

DRAWING LIST

ARCHITECTURE	
A003	LEGENDS AND NOTES
A201	UNIVERSITY CENTRE
A202	UNIVERSITY CENTRE ADO'S
A204	LANDSCAPE ARCHITECTURE

M001	LEGEND, ROOM SCHEDULE AND DRAWING LIST
M002	MECHANICAL SPECIFICATIONS
M201	UNIVERSITY CENTRE PLUMBING, DRAINAGE, AND HVAC
M204	LANDSCAPE ARCHITECTURE PLUMBING, DRAINAGE, AND HVAC

E001	ELECTRICAL NOTES, LEGENDS, AND DRAWING LIST
E002	ELECTRICAL SPECIFICATIONS
E201	UNIVERSITY CENTRE - POWER & LIGHTING LAYOUTS
E202	LANDSCAPE ARCHITECTURE - POWER & LIGHTING LAYOUTS
E204	DOOR OPERATOR LAYOUTS - UNIVERSITY CENTRE
E301	ELECTRICAL NOTES, SCHEDULES & DRAWING LIST
E302	ELECTRICAL SPECIFICATIONS
E303	POWER LAYOUTS - SCIENCE COMPLEX & MACNAUGHTON

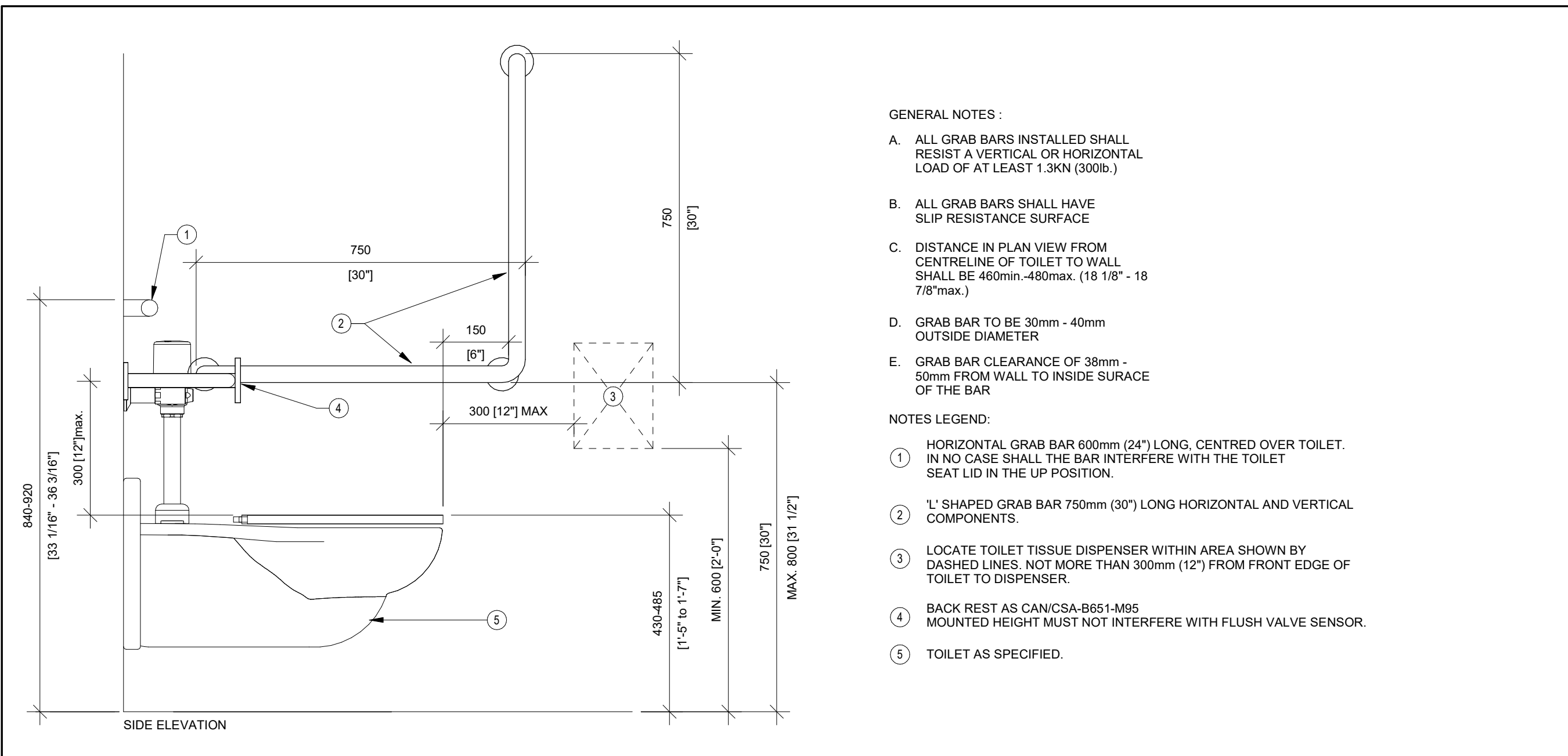


UNIVERSITY OF GUELPH

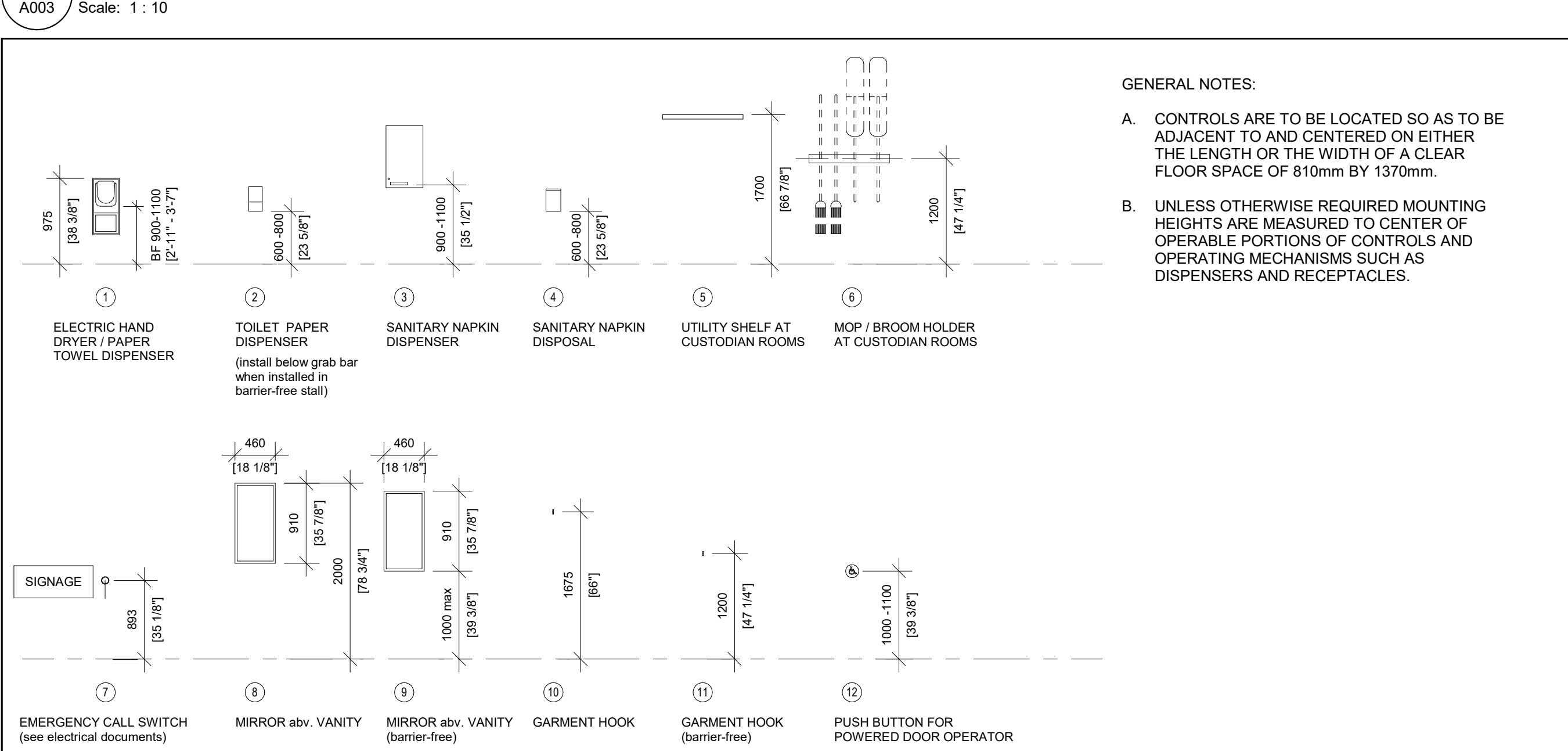
U of G WASHROOM & ADO UPGRADES

Athletics Centre - Building 050
UG PN: 621412

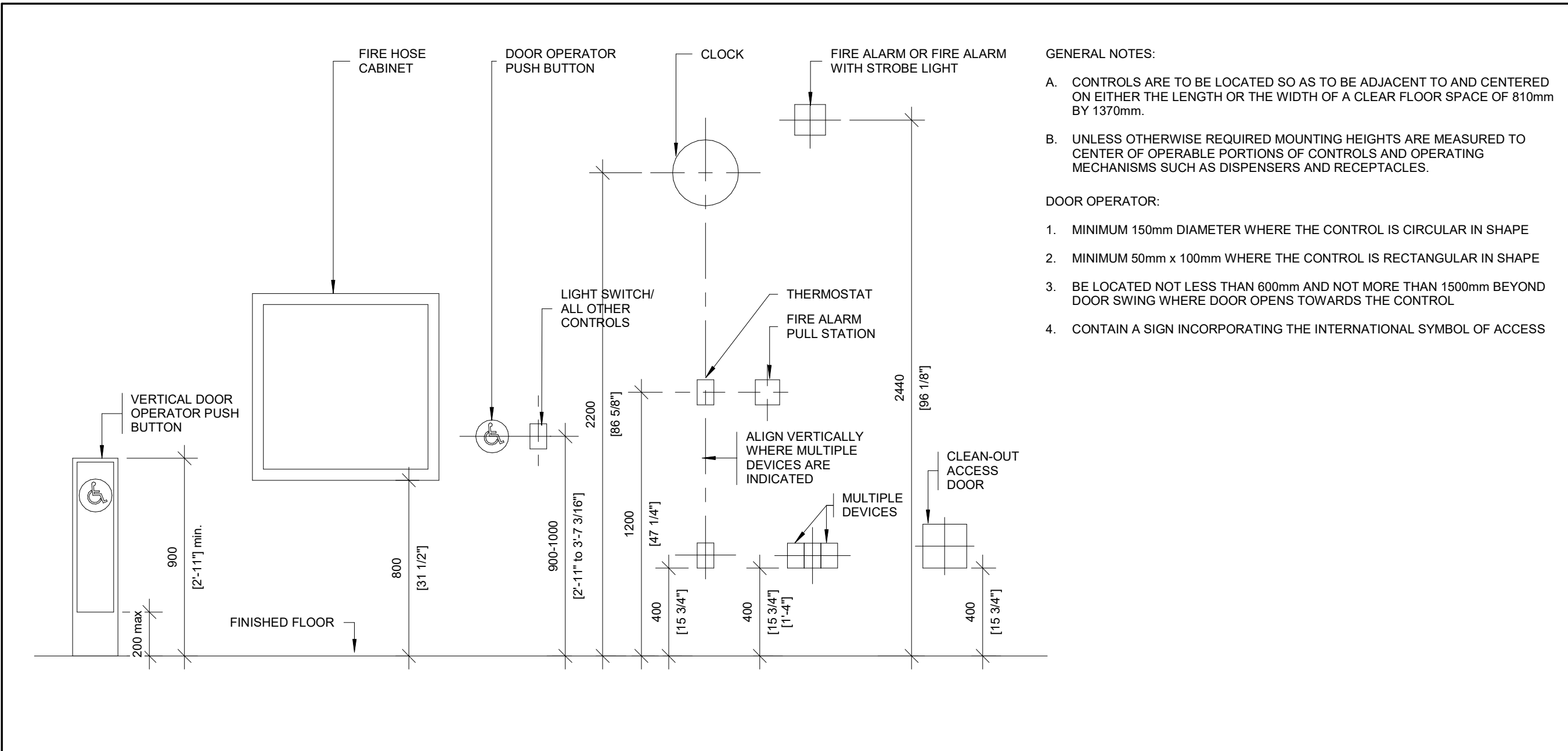
WalterFedy Project No.: 2026-0006-10
ISSUED FOR BID & PERMIT April 2026



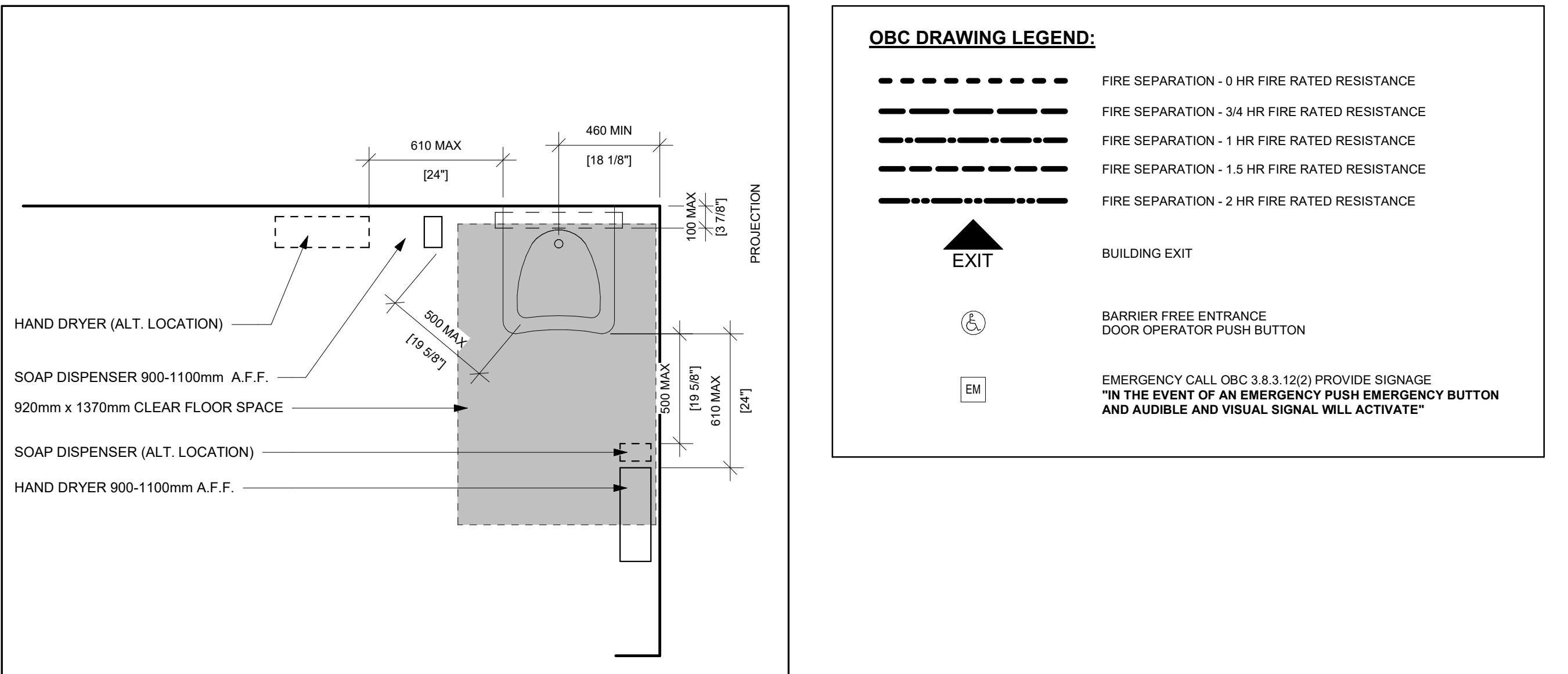
1 B.F. 'L' GRAB BAR AND ACCESS. FOR SENSOR TOILETS W/O SEAT LID
Scale: 1 : 10



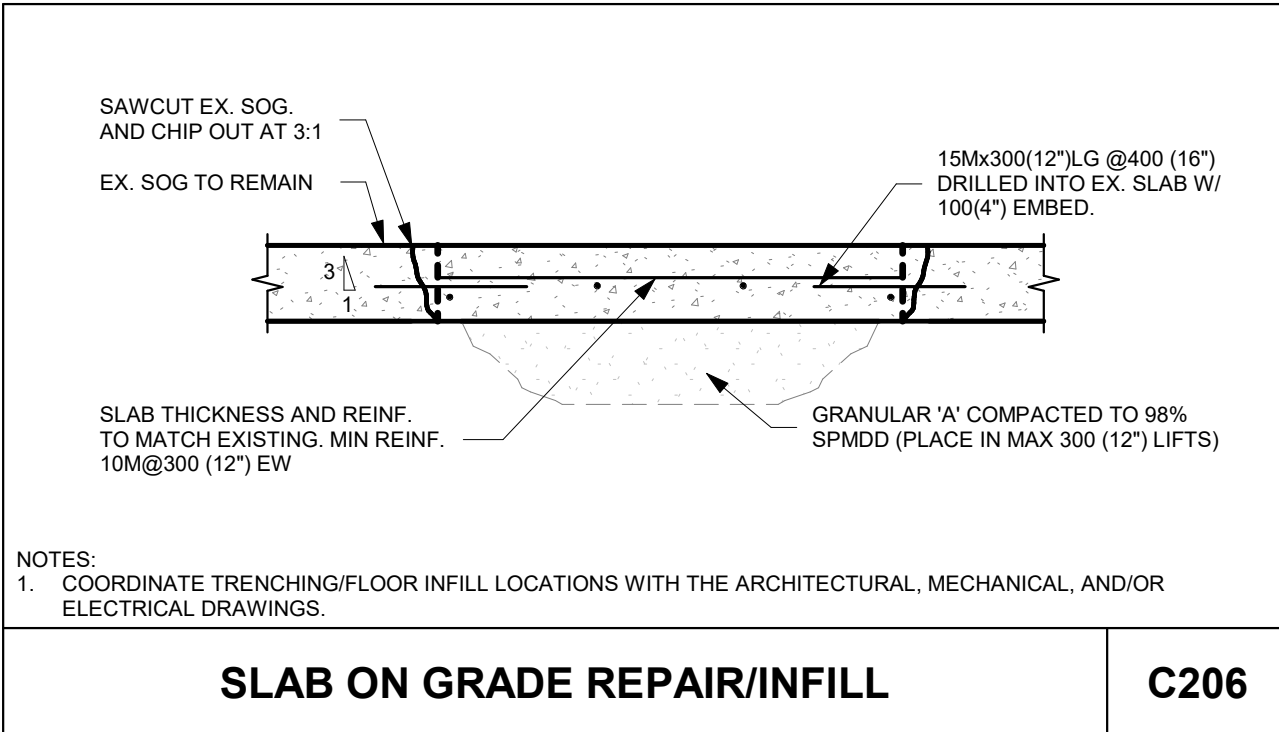
2 10000-6 Typical Washroom Accessory Mounting Heights
Scale: 1 : 50



3 10000-7 Typical Fixture Mounting Heights Elevation
Scale: 1 : 20

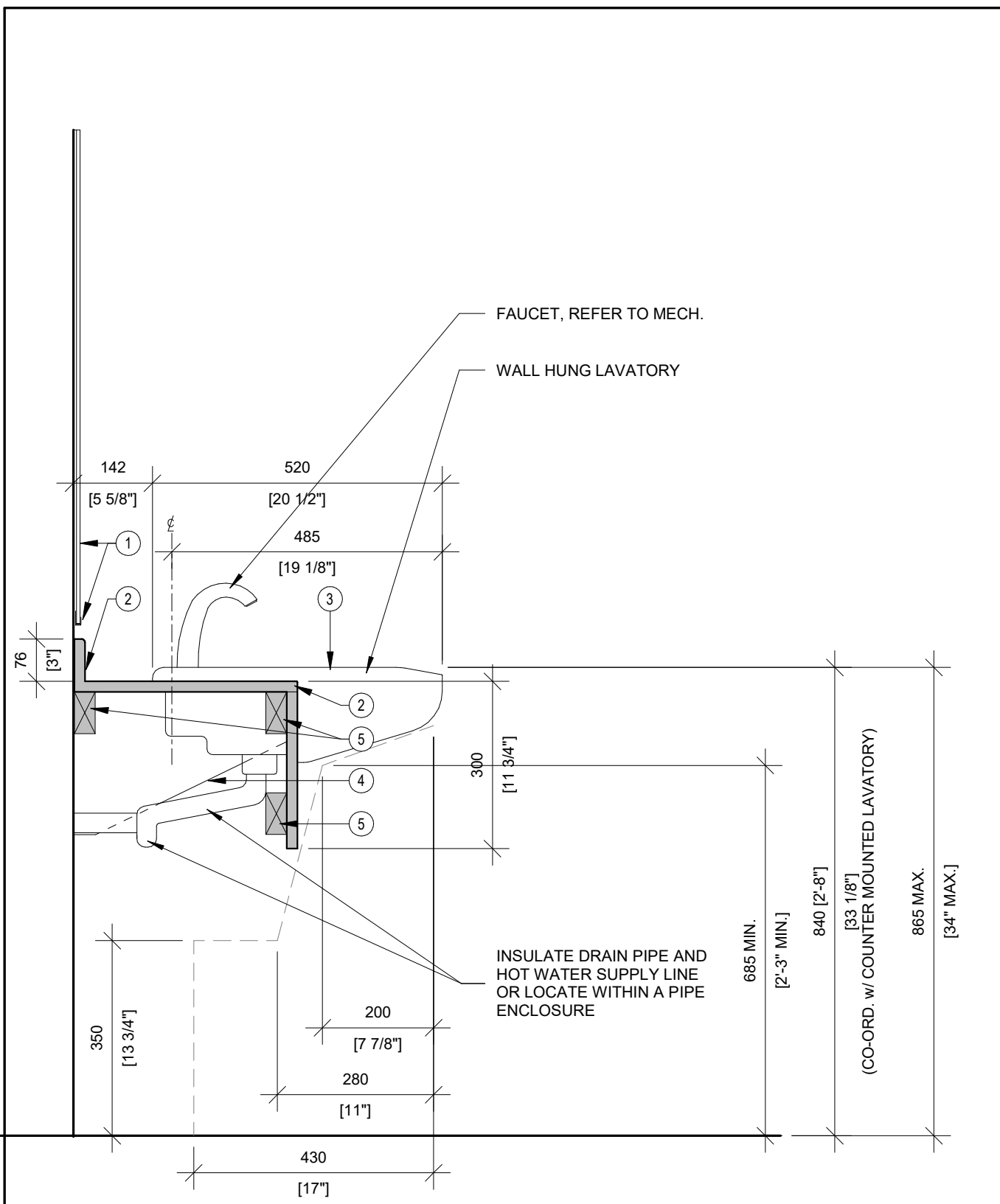


6 BARRIER-FREE LAVATORY PLAN
Scale: 1 : 20



SLAB ON GRADE REPAIR/INFILL

C206

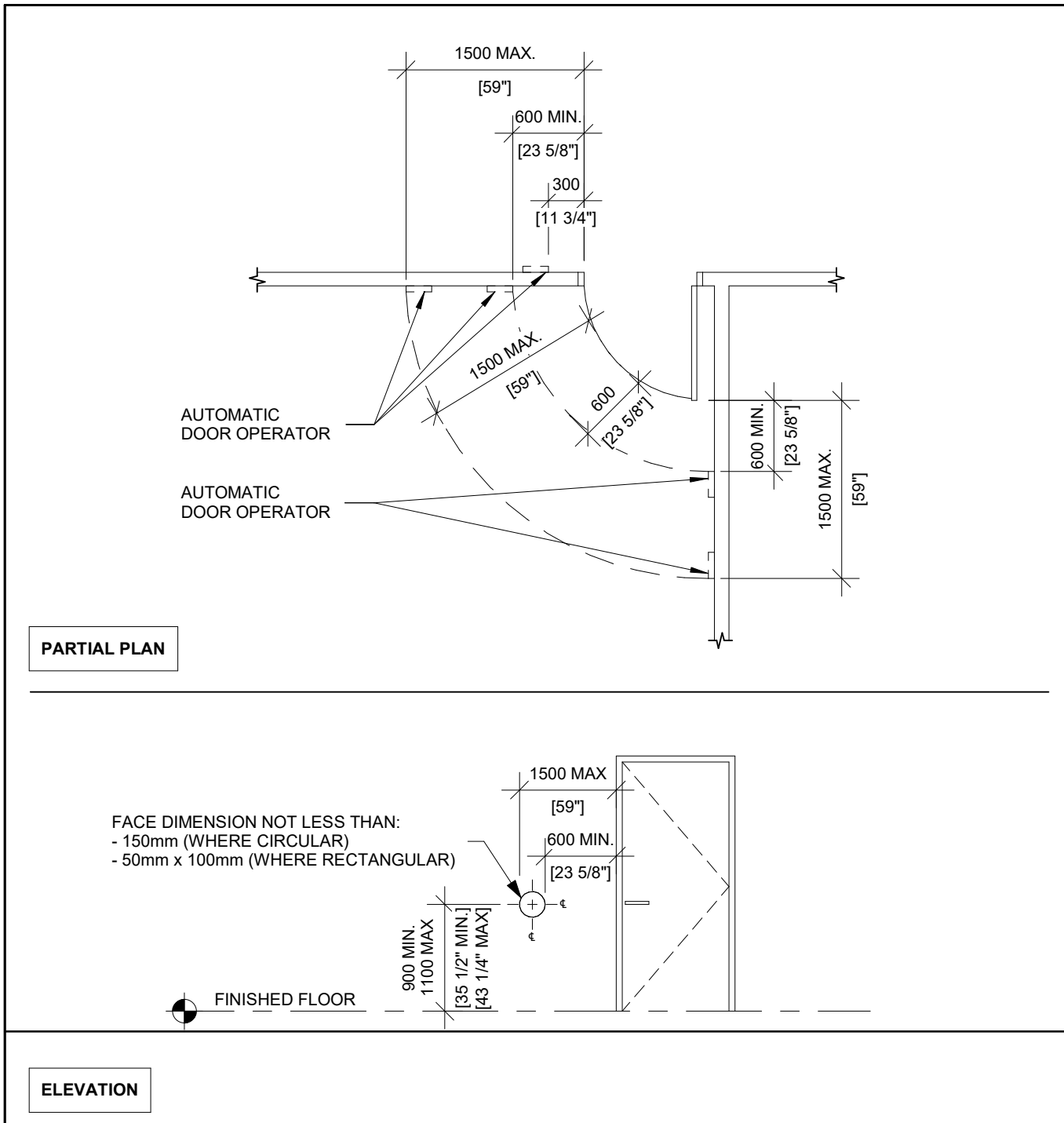


- GENERAL NOTES:**
- CENTERLINE OF LAVATORY AND SIDE WALL NOT LESS THAN 460mm.
 - LAVATORY MAY BE MOUNTED IN A VANITY PROVIDED THE ABOVE CLEARANCES ARE MAINTAINED AND A MINIMUM 50mm WIDE x 1370mm DEEP FLOOR SPACE TO ALLOW FORWARD APPROACH, OF WHICH MAXIMUM 500mm IS LOCATED UNDER LAVATORY IS PROVIDED.
 - CONTROLS ARE TO BE LOCATED SO AS TO BE ADJACENT TO AND CENTERED ON EITHER THE LENGTH OR THE WIDTH OF A CLEAR FLOOR SPACE OF 910mm x 1370mm.
 - UNLESS OTHERWISE REQUIRED MOUNTING HEIGHTS ARE MEASURED TO CENTER OF OPERABLE PORTIONS OF CONTROLS AND OPERATING MECHANISMS SUCH AS DISPENSERS AND RECEPTACLES.

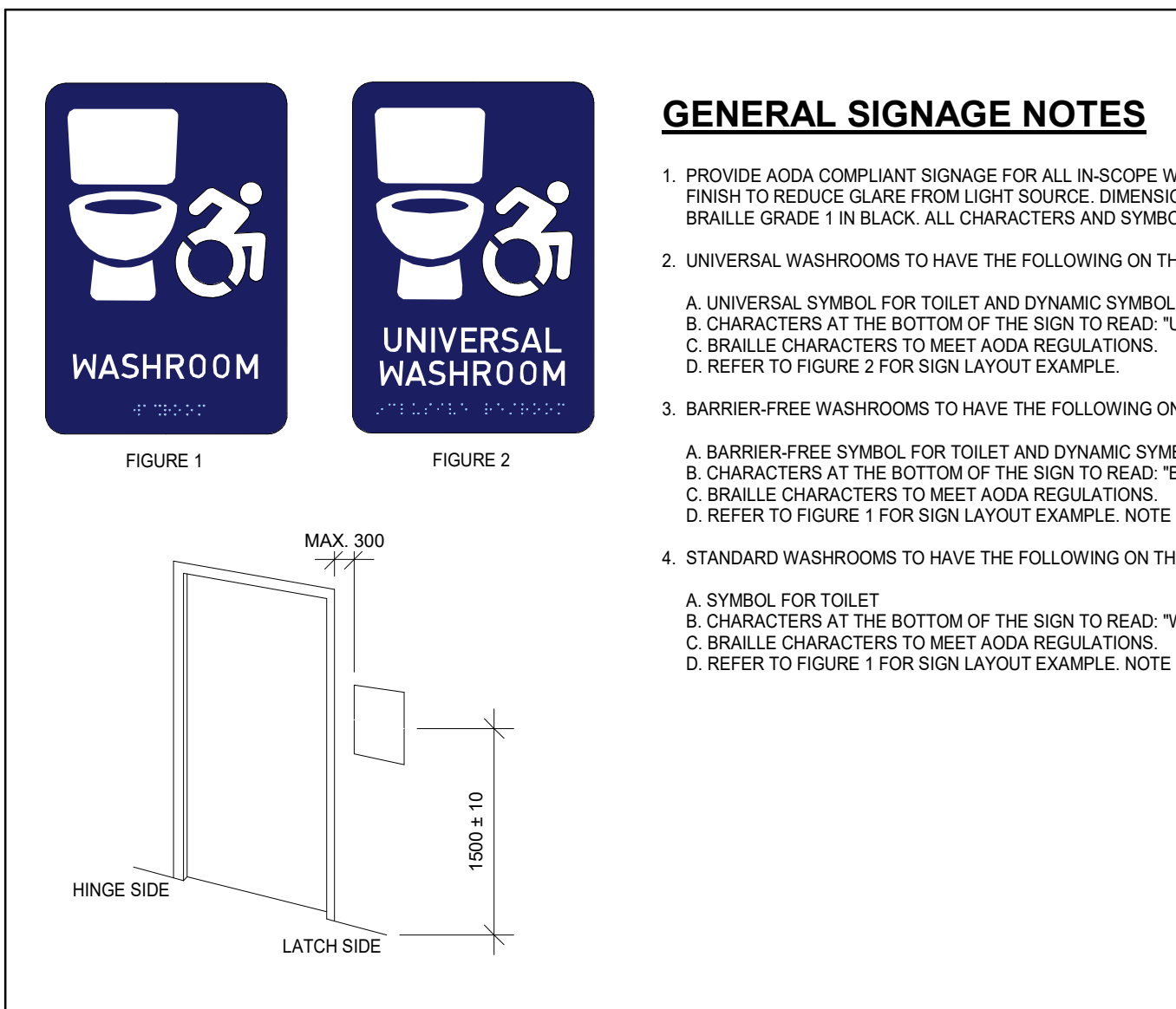
GENERAL NOTES:

- CENTERLINE OF LAVATORY AND SIDE WALL NOT LESS THAN 460mm.
- LAVATORY MAY BE MOUNTED IN A VANITY PROVIDED THE ABOVE CLEARANCES ARE MAINTAINED AND A MINIMUM 50mm WIDE x 1370mm DEEP FLOOR SPACE TO ALLOW FORWARD APPROACH, OF WHICH MAXIMUM 500mm IS LOCATED UNDER LAVATORY IS PROVIDED.
- CONTROLS ARE TO BE LOCATED SO AS TO BE ADJACENT TO AND CENTERED ON EITHER THE LENGTH OR THE WIDTH OF A CLEAR FLOOR SPACE OF 910mm x 1370mm.
- UNLESS OTHERWISE REQUIRED MOUNTING HEIGHTS ARE MEASURED TO CENTER OF OPERABLE PORTIONS OF CONTROLS AND OPERATING MECHANISMS SUCH AS DISPENSERS AND RECEPTACLES.

4 SECTION DETAIL BARRIER FREE VANITY
Scale: 1 : 10



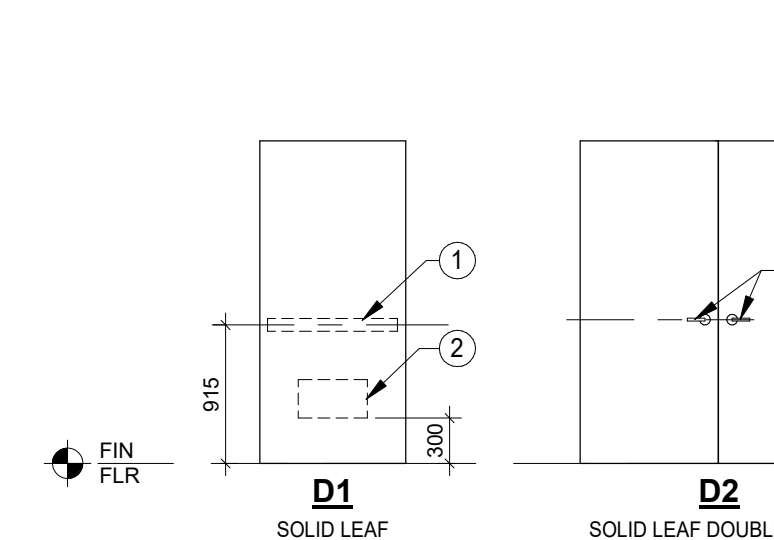
5 ADO TYPICAL MOUNTING DETAIL
Scale: 1 : 50



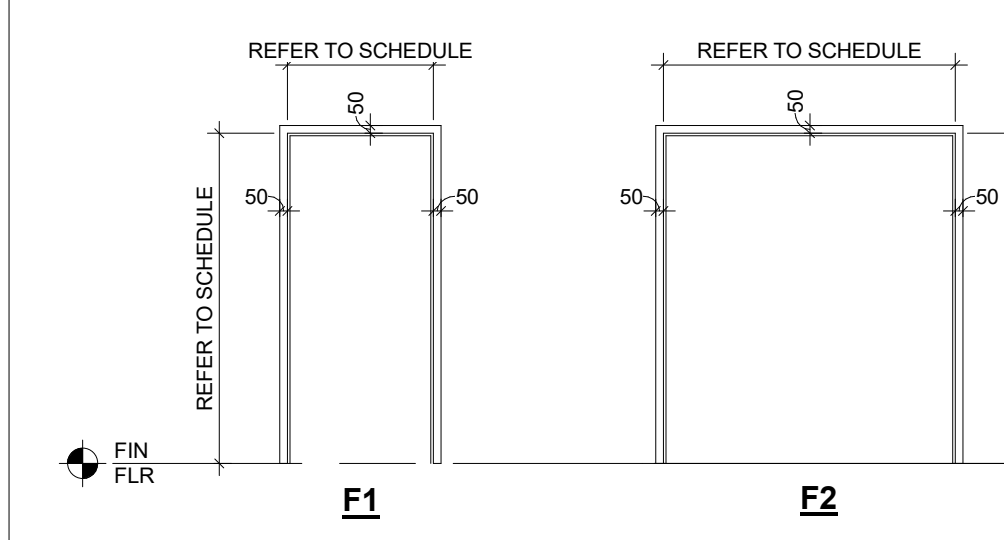
10 TYPICAL DOOR SIGNAGE
Scale: NTS

- GENERAL DEMOLITION NOTES**
- THE PURPOSE OF THE DEMOLITION DRAWINGS IS TO SHOW GENERAL SCOPE OF DEMOLITION ONLY. THESE DRAWINGS HAVE BEEN DEVELOPED FROM REFERENCE FILES WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. CONTRACTOR TO VERIFY THESE DRAWINGS, INCLUDING ALL DIMENSIONS, AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL VERIFY AND CONFIRM THE COMPLETE SCOPE OF WORK DURING THE TENDER PERIOD BY ATTENDING SITE VISITS AND ALLOW FOR A REASONABLE QUANTITY OF UNFORESEEN HIDDEN DEMOLITION AND REMOVAL NOT SHOWN ON THESE DRAWINGS.
 - DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES. REFER TO SPECIFICATIONS FOR INTERIM LIFE SAFETY MEASURES.
 - THE CONTRACTOR SHALL EXECUTE ALL DEMOLITION WORK AS REQUIRED TO FACILITATE THE PROPOSED WORK AND COORDINATE ACTIVITIES ACCORDINGLY WITH THE WORK OF THE TRADES.
 - EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES. REPLACE OR REPAIR ANY FINISHES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION (E.G., CEILING GRID, CEILING TILE, WALL COVERING, FLOOR COVERINGS, ETC.). CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR, AND MAKE GOOD ALL DAMAGE TO ADJACENT FINISHED SURFACES AND ASSEMBLIES.
 - REFER TO MECHANICAL AND ELECTRICAL SPECIFICATION, DRAWINGS AND DEMOLITION NOTES FOR DETAILS OF SCOPE OF MECHANICAL AND ELECTRICAL DEMOLITION.
 - REPAIR ANY DAMAGED FIRE-RATED ASSEMBLIES TO THEIR ORIGINAL SPECIFICATION, UNLESS OTHERWISE NOTED. VERIFY THAT CONSTRUCTION OF WALLS WITHIN THE AREA OF RENOVATION MEETS THE FIRE PROTECTION RATINGS DESIGNATED ON THE PLANS. MAKE ANY REPAIRS OR MODIFICATIONS NECESSARY TO BRING THE CONSTRUCTION INTO COMPLIANCE WITH THE FIRE PROTECTION RATINGS. THE CONTRACTOR SHALL VERIFY AND CONFIRM THE COMPLETE SCOPE OF WORK DURING THE TENDER PERIOD BY ATTENDING SITE VISITS AND ALLOW FOR A REASONABLE QUANTITY OF UNFORESEEN HIDDEN DEMOLITION AND REMOVAL NOT SHOWN ON THESE DRAWINGS.
 - REMOVE CONSTRUCTION AS NOTICED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJACENT WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES PER FINISH SCHEDULE OR PER INTERIOR FINISH PLANS.
 - WHERE FINISHES ARE TO BE INSTALLED ON SURFACES TO REMAIN, REMOVE THE EXISTING FINISH AND PREPARE THE EXISTING SURFACE TO RECEIVE THE PROPOSED FINISH.
 - COORDINATE WITH THE OWNER ANY ITEMS TO BE STORED AND/OR RELOCATED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE TEMPORARY REMOVAL OF ALL EQUIPMENT, FIXTURES, ACCESSORIES, ETC. PRIOR TO START OF ANY DEMOLITION WORK. COORDINATE WITH MECHANICAL & ELECTRICAL DOWNS. HANDLE ALL COMPONENTS OF EQUIPMENT CAREFULLY. CLEAN A STORE FOR RE-INSTALLATION UPON COMPLETION OF WORK AS REQUIRED (COORDINATE WITH OWNER).
 - SEE MECHANICAL, PLUMBING, AND/OR ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES (E.G., PIPING OR CONDUIT WORK [OTHER THAN THE DESIRED CONNECTIONS] IS ENCOUNTERED WHILE TRENCHING, NOTIFY THE ARCHITECT BEFORE CONTINUING.
 - CONTRACTOR TO ENSURE ALL EXIT SIGNAGE TO REMAIN AS INSTALLED AND ENSURE FIXTURES ARE OPERATIONAL. CONTRACTOR TO PROVIDE RE-REPORT AS REQUIRED. CONTRACTOR TO VERIFY THAT EXIT SIGNAGE IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT CONSTRUCTION, AND ENSURE ALL EMERGENCY LIGHT FIXTURES TO REMAIN CONNECTED ALONG EGRESS ROUTES.
 - ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF THE REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED. BRACE ALL STRUCTURES OR STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION. DO NOT CUT ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES.
 - WHEREVER POSSIBLE, RETAIN REMOVED MASONRY TO BE USED TO FILL WALL OPENINGS OF SIMILAR CONSTRUCTION.
 - WHERE CORE DRILLING UTILITIES ARE REQUIRED TO ACCOMMODATE SEEING OF SERVICE PENETRATIONS THROUGH THE CONCRETE FLOOR SLAB, THESE AREAS SHALL BE MARKED OUT ON SITE WITH LOCATIONS DIMENSIONED AND SUBMITTED TO THE CONSULTANT FOR REVIEW/APPROVAL. PRIOR TO COMMENCEMENT, STRUCTURAL OPENINGS IN CONCRETE DENSIMING WALLS AND FLOOR SLAB SHALL BE MADE BY AN EXPERIENCED AND PROFESSIONAL CORE DRILLING AND CUTTING SUB-CONTRACTOR. THE CONTRACTOR SHALL INFILL OPENINGS IN SLABS WHERE CONDUITS HAVE BEEN REMOVED OR RELOCATED.
 - NOTIFY THE ARCHITECT IMMEDIATELY IF THE REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS OR COMPONENTS WILL ADVERSELY AFFECT THE OPERATION OF MEET SYSTEMS OUTSIDE THE LIMIT OF DEMOLITION.
 - ALL DEMOLITION DEBRIS TO BE DISPOSED OF BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL DISPOSE OF DEMOLISHED MATERIALS AND DEBRIS IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AT THE END OF EACH WORK DAY EXCEPT OTHERWISE INDICATED TO BE SALVAGED OR RE-USED.
 - PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES, CONTRACTOR SHALL ARRANGE WITH THE APPROPRIATE TRADE FOR THE DISCONNECTION OF UTILITY SERVICES AFFECTING THE WORK. PRESERVE IN OPERATING CONDITION ALL ACTIVE UTILITIES TO REMAIN FUNCTIONAL DURING THE COURSE OF THE WORK. DISCONNECT AND TEMPORARILY RELOCATE EXISTING SERVICES WHERE AFFECTED BY THE SCOPE OF DEMOLITION WORK, AND WHERE NECESSARY, RECONNECT AS REQUIRED TO MAINTAIN NORMAL OPERATIONS OF THE BUILDING. THIS WORK SHALL INCLUDE, WITHOUT BEING LIMITED TO PLUMBING, DRAINAGE, HEATING, VENTILATION AND ELECTRICAL SERVICES.
 - CONTRACTOR TO PROTECT AND SUPPORT ALL EXISTING HEAT AND SMOKE DETECTORS AS APPLICABLE DURING DEMOLITION. COORDINATE ANY NECESSARY REMOVALS WITH THE PROJECT MANAGER AND FIRE ALARM CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE AND SHALL MAKE ALL REASONABLE EFFORTS AND PROVIDE ADEQUATE MEASURES TO MITIGATE AND LIMIT THE TRANSMISSION OF NOISE, VIBRATION AND DUST MIGRATION INTO ADJACENT AND/OR NEIGHBORING OCCUPIED ROOM AREAS THROUGHOUT THE COURSE OF CONSTRUCTION.
 - IF DEMOLITION OF WALL MOUNTED EQUIPMENT OR FINISHES REQUIRES EXISTING G.W.B./PLASTER UNSUITABLE FOR FINISH SURFACE, PATCH & REPAIR G.W.B. ACCORDINGLY. ALLOW FOR REMOVAL OF DAMAGED G.W.B. AS REQ.
 - DAMAGED ITEMS INDICATE WORK THAT SHALL BE REMOVED UNLESS OTHERWISE NOTED. ANY EXISTING WORK THAT IS INTENDED TO REMAIN UNDISTURBED AND IS DAMAGED RESULTING FROM THE COURSE OF THE WORK DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION THAT MATCHES EXISTING AND IS AT A LEVEL ACCEPTABLE TO THE OWNER. ALL REPAIR WORK SHALL HAVE A NEAT AND CLEAN APPEARANCE AND BE COMPATIBLE WITH EXISTING FINISHES TO MATCH. INDIVIDUAL ITEMS IDENTIFIED AS PART OF A GENERAL INSTRUCTION, SUCH AS "ALL EXISTING", ARE TO BE UNDERSTOOD TO ILLUSTRATE THE ORIGINAL INSTRUCTION AND NOT LIMITED TO JUST THOSE ITEMS IDENTIFIED ON DRAWINGS.
 - THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE AREA OF WORK UPON COMPLETION OF CONSTRUCTION ACTIVITY ON EACH WORK DAY TO ALLOW FOR THE OWNER TO RESUME OPERATIONS UNIMPEDED AS USUAL.

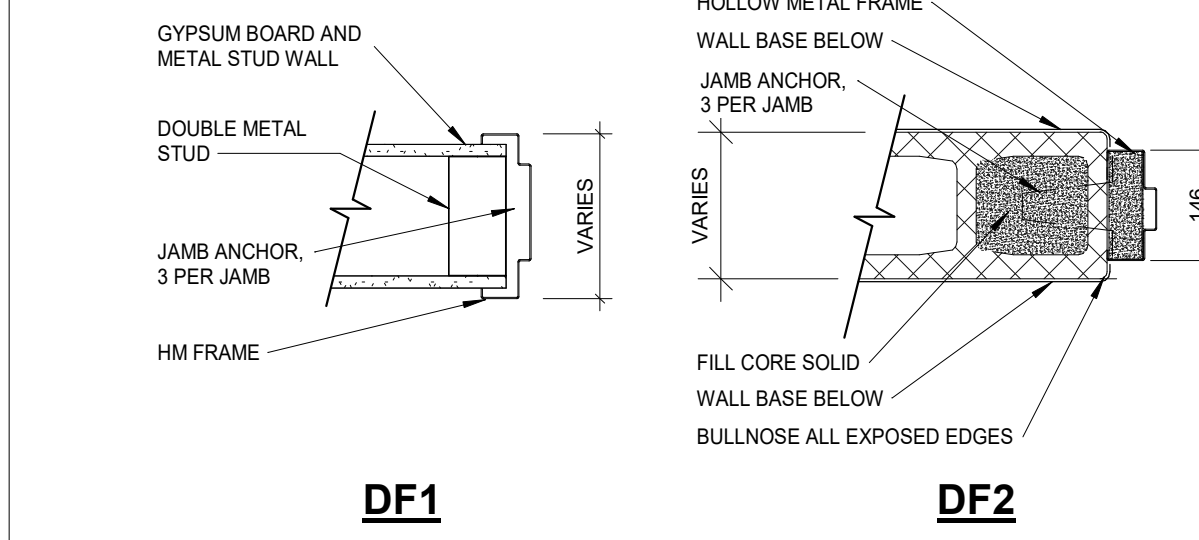
DOOR ELEVATIONS



DOOR FRAME ELEVATIONS



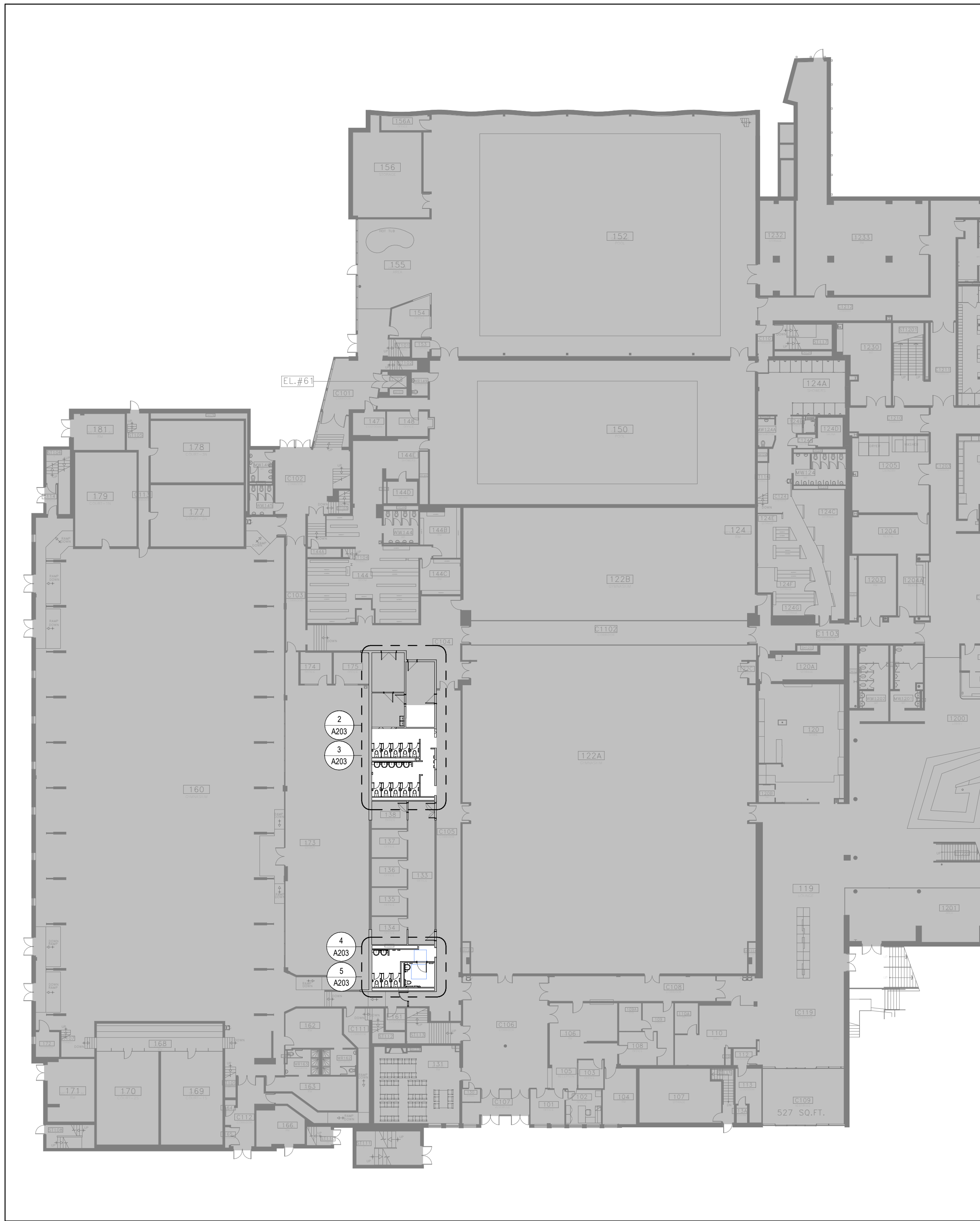
DOOR FRAME PROFILES



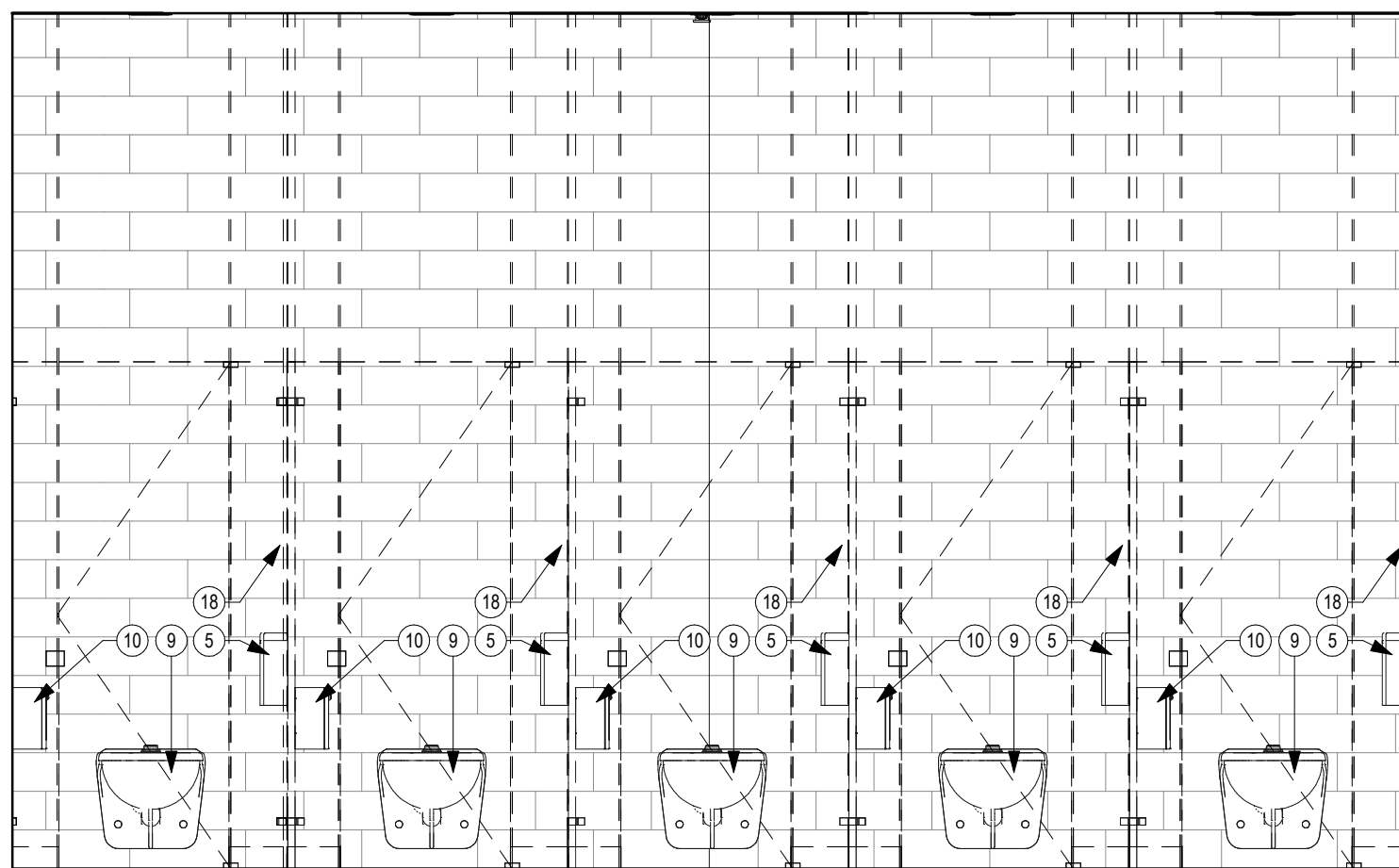
DOOR SCHEDULE LEGEND AND NOTES

- DOOR SCHEDULE ABBREVIATIONS:**
- | | | | |
|------|-----------------------|---|--|
| A | ALUMINUM | C | CASE HARDENED |
| ANO | ANODIZED | D | DOOR |
| DTOL | DOUBLE TEMPERED GLASS | E | ELECTRIC STRIKE |
| STL | STEEL | K | DOOR GRILL |
| STL | STEEL | N | 3/4" INSULANT |
| FF | FACTORY FINISH | M | SOUND SEAL |
| FR | FIRE RATED GLASS | N | STAINLESS STEEL PUSH PLATE |
| GLV | GALVANIZED METAL | O | LOCKABLE |
| HM | HOLLOW METAL | R | 12 GAUGE STAINLESS STEEL KICK PLATE |
| PNT | PAINT | S | SITE VERIFY EXISTING OPENING, REPLACE AS NOTED |
| SS | STAINLESS STEEL | T | STAINLESS STEEL DOOR PULL |
| EC | EPOXY COATED | Y | SMOKE SEAL |
| CLR | CLEAR | | |
- DOOR HARDWARE (REF. DOOR SCHEDULE):**
- | | |
|---|--|
| C | CASE HARDENED |
| D | DOOR |
| E | ELECTRIC STRIKE |
| K | DOOR GRILL |
| N | 3/4" INSULANT |
| M | SOUND SEAL |
| N | STAINLESS STEEL PUSH PLATE |
| O | LOCKABLE |
| R | 12 GAUGE STAINLESS STEEL KICK PLATE |
| S | SITE VERIFY EXISTING OPENING, REPLACE AS NOTED |
| T | STAINLESS STEEL DOOR PULL |
| Y | SMOKE SEAL |
- DOOR ELEVATION NOTES:**
- GENERAL NOTE:**
- DOOR HARDWARE, REFER TO SCHEDULE
 - GLAZING TYPE, REFER TO SCHEDULE
 - LOUVER, REFER TO SCHEDULE
- NOTE:**
- ALL DOOR CLOSERS TO BE INSIDE ROOM, UNLESS OTHERWISE NOTED (TYPE)
 - DOOR HARDWARE AND SPECIALTY DOOR HARDWARE OPTIONS TO BE COORDINATED AND APPROVED WITH OWNER
- NOTES:**
- IF A DISCREPANCY BE FOUND BETWEEN THE DOOR, FRAME, AND HARDWARE SCHEDULES AND THE DRAWING PLANS, THE CONTRACTOR SHALL REPORT THE DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL BE DEEMED LIABLE FOR THE COST INCURRED TO SUPPLY THE DOOR, FRAME AND HARDWARE.
 - ANY DOOR, FRAMES AND HARDWARE QUERIES SHALL BE IDENTIFIED DURING THE TENDERING PROCESS OR WILL BE ASSUMED INCLUDED IN THE CONTRACTORS TENDER QUOTATION.
 - DOORS, FRAMES, HARDWARE AND GLAZING LOCATED WITHIN A FIRE SEPARATION OR WALLS REQUIRED TO HAVE A FIRE RATING AS SHOWN ON THE DRAWING PLANS, SHALL BE ASSUMED TO BE FIRE RATED MEETING REQUIREMENTS FOR DOORS, FRAMES, HARDWARE AND GLAZING, TO MATCH THE ASSEMBLIES REQUIRED FIRE RESISTANCE RATING.
 - FOR DETERMINING FRAME PROFILE WIDTHS REFER TO THE DRAWING PLANS AND THE OVERALL WALL THICKNESS, AS SHOWN ON THE WALL TYPE SCHEDULE ON ARCHITECTURAL DRAWINGS.
 - ALL DOOR FRAMES IN FIRE SEPERATIONS WALLS TO BE GROUDED SOLID.
 - HEAD DETAIL IS SIMILAR TO JAMB DETAIL. FOR HOLLOW METAL DOOR FRAME HEADS PROVIDE CONTRACTOR-OUT STUD TABS FOR ANCHORING OF HEAD STUD FRAMING.
 - ALL GLAZING LOCATED IN OFFICE/ADMIN. AREAS TO BE IMPACT-SAFETY RATED TEMPERED GLASS.
 - ALL GLAZING LOCATED IN FIRE SEPERATIONS TO BE IMPACT-SAFETY RATED CERAMIC GLASS.

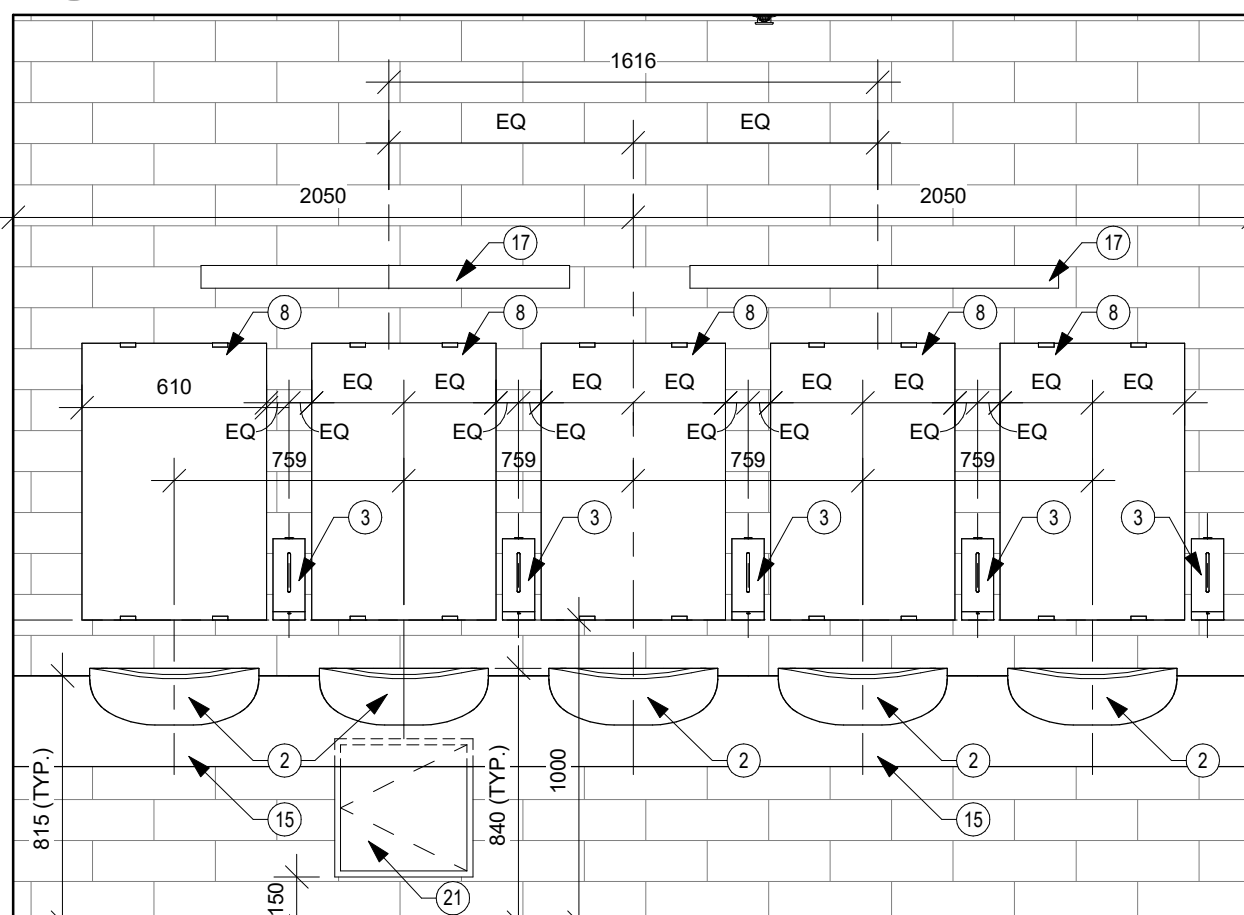
No.	ISSUANCE	DATE
1	ISSUED FOR PROGRESS REVIEW	2026-02-19
2	ISSUED FOR 100% OWNER REVIEW	2026-03-02
3	ISSUED FOR BID	2026-03-10
4	ISSUED FOR BID & PERMIT	2026-03-15
5	ISSUED FOR BID	2026-04-30



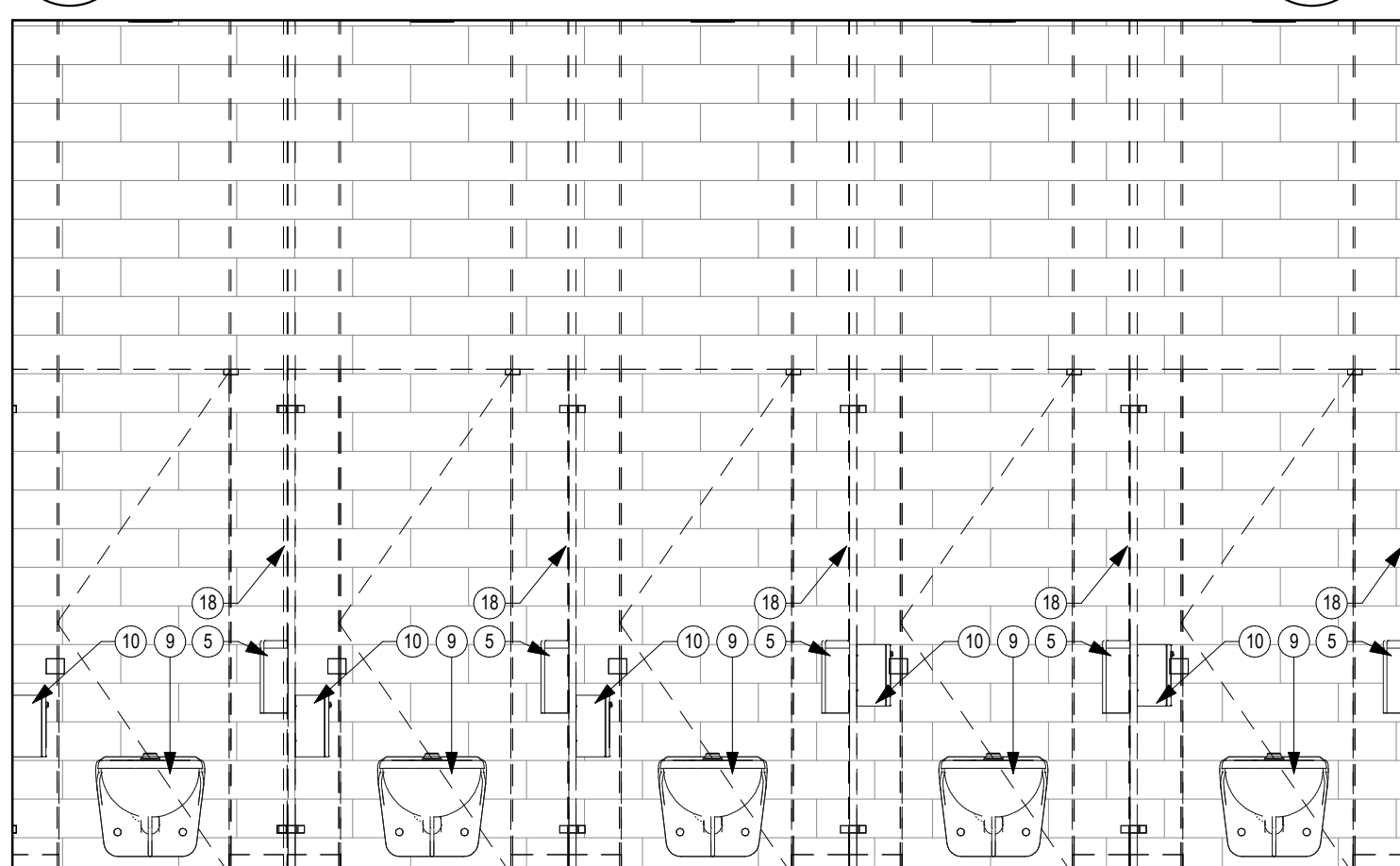
1 KEY PLAN
A203 Scale: 1: 300



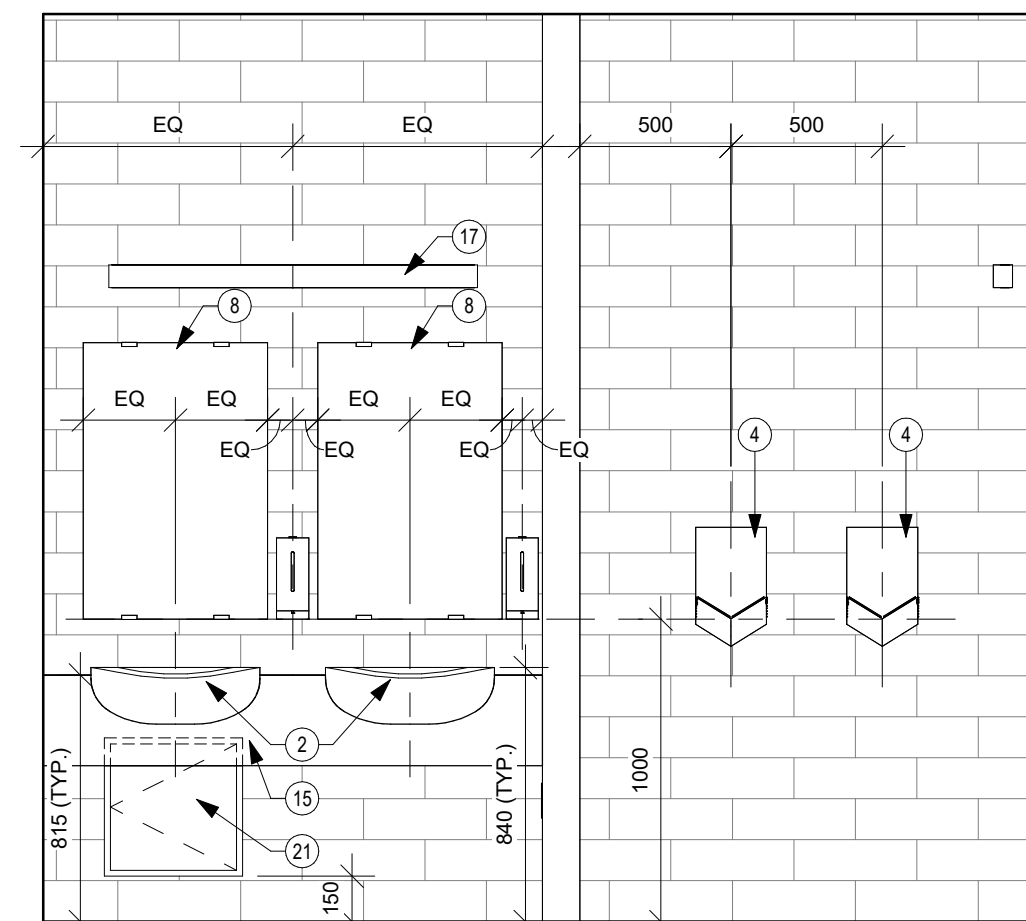
8 INTERIOR ELEVATION
A203 Scale: 1: 25



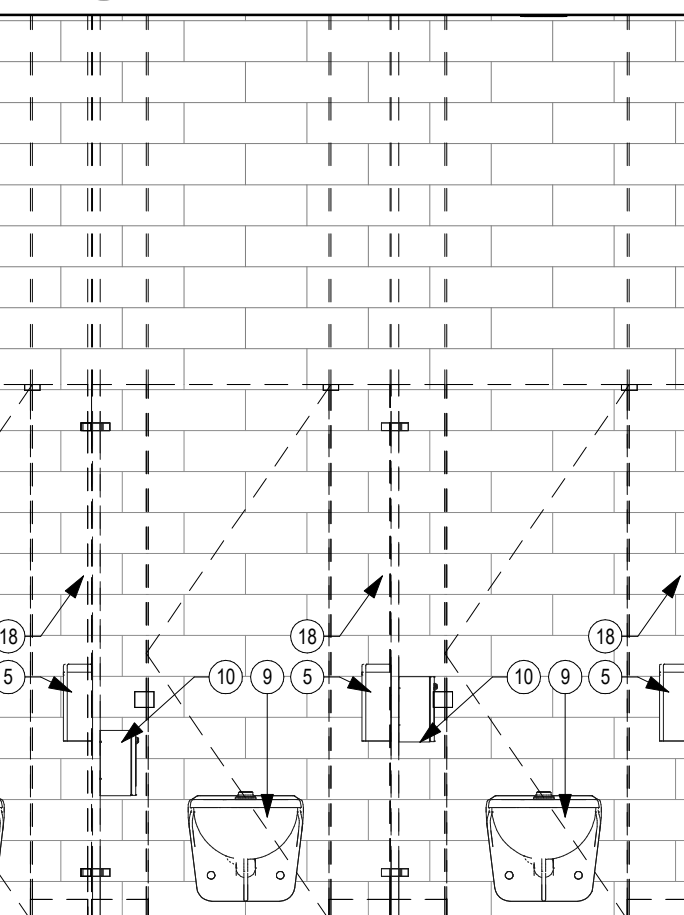
9 INTERIOR ELEVATION
A203 Scale: 1: 25



10 INTERIOR ELEVATION
A203 Scale: 1: 25



11 INTERIOR ELEVATION
A203 Scale: 1: 25



12 INTERIOR ELEVATION
A203 Scale: 1: 25

DEMOLITION NOTES

- REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY AND/OR SCREEN CW SUPPORTING STRUCTURE TO USE OF EXISTING STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
- REMOVE AND DISPOSE OF EXISTING DOOR CW FRAME, SCREENS AND ALL HARDWARE INCLUDING THRESHOLDS. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN.
- REMOVE AND DISPOSE EXISTING FLOORING AND BASE CW ALL ADHESIVES/GROUT. PATCH AND MAKE GOOD EXISTING SLAB/SUBSTRATE TO ACCEPT PROPOSED FLOOR FINISH.
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES CW ALL WALL MOUNTED ACCESSORIES INCLUDING GRAB BARS, WALL PROTECTION, ALL GROUT AND ADHESIVES. DISCONNECT AND CAP SERVICES. MAKE SAFE.
- REMOVE AND DISPOSE OF EXISTING MILLWORK AND CASEWORK COMPLETE. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN AND TO ACCEPT PROPOSED WALL & FLOOR FINISH.
- REMOVE AND DISPOSE EXISTING CEILING ASSEMBLY CW DRYWALL, SUPPORTING FRAME, FASTENERS AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADE FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
- EXISTING CEILING TO REMAIN - REMOVE AND REINSTALL CEILING TILES/GBS AS REQUIRED FOR MECHANICAL AND ELECTRICAL SCOPE OF WORK. PATCH AND MAKE GOOD EXISTING SURFACES TO REMAIN.
- REMOVE AND DISPOSE OF EXISTING WASHROOM PARTITION(S) COMPLETE INCLUDING ALL RELATED HARDWARE. HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSERS MOUNTED TO TOILET PARTITIONS.
- REMOVE AND HAND OVER TO OWNER EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND DISPOSE OF EXISTING HYDRONIC HEATER. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE.
- REMOVE AND HAND OVER TO OWNER EXISTING SOAP DISPENSER(S).
- REMOVE AND HAND OVER TO OWNER EXISTING MIRRORS.
- REMOVE AND DISPOSE OF EXISTING WINDOW SILL CW SHIMS AND ASSOCIATED ANCHORS.
- REMOVE AND DISPOSE OF EXISTING DISPOSAL UNIT.
- REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY FOR PROPOSED DOOR. REFER TO DOOR SCHEDULE FOR SIZE OF OPENING. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
- REMOVE AND HAND OVER TO OWNER EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- REMOVE AND HAND OVER TO OWNER EXISTING SANITARY NAPKIN DISPENSER.
- REMOVE AND HAND OVER TO OWNER EXISTING CHANGE TABLE.
- REMOVE AND DISPOSE OF STAINLESS STEEL PLATE COVER, INFILL OPENING WITH WALL ASSEMBLY TYPE W-1 AND MAKE FLUSH WITH EXISTING ADJACENT WALL TYPE TO REMAIN TO ACCEPT NEW WALL FINISH AND INSURE SMOOTH TRANSITION.
- SAW CUT, REMOVE, AND DISPOSE OF PORTION OF EXISTING CONCRETE FLOOR ASSEMBLY TO ACCOMMODATE SCOPE OF WORK. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND SIZE. DIMENSIONS SHOWN ARE APPROXIMATE FOR PRICING ONLY.
- REMOVE AND DISPOSE EXISTING CEILING ASSEMBLY CW GIRD, CEILING TILE, SUSPENSION SYSTEM AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADE FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
- REMOVE EXISTING OPENING FRAME COMPLETE.
- DASHED LINE INDICATES EXTENT OF DEMOLITION.
- REMOVE AND DISPOSE OF EXISTING WALL TILE CW ALL ADHESIVES/GROUT. REPLACE WALL SUBSTRATE AS REQUIRED TO ACCEPT PROPOSED WALL FINISH.
- REMOVE AND HAND OVER TO OWNER EXISTING STAINLESS STEEL BASIN. REFER TO MECH. FOR REMOVAL OF PLUMBING FIXTURE.
- REMOVE AND HAND OVER TO OWNER EXISTING EQUIPMENT.
- REMOVE AND HAND OVER TO OWNER EXISTING CABINETS AND MISC. ITEMS IN ROOM.
- REMOVE AND HAND OVER TO OWNER EXISTING WALL MOUNTED CHALKBOARD/CORVISBOARD.
- REMOVE AND HAND OVER TO OWNER EXISTING SHOWER CURTAIN AND ROD.
- REMOVE AND HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSER.
- PROPOSED CEILING TO MATCH EXISTING ADJACENT HEIGHT. PROVIDE SEAMLESS TRANSITION.
- CAREFULLY REMOVE AND REINSTALL EXISTING DRINKING FOUNTAIN FURTHER SOUTH AS REQUIRED TO FACILITATE WALL ADJACENT WALL CONSTRUCTION. EXTEND SERVICES SUCH AS ANY ELEC. AND MECH. CONNECTIONS FOR REINSTALLATION.

WALL ASSEMBLIES:

- EXISTING WALL TO REMAIN:
- W1 64 GALV. METAL STUDS (25ga) @ 400 o.c.
 - W2 16 GWS SHEATHING
 - W3 92 GALV. METAL STUDS (25ga) @ 400 o.c.
 - W4 16 GWS SHEATHING
 - W5 160 CONCRETE MASONRY UNITS

CEILING ASSEMBLIES

- EXISTING CEILING TO REMAIN:
- C1 16 GYPSUM WALL BOARD SHEATHING
 - C2 25 FURRING CHANNELS @ 800 o.c.
 - C3 610x1220 ACOUSTIC CEILING TILE
 - C4 160x1220 ACOUSTIC CEILING TILE
 - C5 160x1220 ACOUSTIC CEILING TILE
 - C6 160x1220 ACOUSTIC CEILING TILE
 - C7 160x1220 ACOUSTIC CEILING TILE
 - C8 160x1220 ACOUSTIC CEILING TILE
 - C9 160x1220 ACOUSTIC CEILING TILE
 - C10 160x1220 ACOUSTIC CEILING TILE
 - C11 160x1220 ACOUSTIC CEILING TILE
 - C12 160x1220 ACOUSTIC CEILING TILE
 - C13 160x1220 ACOUSTIC CEILING TILE
 - C14 160x1220 ACOUSTIC CEILING TILE
 - C15 160x1220 ACOUSTIC CEILING TILE
 - C16 160x1220 ACOUSTIC CEILING TILE
 - C17 160x1220 ACOUSTIC CEILING TILE
 - C18 160x1220 ACOUSTIC CEILING TILE
 - C19 160x1220 ACOUSTIC CEILING TILE
 - C20 160x1220 ACOUSTIC CEILING TILE
 - C21 160x1220 ACOUSTIC CEILING TILE
 - C22 160x1220 ACOUSTIC CEILING TILE
 - C23 160x1220 ACOUSTIC CEILING TILE
 - C24 160x1220 ACOUSTIC CEILING TILE
 - C25 160x1220 ACOUSTIC CEILING TILE
 - C26 160x1220 ACOUSTIC CEILING TILE
 - C27 160x1220 ACOUSTIC CEILING TILE
 - C28 160x1220 ACOUSTIC CEILING TILE
 - C29 160x1220 ACOUSTIC CEILING TILE
 - C30 160x1220 ACOUSTIC CEILING TILE
 - C31 160x1220 ACOUSTIC CEILING TILE
 - C32 160x1220 ACOUSTIC CEILING TILE
 - C33 160x1220 ACOUSTIC CEILING TILE
 - C34 160x1220 ACOUSTIC CEILING TILE
 - C35 160x1220 ACOUSTIC CEILING TILE
 - C36 160x1220 ACOUSTIC CEILING TILE
 - C37 160x1220 ACOUSTIC CEILING TILE
 - C38 160x1220 ACOUSTIC CEILING TILE
 - C39 160x1220 ACOUSTIC CEILING TILE
 - C40 160x1220 ACOUSTIC CEILING TILE
 - C41 160x1220 ACOUSTIC CEILING TILE
 - C42 160x1220 ACOUSTIC CEILING TILE
 - C43 160x1220 ACOUSTIC CEILING TILE
 - C44 160x1220 ACOUSTIC CEILING TILE
 - C45 160x1220 ACOUSTIC CEILING TILE
 - C46 160x1220 ACOUSTIC CEILING TILE
 - C47 160x1220 ACOUSTIC CEILING TILE
 - C48 160x1220 ACOUSTIC CEILING TILE
 - C49 160x1220 ACOUSTIC CEILING TILE
 - C50 160x1220 ACOUSTIC CEILING TILE
 - C51 160x1220 ACOUSTIC CEILING TILE
 - C52 160x1220 ACOUSTIC CEILING TILE
 - C53 160x1220 ACOUSTIC CEILING TILE
 - C54 160x1220 ACOUSTIC CEILING TILE
 - C55 160x1220 ACOUSTIC CEILING TILE
 - C56 160x1220 ACOUSTIC CEILING TILE
 - C57 160x1220 ACOUSTIC CEILING TILE
 - C58 160x1220 ACOUSTIC CEILING TILE
 - C59 160x1220 ACOUSTIC CEILING TILE
 - C60 160x1220 ACOUSTIC CEILING TILE
 - C61 160x1220 ACOUSTIC CEILING TILE
 - C62 160x1220 ACOUSTIC CEILING TILE
 - C63 160x1220 ACOUSTIC CEILING TILE
 - C64 160x1220 ACOUSTIC CEILING TILE
 - C65 160x1220 ACOUSTIC CEILING TILE
 - C66 160x1220 ACOUSTIC CEILING TILE
 - C67 160x1220 ACOUSTIC CEILING TILE
 - C68 160x1220 ACOUSTIC CEILING TILE
 - C69 160x1220 ACOUSTIC CEILING TILE
 - C70 160x1220 ACOUSTIC CEILING TILE
 - C71 160x1220 ACOUSTIC CEILING TILE
 - C72 160x1220 ACOUSTIC CEILING TILE
 - C73 160x1220 ACOUSTIC CEILING TILE
 - C74 160x1220 ACOUSTIC CEILING TILE
 - C75 160x1220 ACOUSTIC CEILING TILE
 - C76 160x1220 ACOUSTIC CEILING TILE
 - C77 160x1220 ACOUSTIC CEILING TILE
 - C78 160x1220 ACOUSTIC CEILING TILE
 - C79 160x1220 ACOUSTIC CEILING TILE
 - C80 160x1220 ACOUSTIC CEILING TILE
 - C81 160x1220 ACOUSTIC CEILING TILE
 - C82 160x1220 ACOUSTIC CEILING TILE
 - C83 160x1220 ACOUSTIC CEILING TILE
 - C84 160x1220 ACOUSTIC CEILING TILE
 - C85 160x1220 ACOUSTIC CEILING TILE
 - C86 160x1220 ACOUSTIC CEILING TILE
 - C87 160x1220 ACOUSTIC CEILING TILE
 - C88 160x1220 ACOUSTIC CEILING TILE
 - C89 160x1220 ACOUSTIC CEILING TILE
 - C90 160x1220 ACOUSTIC CEILING TILE
 - C91 160x1220 ACOUSTIC CEILING TILE
 - C92 160x1220 ACOUSTIC CEILING TILE
 - C93 160x1220 ACOUSTIC CEILING TILE
 - C94 160x1220 ACOUSTIC CEILING TILE
 - C95 160x1220 ACOUSTIC CEILING TILE
 - C96 160x1220 ACOUSTIC CEILING TILE
 - C97 160x1220 ACOUSTIC CEILING TILE
 - C98 160x1220 ACOUSTIC CEILING TILE
 - C99 160x1220 ACOUSTIC CEILING TILE
 - C100 160x1220 ACOUSTIC CEILING TILE

DRAWING NOTES

- 150/7 BARRIER-FREE PUSH DOOR OPERATOR PUSH BUTTON.
- HANDWASH SINK
- SOAP DISPENSER
- HAND DRYER
- SANITARY NAPKIN DISPOSAL
- COAT HOOK
- SHELF 100mm DEEP
- 610 X 914 MIRROR, CENTERED ON SINK BELOW
- WALL MOUNTED TOILET
- TOILET TISSUE DISPENSER
- 1750 X 750 L-SHAPED GRAB BAR
- 380(112") HORIZONTAL GRAB BAR 750 LONG, CENTERED OVER TOILET
- SOLID SURFACE WINDOW SILL, MATCH EXISTING DIMENSIONS AND PROVIDE CONTINUOUS SEALANT AT MATERIAL TRANSITIONS/JUNCTIONS.
- WALL ASSEMBLY TO BE ADDED ON TOP OF EXISTING KNEE WALL.
- COUNTER SKIRT
- EMERGENCY CALL BUTTON, LOCATED 915mm ABOVE FINISHED FLOOR, OBC 3.1.3.1(2). PROVIDE SIGNAGE. IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE. IN LETTERS AT 25mm HIGH W/ 5mm STROKE, CENTERED ON EMERGENCY CALL BUTTON. REFER TO SPECIFICATION AND COORDINATE WITH ELECTRICAL DRAWINGS.
- LIGHT FIXTURE, REFER TO ELECTRICAL.
- FULL HEIGHT WASHROOM PARTITION
- STAINLESS STEEL SHELF
- ANTI-LIGATURE COAT HOOK
- 400x400 WALL MOUNTED ACCESS PANEL, MOUNTED 150 AFF TO BOTTOM EDGE (TYP.)
- 300x300 WALL MOUNTED ACCESS PANEL
- UNDERSIDE OF BULKHEAD TO BE 2200 AFF
- PROVIDE TRANSITION FROM FLOOR SEAMLESS TRANSITION BETWEEN EXISTING CEILING AND PROPOSED GYPSUM CEILING.

FINISH LEGEND

FLOOR FINISH

- F1 TILE FINISH
- F2 SEALED CONCRETE
- F3 CARPET TILE

WALL FINISH

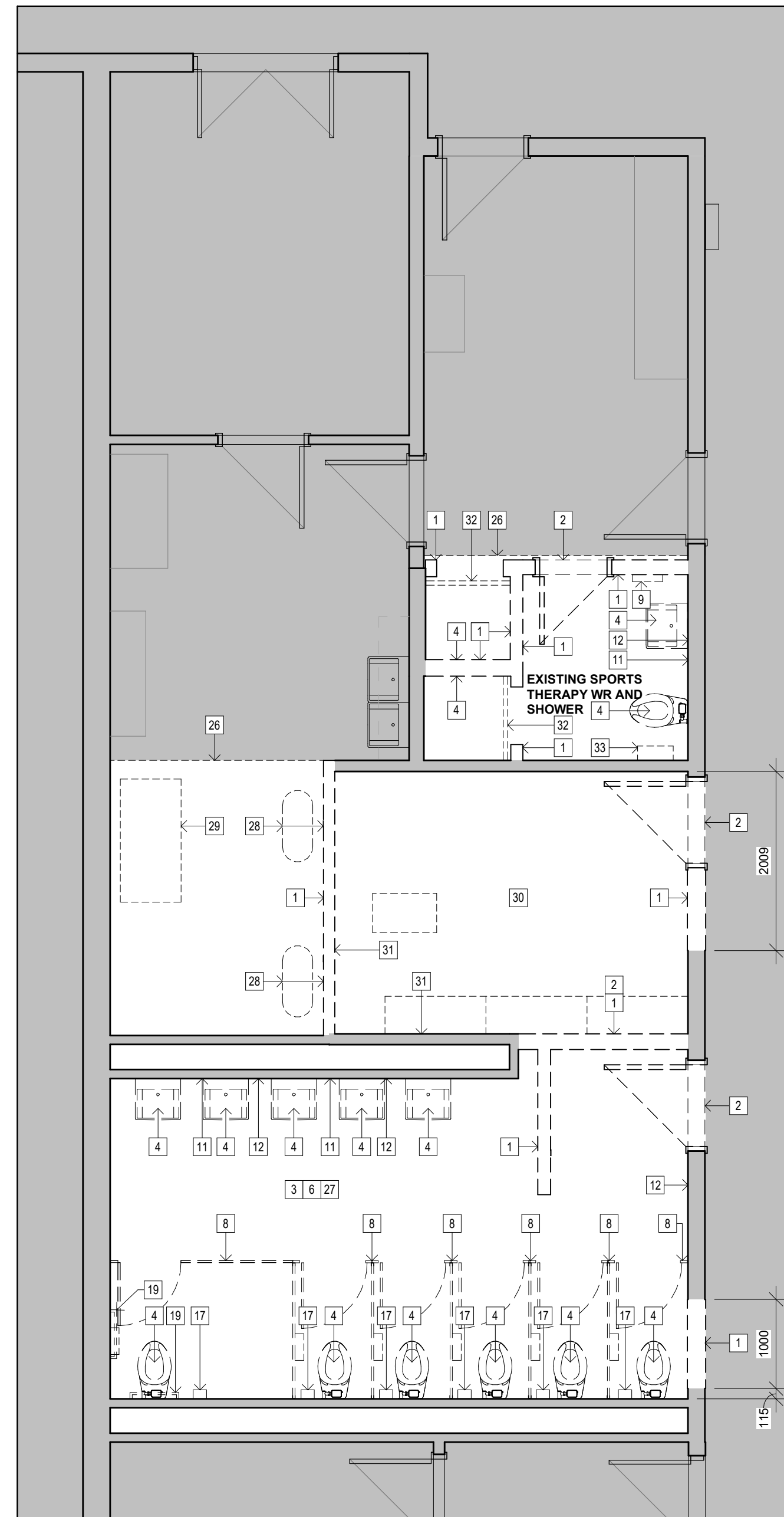
- W1 PAINT TO MATCH EXISTING
- W2 TILE FINISH
- W3 PAINT FINISH

WALL BASE

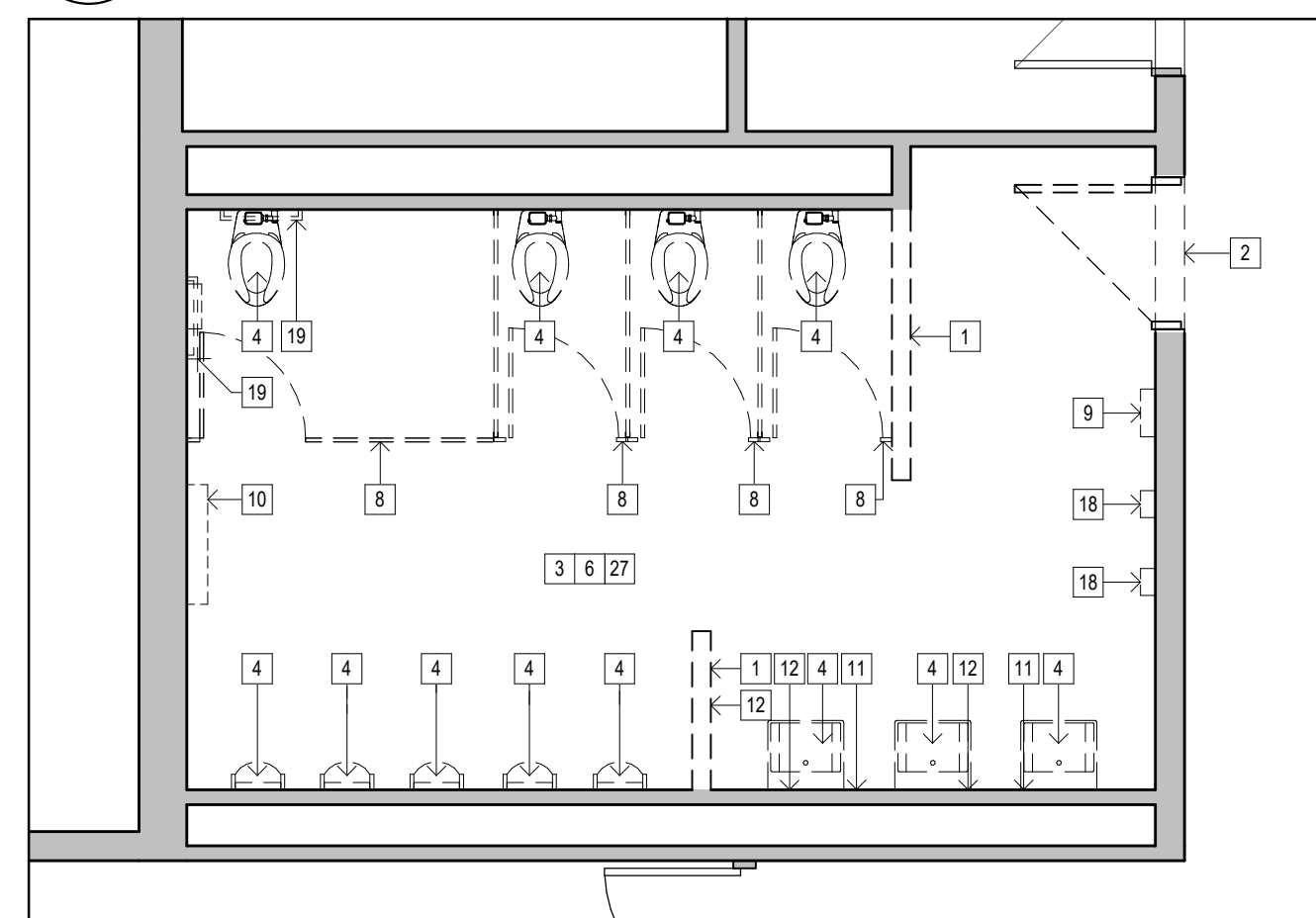
- B1 TILE BASE
- B2 RUBBER BASE

CEILING FINISH

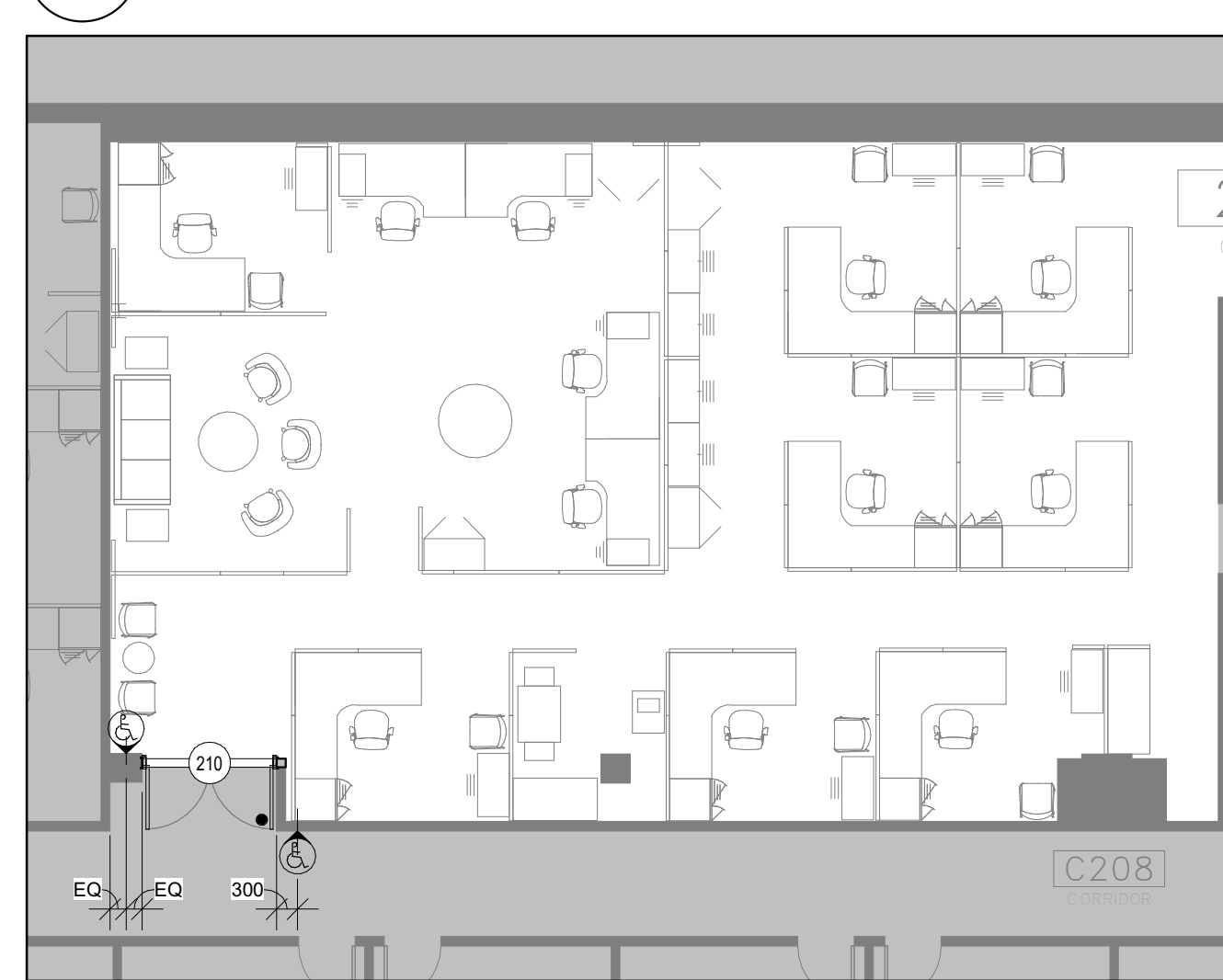
- C1 PAINT FINISH



2 ENLARGED PLAN - WSHRM 1 DEMO
A203 Scale: 1: 50



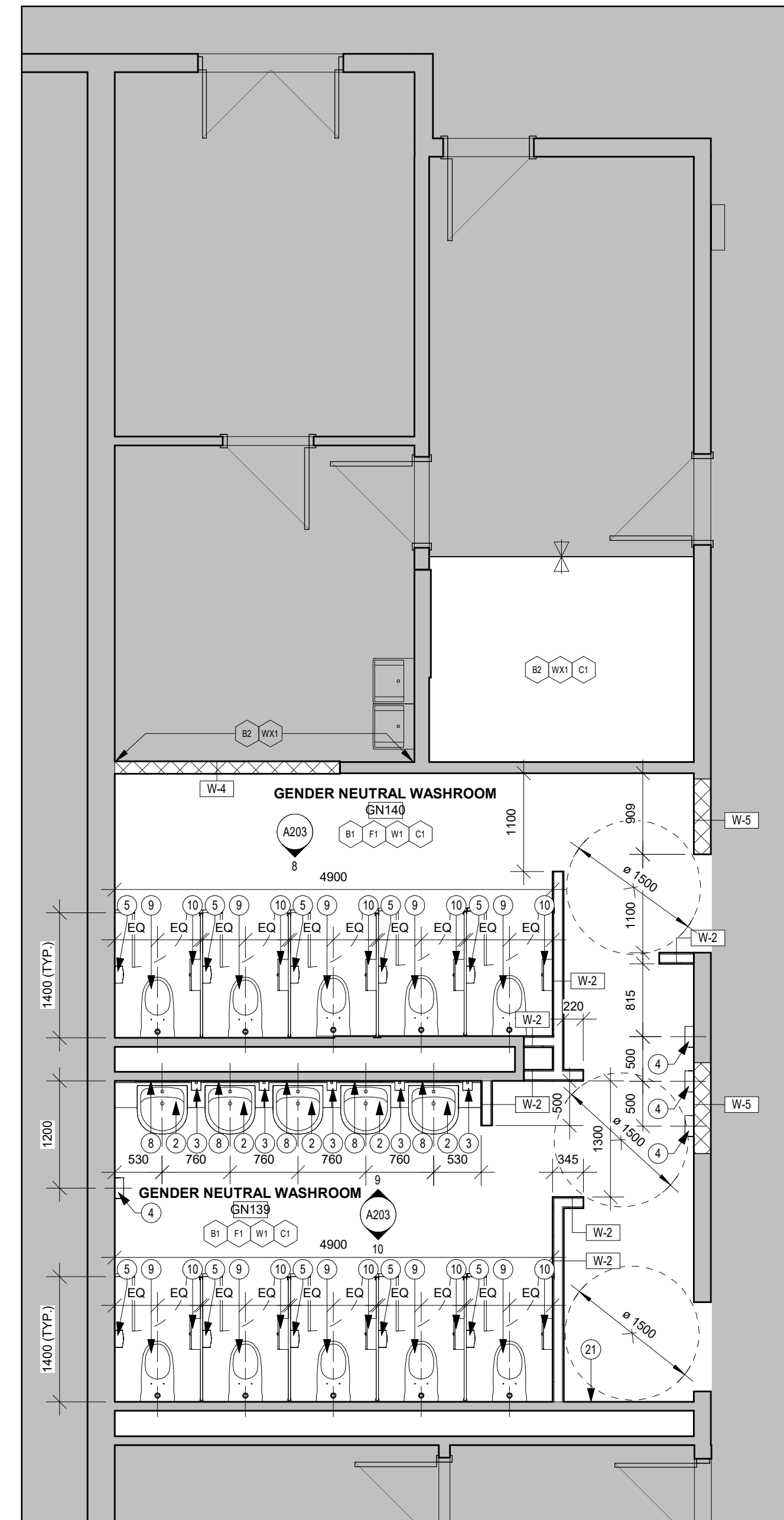
4 ENLARGED PLAN - WSHRM 2 DEMO
A203 Scale: 1: 50



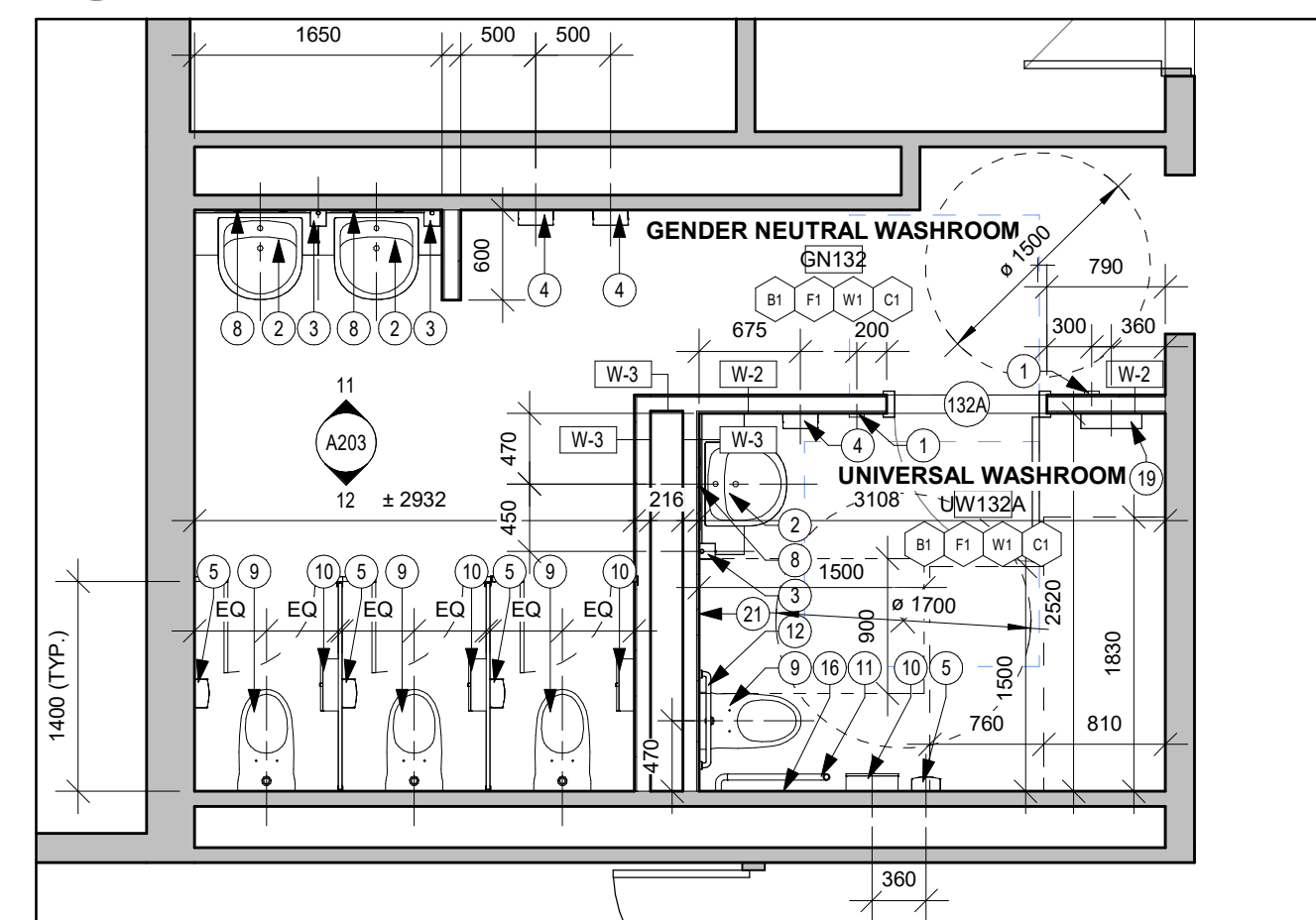
13 ATHLETICS BUILDING ENLARGED PLAN
A203 Scale: 1: 100

REFLECTED CEILING PLAN LEGEND:

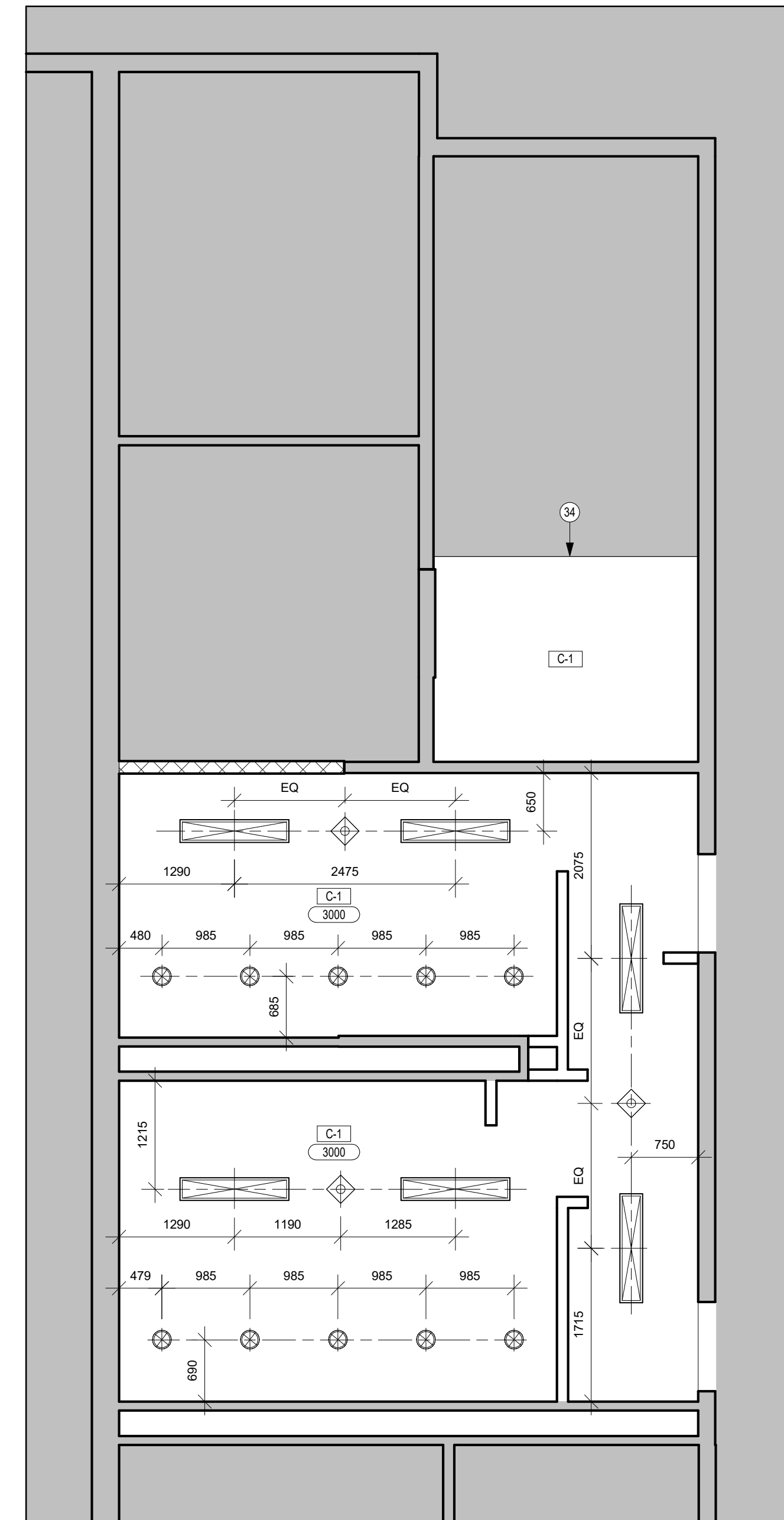
- C-1 CEILING ASSEMBLY TYPE
- XXXXX US OF CEILING ELEVATION (MEASURED FROM FIN. FLOOR)
- GYPSUM WALL BOARD
- ACOUSTICAL CEILING TILE
- GYPSUM WALL BOARD ACCESS PANEL
- LIGHT FIXTURE (SEE ELEC.)
- SUPPLY AIR DIFFUSER (SEE MECH.)
- RETURN AIR DIFFUSER (SEE MECH.)
- LIGHTING DATA SERVICE (SEE ELEC.)
- WALL MOUNTED FIXTURE (SEE ELEC.)
- OCCUPANCY SENSOR (REFER TO ELEC.)
- LINEAR DIFFUSER (REFER TO MECH.)



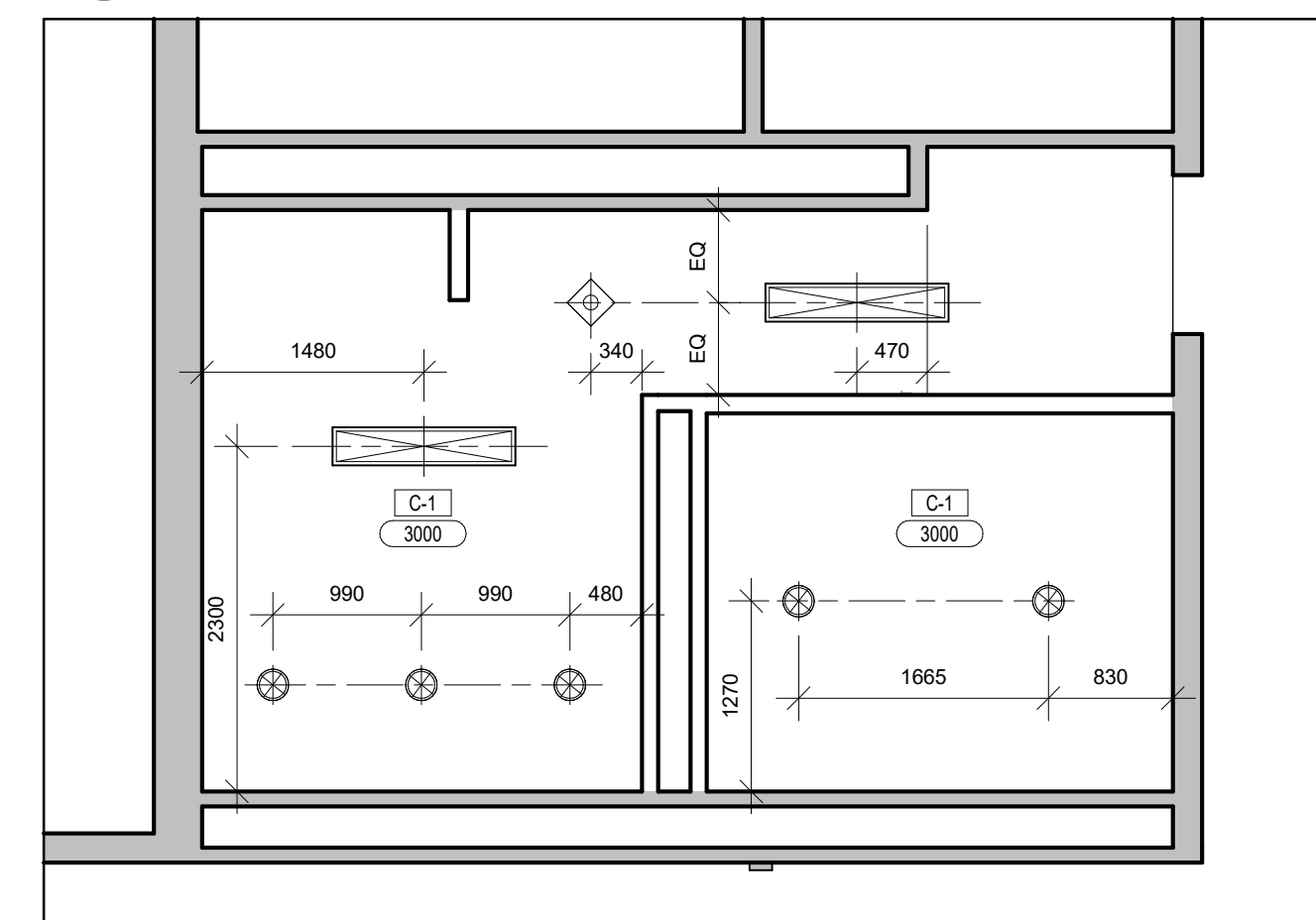
3 ENLARGED PLAN - WSHRM 1
A203 Scale: 1: 50



5 ENLARGED PLAN - WSHRM 2
A203 Scale: 1: 50



7 ENLARGED CEILING PLAN - WSHRM
A203 Scale: 1: 50



6 ENLARGED CEILING PLAN - WSHRM
A203 Scale: 1: 50

[2024 ONTARIO BUILDING CODE DATA MATRIX]				Issued: 2025-01-01
PART 11 - RENOVATION				
11.01 BUILDING CODE VERSION				
11.01 PROJECT TYPE	O Reg. 163/24 Renovation	LAST CODE AMENDMENT O Reg. 447/24		OBC REFERENCE [1] [A] 1.3.3.8
11.02 MAJOR OCCUPANCY CLASSIFICATION				
OCCUPANCY	USE			
A3, Assemblies of the Arena type	Post-Secondary Education, Arena			3.1.2.1(1), 11.2.1.1 and 2.14.1(1)
11.03 SUPERIMPOSED MAJOR OCCUPANCIES				
NO				11.2.2.1, and 3.2.2.5, 3.2.2.8
11.04 BUILDING AREA (m²)				
DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2, 11.2, and 11.3
NO CHANGE FROM EXISTING				
TOTAL	4,537.0	-	4,537.0	
11.05 BUILDING HEIGHT				
6	STOREYS ABOVE GRADE	NO		[A] 6.1.2, 2.2.2.3, 3.2.1.1, and 11.3
1	STOREYS BELOW GRADE	NO		3.2.2.10, 3.2.5, 2.24.1, and 11.3
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS				
1				3.2.2.10, 3.2.5, 2.24.1, and 11.3
11.07 BUILDING SIZE				
-				11.2.1.1, and T.11.2.1.1(BA)
11.08 EXISTING BUILDING CLASSIFICATION				
CHANGE IN MAJOR OCCUPANCY	NO			10.1.1.2, and 11.2.1.1
CONSTRUCTION INDEX	-			T.11.2.1.1(BA)
HAZARD INDEX	-			T.11.2.1.1(BA)
IMPORTANCE CATEGORY	-			4.1.2.1(3), 2.3.1, and 3.2.2.1(2)
11.09 RENOVATION TYPE				
BASIC RENOVATION				11.3.3.1, and 11.3.3.2
11.10 OCCUPANT LOAD				
FLOOR LEVEL/AREA	OCCUPANCY TYPE BASED ON	OCCUPANT LOAD (PERSONS)		3.1.17, 2.2.2, and 11.4.2.2
NO CHANGE FROM EXISTING				
TOTAL				3.74, 11.34, 11.3.5, 11.4.2.4, and 11.4.2.5
RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE			
11.11 PLUMBING FIXTURE REQUIREMENTS				
a	FLOOR LEVEL/AREA OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED	WCs PROVIDED
Refer to notes below				
11.11 PLUMBING FIXTURE REQUIREMENTS continued				
b	FLOOR LEVEL/AREA OCCUPANT LOAD	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED
Refer to notes below				UNIVERSAL WASHROOMS PROVIDED
Refer to notes below				Tables 3.8.2.3 A, and 3.8.2.3 B
11.12 BARRIER-FREE DESIGN				
Yes - all new construction				11.3.1.2, 11.3.2, and 11.4.2.1
11.13 REDUCTION IN PERFORMANCE LEVEL				
STRUCTURAL	INCREASE IN OCCUPANT LOAD	NO		11.4.2.1
CHANGE OF MAJOR OCCUPANCY	NO			11.4.2.3
PLUMBING	CHANGE OF MAJOR OCCUPANCY	NO		11.4.2.4
SEWAGE SYSTEMS	CHANGE OF MAJOR OCCUPANCY	NO		11.4.2.5
11.14 COMPENSATING CONSTRUCTION				
EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO			11.4.2.6
COMPENSATING CONSTRUCTION PROVIDED	NO			11.4.2.7
STRUCTURAL	INCREASE IN OCCUPANT LOAD	NO		11.4.3.1
CHANGE OF MAJOR OCCUPANCY	NO			11.4.3.2
PLUMBING	CHANGE OF MAJOR OCCUPANCY	NO		11.4.3.3
SEWAGE SYSTEMS	CHANGE OF MAJOR OCCUPANCY	NO		11.4.3.4
EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO			11.4.3.7
11.15 COMPLIANCE ALTERNATIVES PROPOSED N/A				
11.16 ALTERNATIVE SOLUTIONS				
[A] 2.1.1, and [C] 1.1				
11.17 NOTES				
Existing Building Classification: 3.2.2.29 Group A, Division 3, Any Height, Any Area, Sprinklered				
Fire Alarm System: Required, not provided in area of scope. Existing (non-conforming)				
Fire Alarm System: Required, existing				
Standpipe System: Required, not provided in area of scope. Existing (non-conforming)				
Existing Plumbing Fixture Count (in-scope area only): 5 Urinals + 11 WCs = 16 fixtures (15 public fixtures, see following note)				
Note: existing single WC in Existing Sports Therapy Washroom was provided to serve the Sports Therapy programming only and did not contribute to the overall fixture count of the whole building. The Sports Therapy programming has previously been indicated and this WC is no longer required.				
Proposed Plumbing Fixture Count (in-scope area only): 13 WCs + 1 Universal				
Existing Barrier-Free Fixtures (in-scope area only): None				
Proposed Barrier-Free Fixtures: 1 Universal Washroom				
1. ALL REFERENCES ARE TO DIVISION 11 OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C				
Ontario Building Code Data Matrix, Part 11 - © Ontario Association of Architects				

CLIENT LOGO

UNIVERSITY OF GUELPH	
No.	ISSUANCE
1	ISSUED FOR DESIGN MEMO
2	ISSUED FOR 100% OWNER REVIEW
3	ISSUED FOR BID

DATE	
2025-02-10	
2025-03-26	
2025-04-30	

CLIENT

UNIVERSITY OF GUELPH

50 Stone Rd E. Guelph, ON N1G 2W1

PROJECT
U of G WASHROOM & ADO UPGRADES
U of G Project No.: 621412

TITLE

ATHLETICS CENTRE

150 Reynolds Walk, Guelph, ON N1G 6P1

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

SCALE

800.885.1378 walterfedy.com

REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS PROHIBITED. WALTERFEDY IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR THE QUALITY OF THE WORK. WALTERFEDY IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR THE QUALITY OF THE WORK.

SCALE: AS NOTED
DATE: 01/13/25
PROJECT NO.: 2025-0006-10
DRAWN BY: JH
CHECKED BY: MW

A203