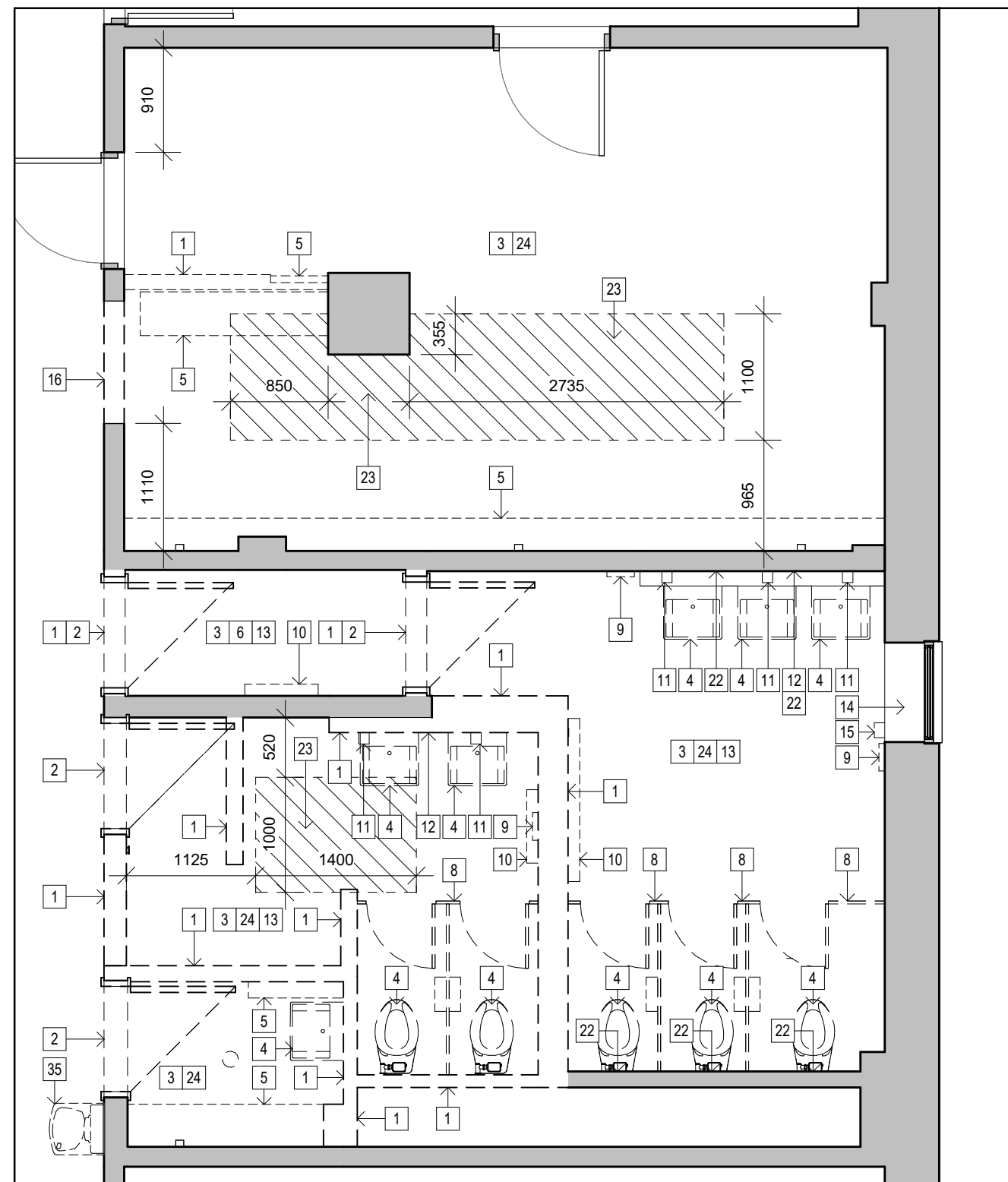
- WX1 PAINT TO MATCH EXISTING
- W1 TILE FINISH
- W2 PAINT FINISH

WALL BASE

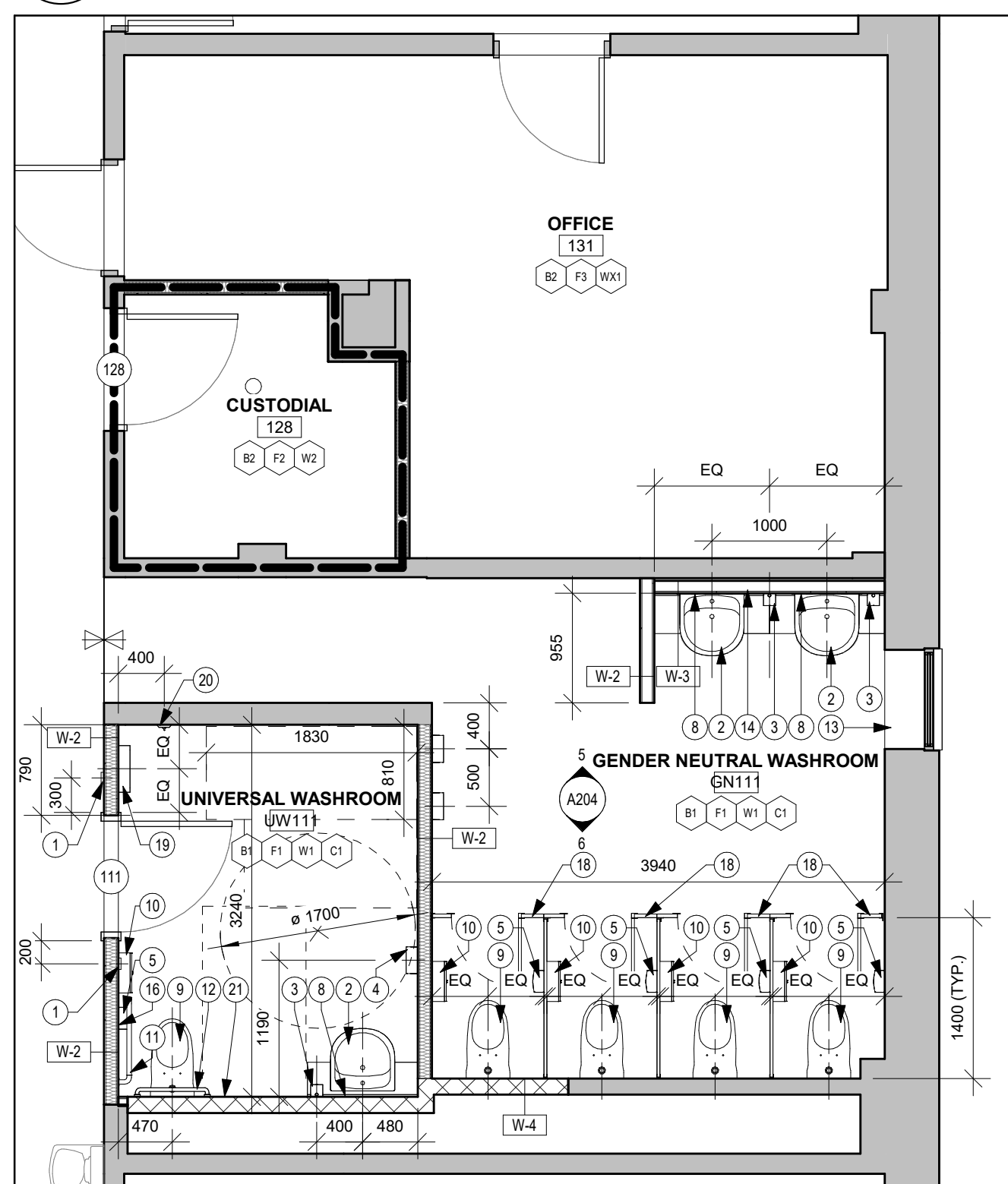
- B1 TILE BASE
- B2 RUBBER BASE

CEILING FINISH

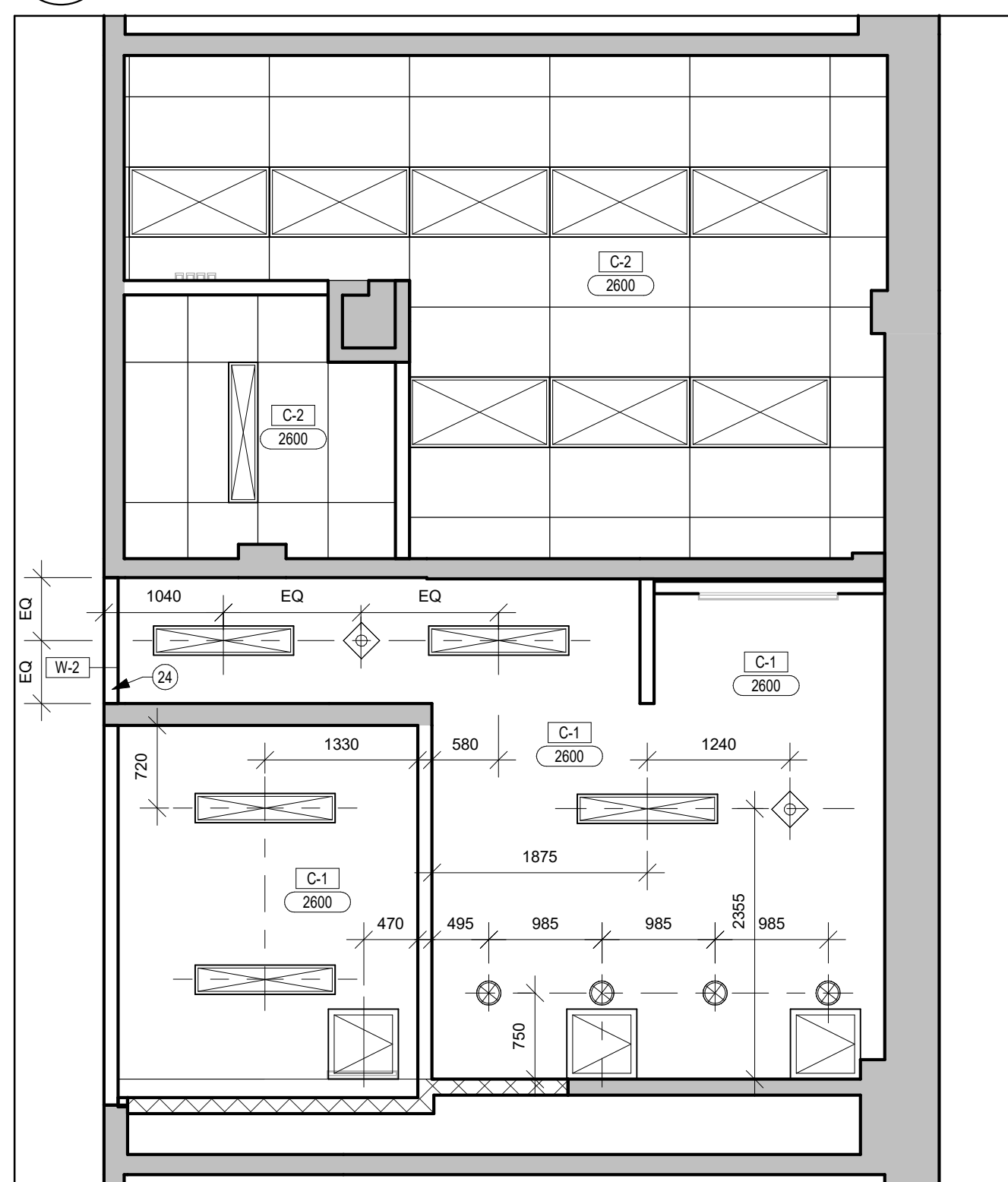
- C1 PAINT FINISH



2 ENLARGED PLAN - WSHRM DEMO
A204 Scale: 1: 50



3 ENLARGED PLAN - WSHRM
A204 Scale: 1: 50



4 ENLARGED CEILING PLAN - WSHRM
A204 Scale: 1: 50

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR DESIGN MEMO	2025-02-10
2	ISSUED FOR 100% OWNER REVIEW	2025-03-02
3	ISSUED FOR BID & PERMIT	2025-03-13
4	ISSUED FOR ADDENDUM 1 AND PERMIT UPDATE	2025-04-02
5	ISSUED FOR BID	2025-04-30

CLIENT

UNIVERSITY OF GUELPH

50 Stone Rd. E. Guelph, ON N1G 2W1

PROJECT

U of G WASHROOM & ADO UPGRADES
U of G Project No.: 621412

TITLE

LANDSCAPE ARCHITECTURE

124 Reynolds Walk, Guelph, ON N1G 3B9

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SCALE: AS NOTED
DATE: 01/13/25
PROJECT NO.: 2025-0006-10
DRAWN BY: JN
CHECKED BY: AF

SHEET NO.:
A204