

DRAWING LIST

ARCHITECTURE
A003 LEGENDS AND NOTES
A201 UNIVERSITY CENTRE
A202 UNIVERSITY CENTRE ADO'S
A204 LANDSCAPE ARCHITECTURE

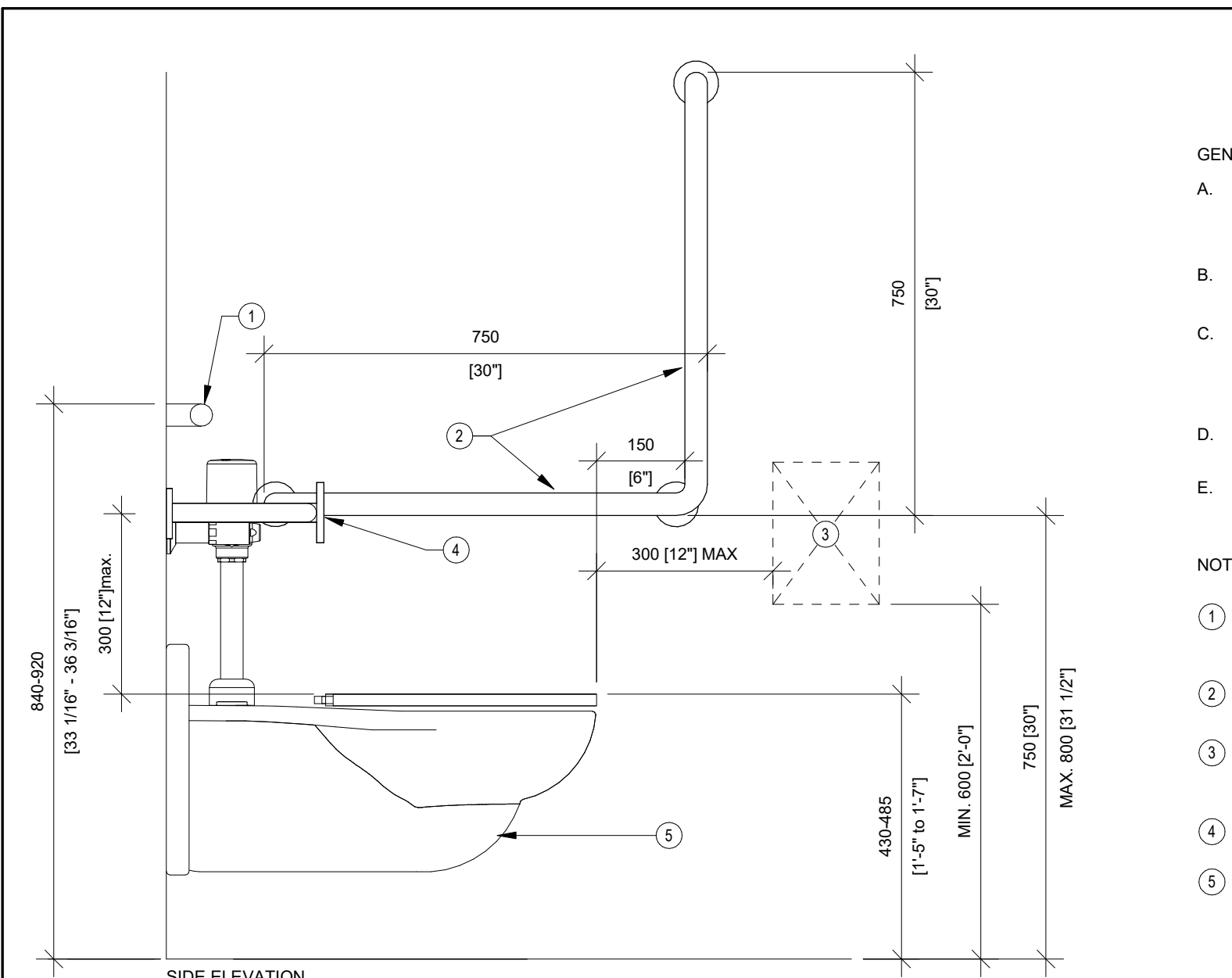
MECHANICAL	
M001	LEGEND, ROOM SCHEDULE AND DRAWING LIST
M002	MECHANICAL SPECIFICATIONS
M201	UNIVERSITY CENTRE PLUMBING, DRAINAGE, AND HVAC
M204	LANDSCAPE ARCHITECTURE PLUMBING, DRAINAGE, AND HVAC

ELECTRICAL	
E001	ELECTRICAL NOTES, LEGENDS, AND DRAWING LIST
E002	ELECTRICAL SPECIFICATIONS
E201	UNIVERSITY CENTRE - POWER & LIGHTING LAYOUT
E202	LANDSCAPE ARCHITECTURE - POWER & LIGHTING LAYOUTS
E204	DOOR OPERATOR LAYOUTS - UNIVERSITY CENTRE
E301	ELECTRICAL NOTES, SCHEDULES & DRAWING LIST
E302	ELECTRICAL SPECIFICATIONS
E303	POWER LAYOUTS - SCIENCE COMPLEX & MCNAUGHTON

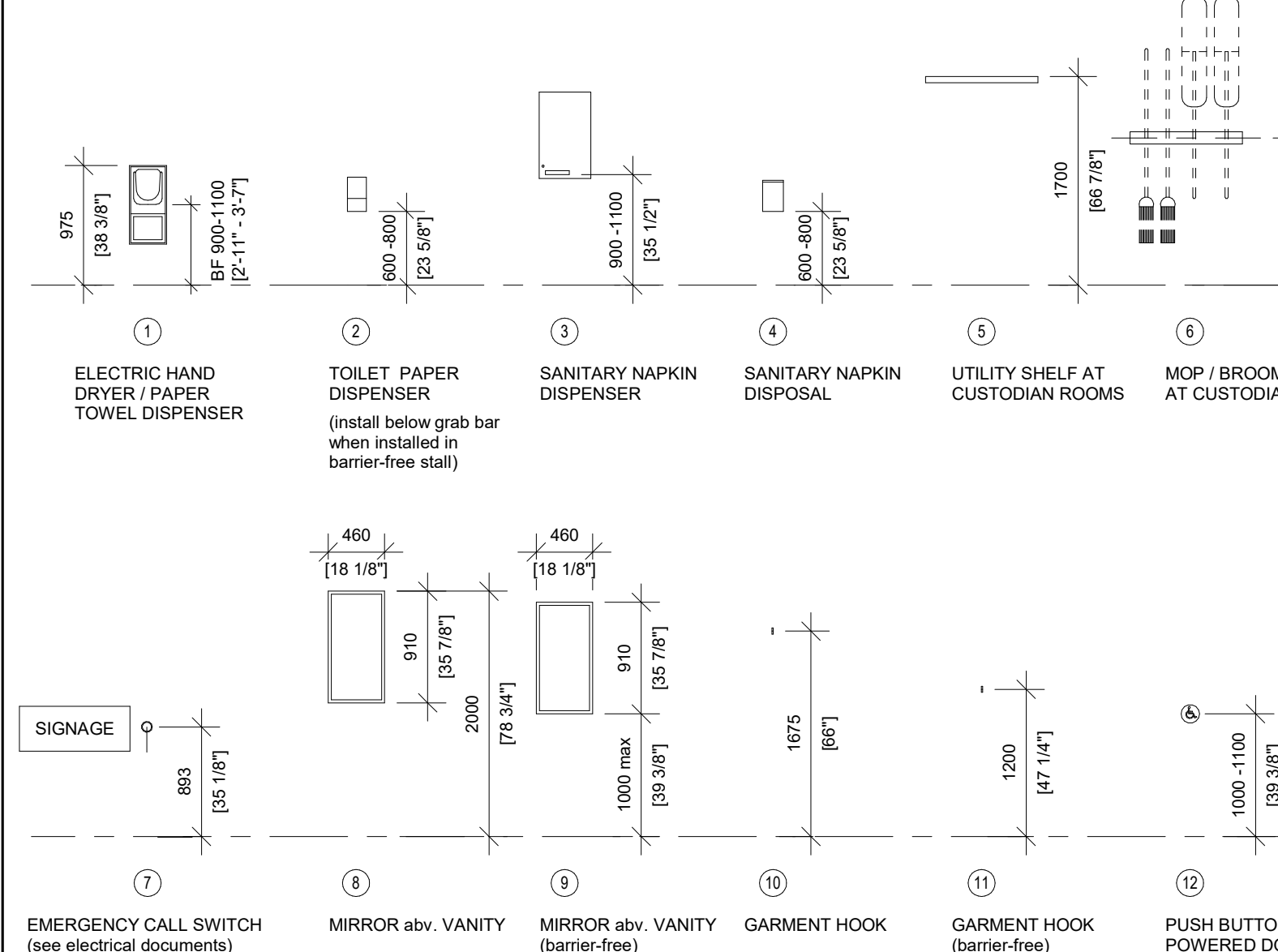


UNIVERSITY OF GUELPH
U of G WASHROOM & ADO UPGRADES
 University Centre - Building 158
 UG PN: 621412

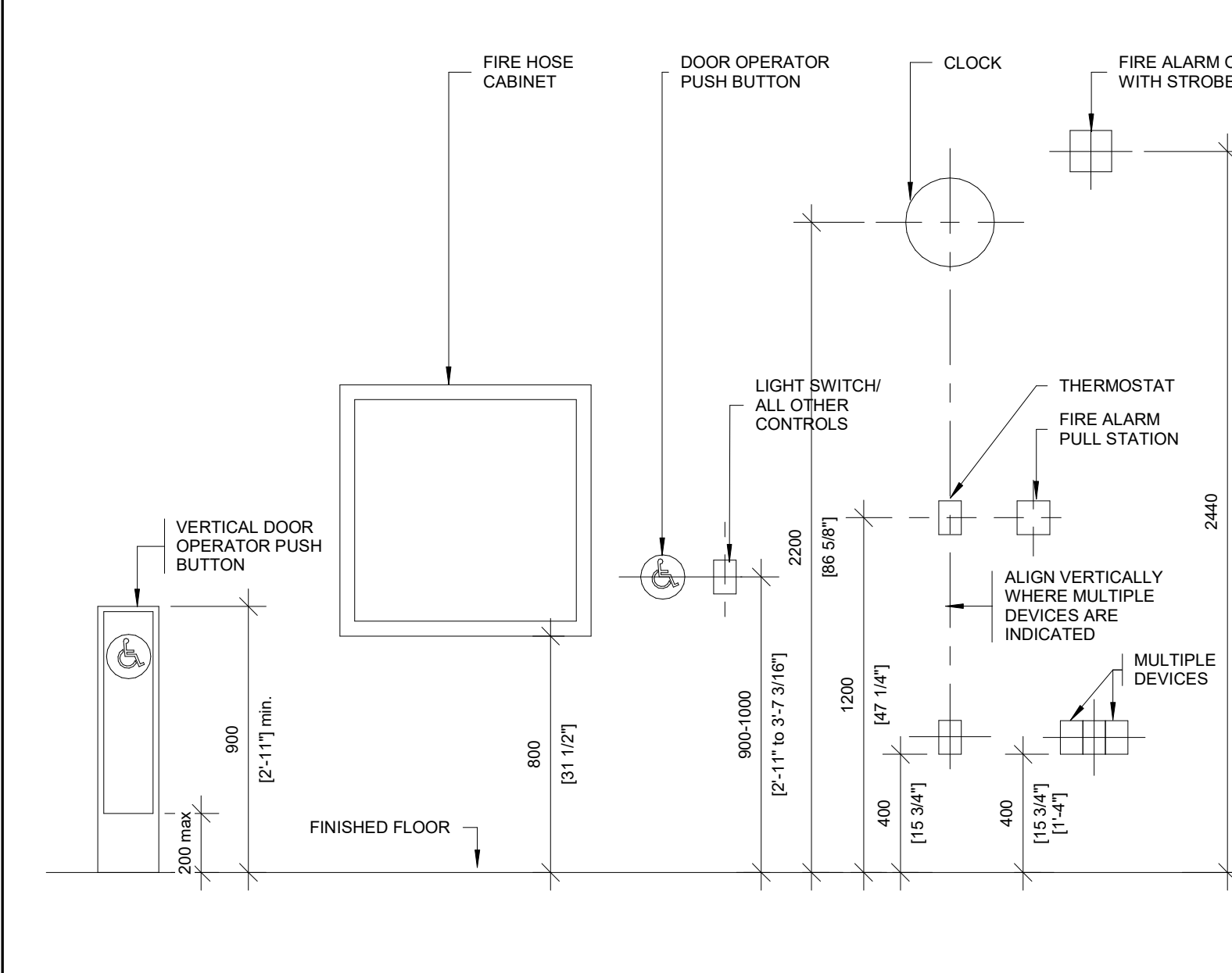
WalterFedy Project No.: 2026-0006-10
ISSUED FOR BID & PERMIT April 2026



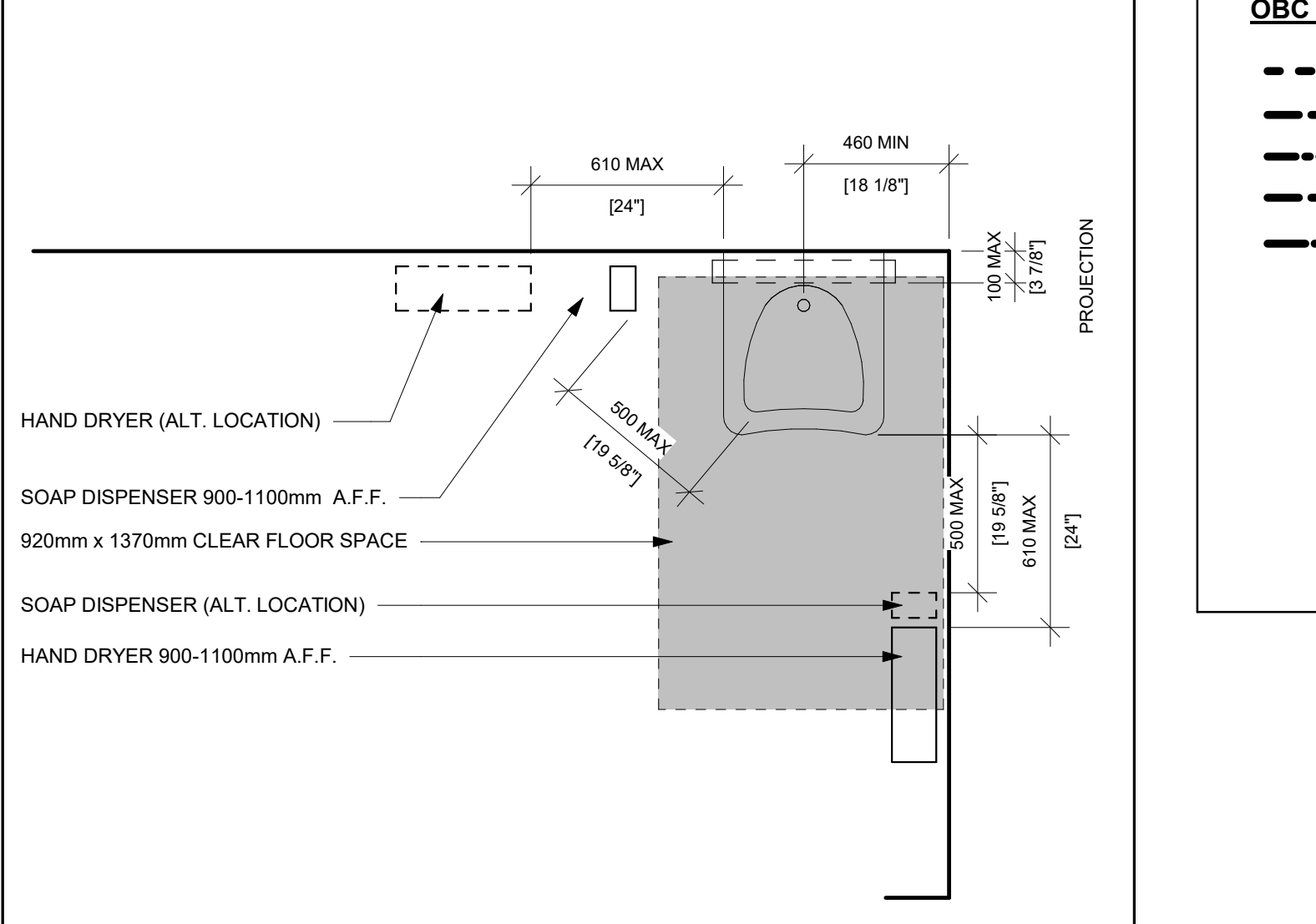
1 B.F. 'L' GRAB BAR AND ACCESS. FOR SENSOR TOILETS W/O SEAT LID
Scale: 1 : 10



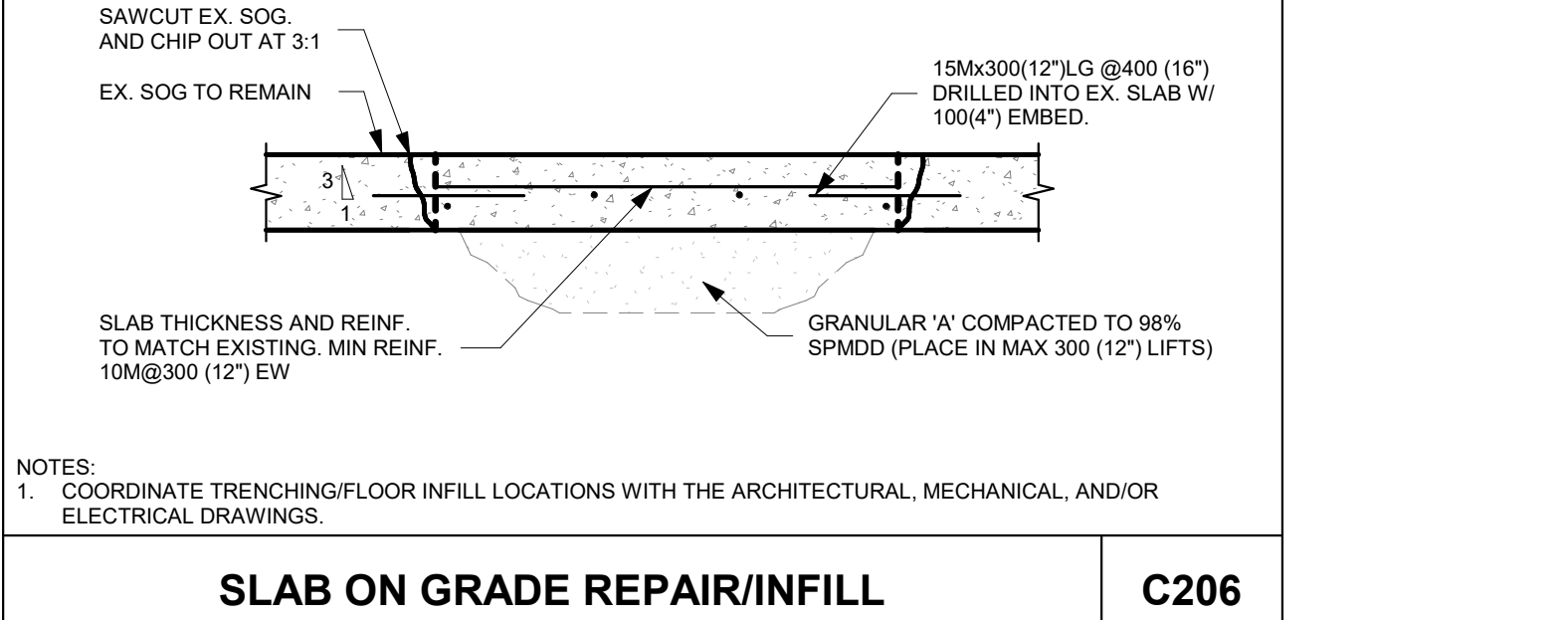
2 10000-6 Typical Washroom Accessory Mounting Heights
Scale: 1 : 50



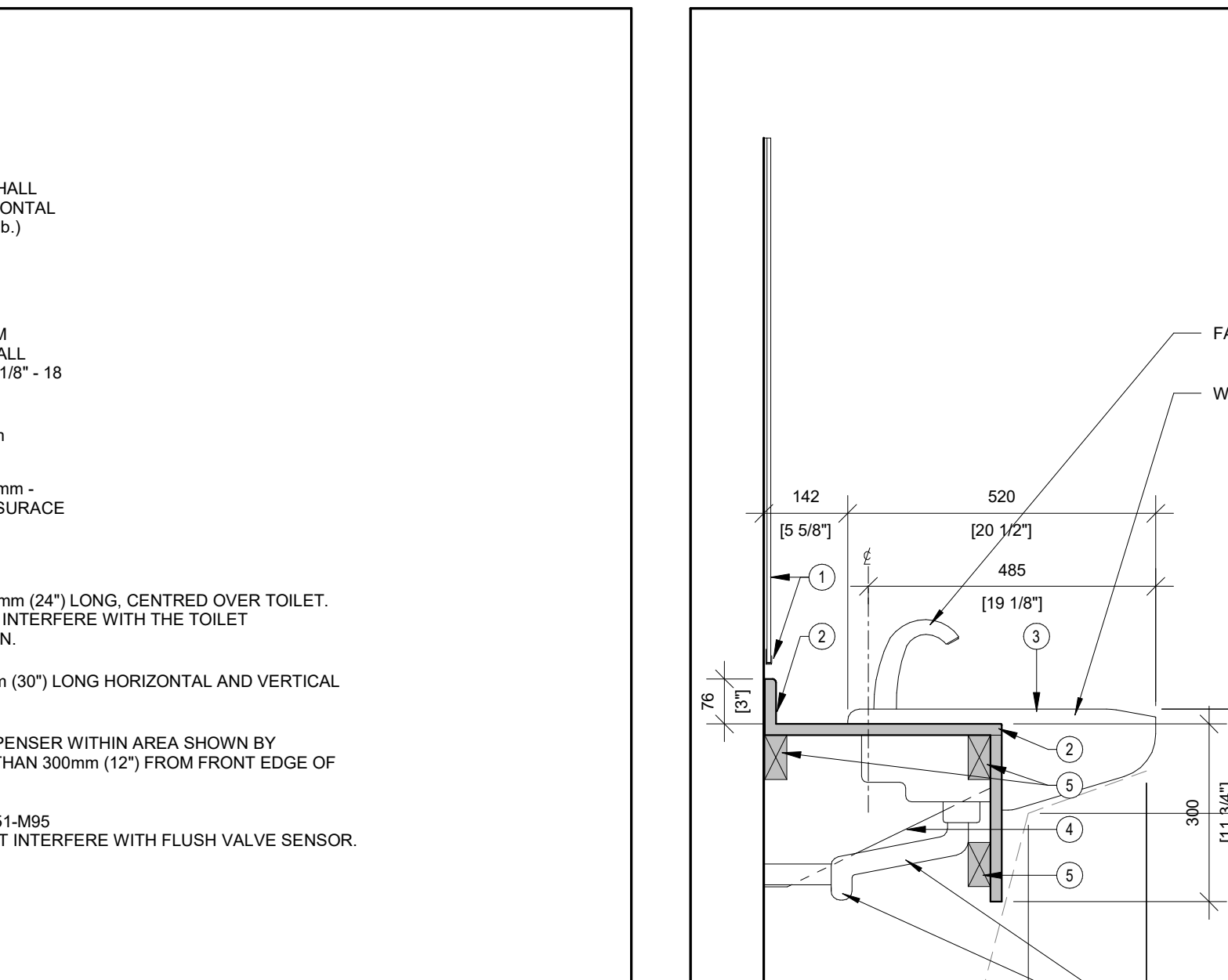
3 10000-7 Typical Fixture Mounting Heights Elevation
Scale: 1 : 20



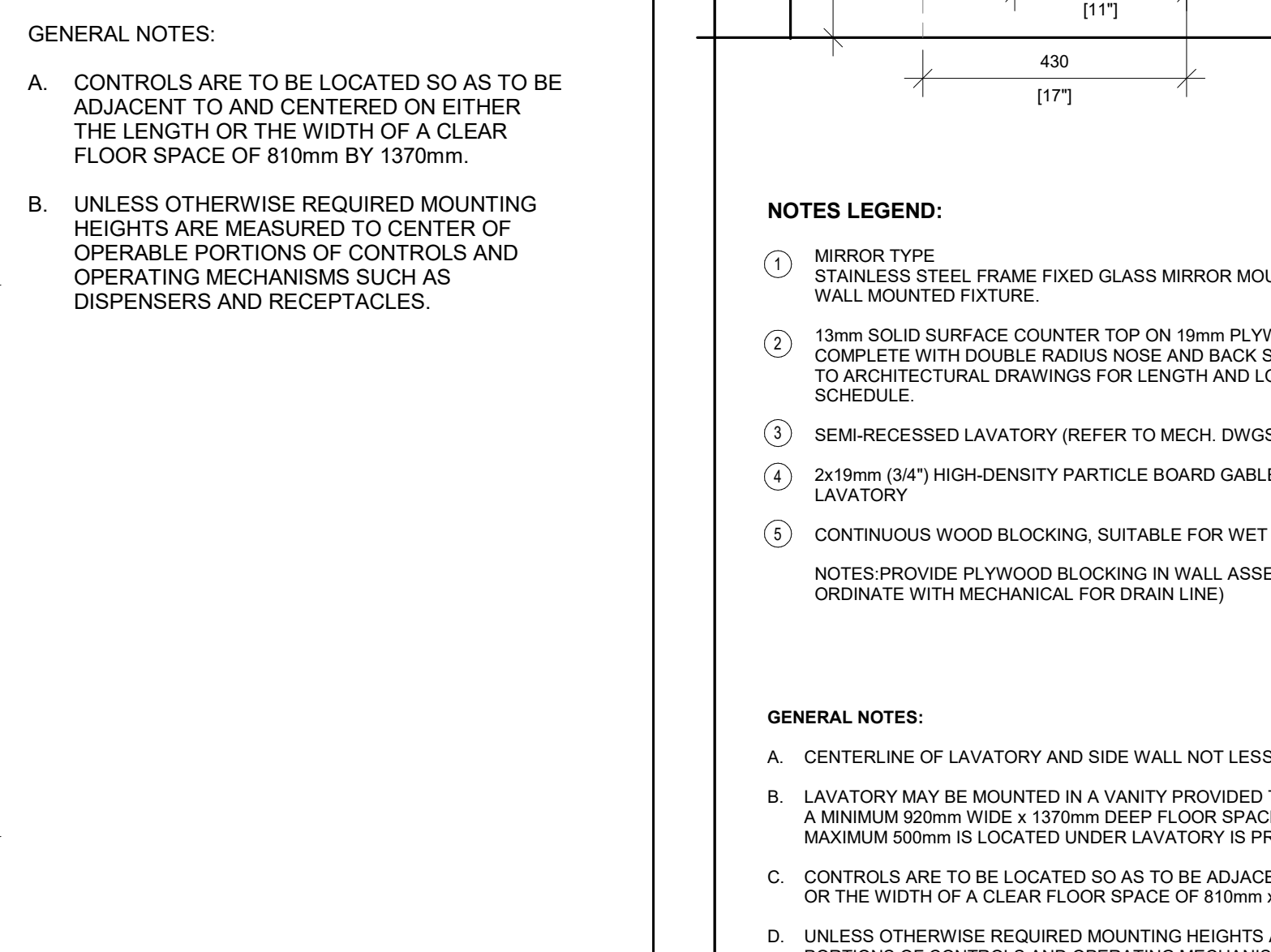
6 BARRIER-FREE LAVATORY PLAN
Scale: 1 : 20



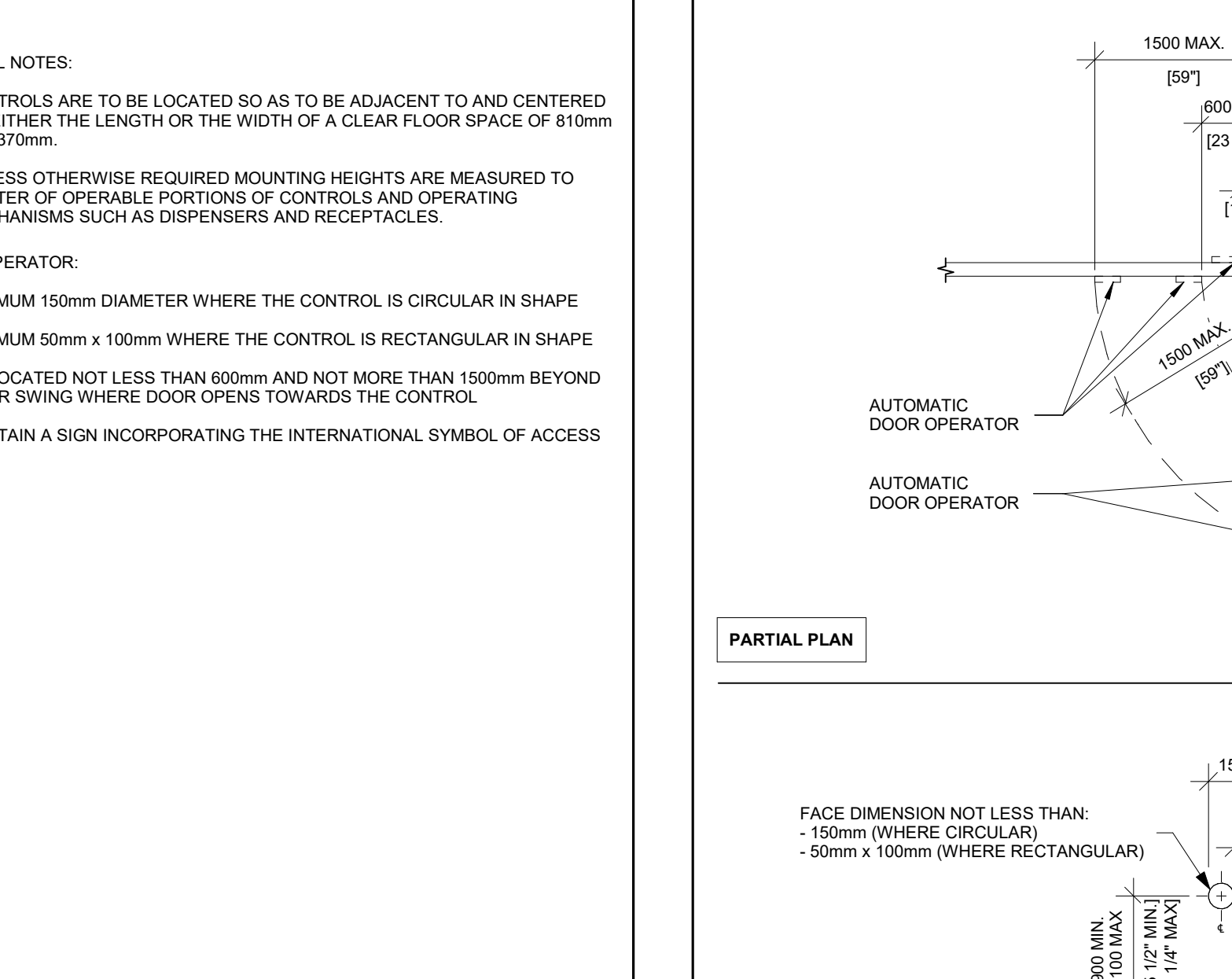
SLAB ON GRADE REPAIR/INFILL



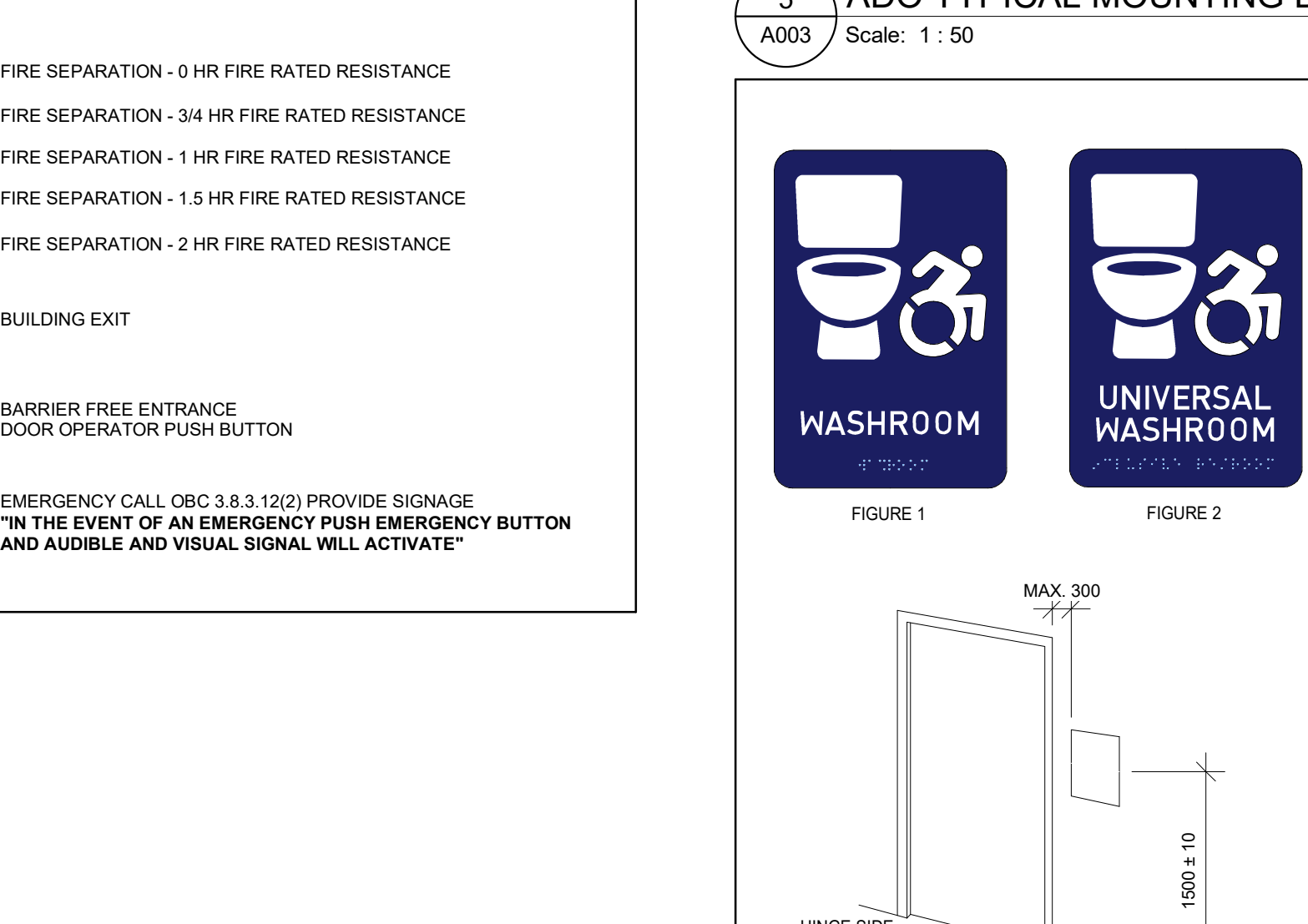
GENERAL NOTES



2 10000-6 Typical Washroom Accessory Mounting Heights
Scale: 1 : 50



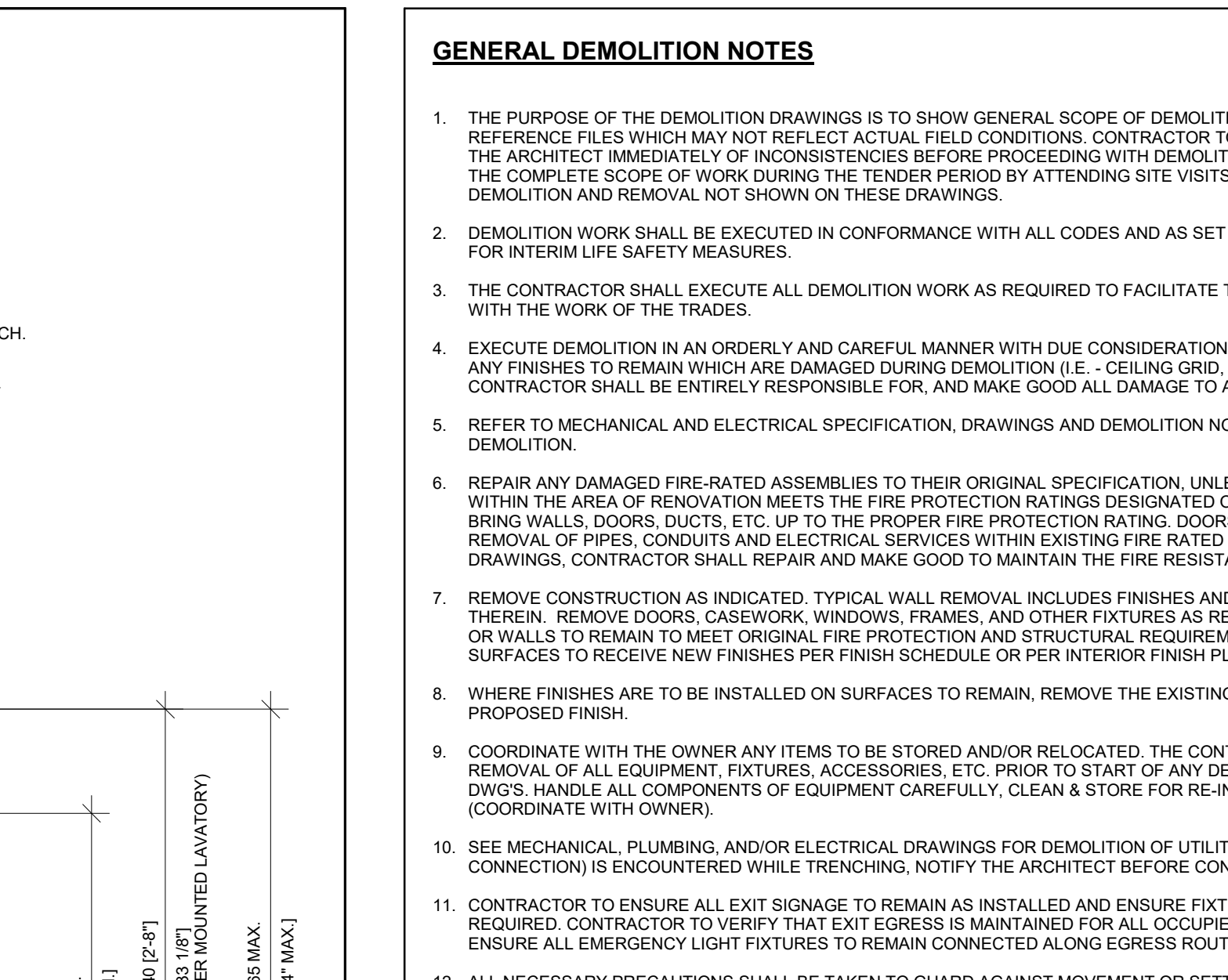
3 10000-7 Typical Fixture Mounting Heights Elevation
Scale: 1 : 20



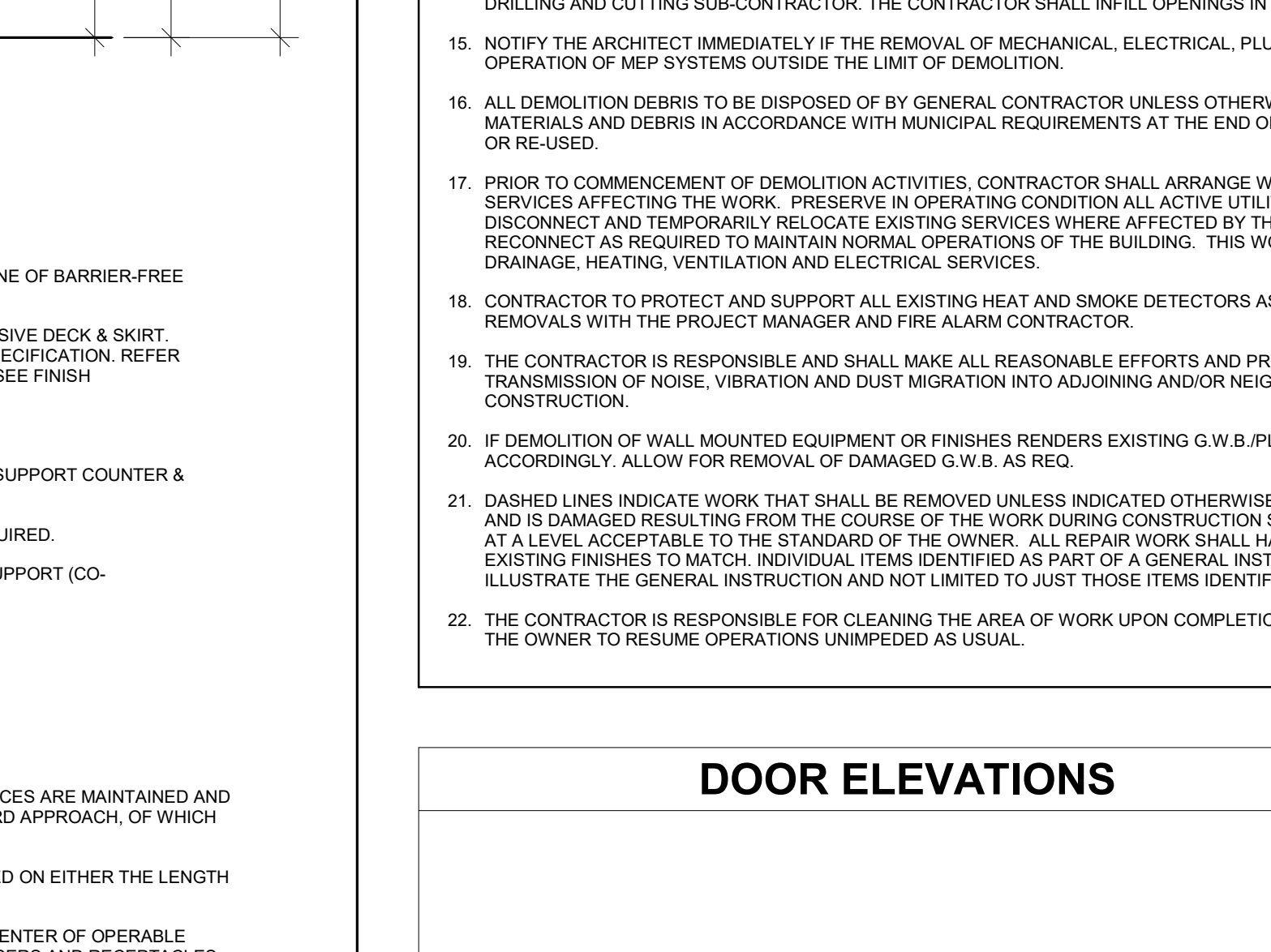
6 BARRIER-FREE LAVATORY PLAN
Scale: 1 : 20



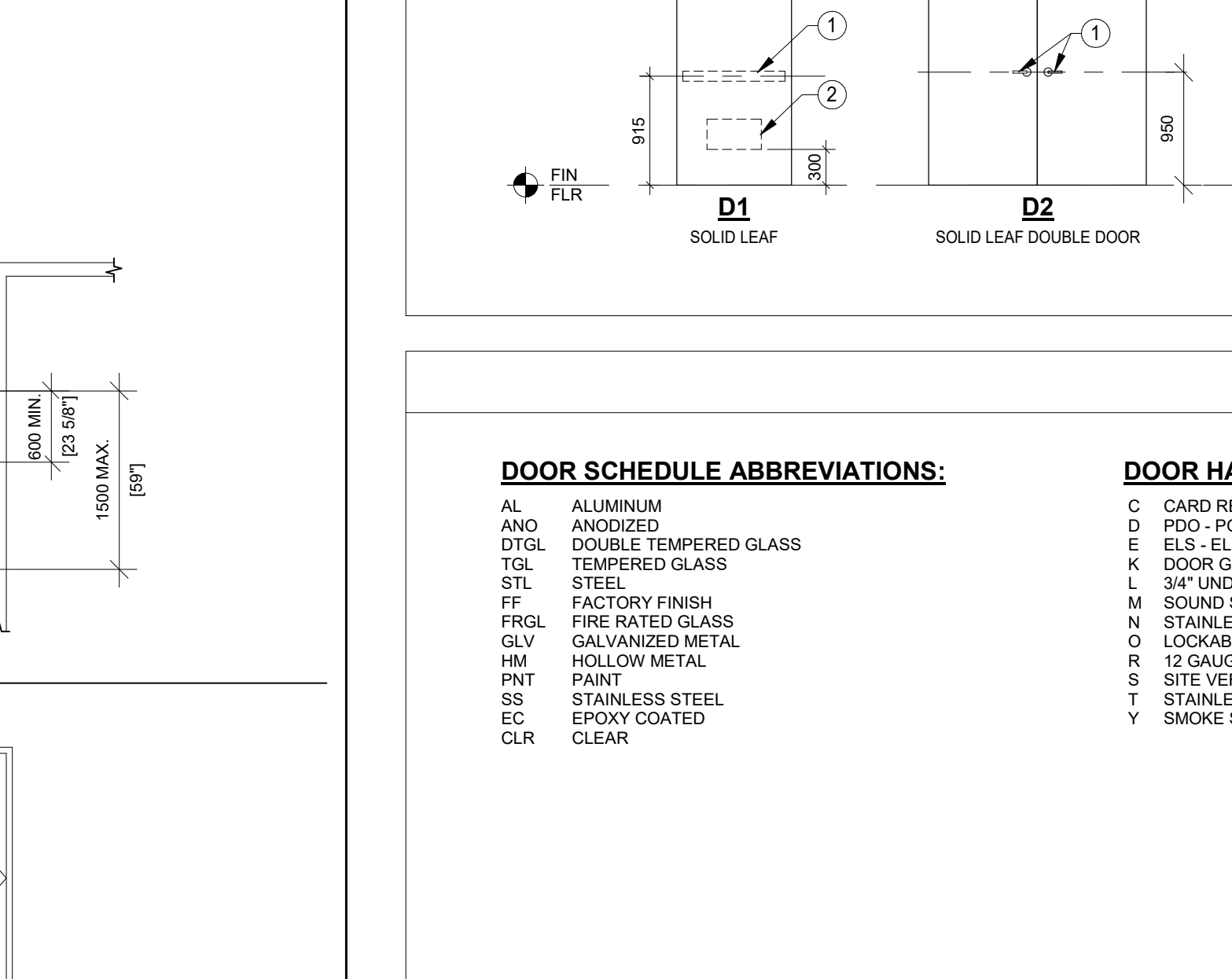
SLAB ON GRADE REPAIR/INFILL



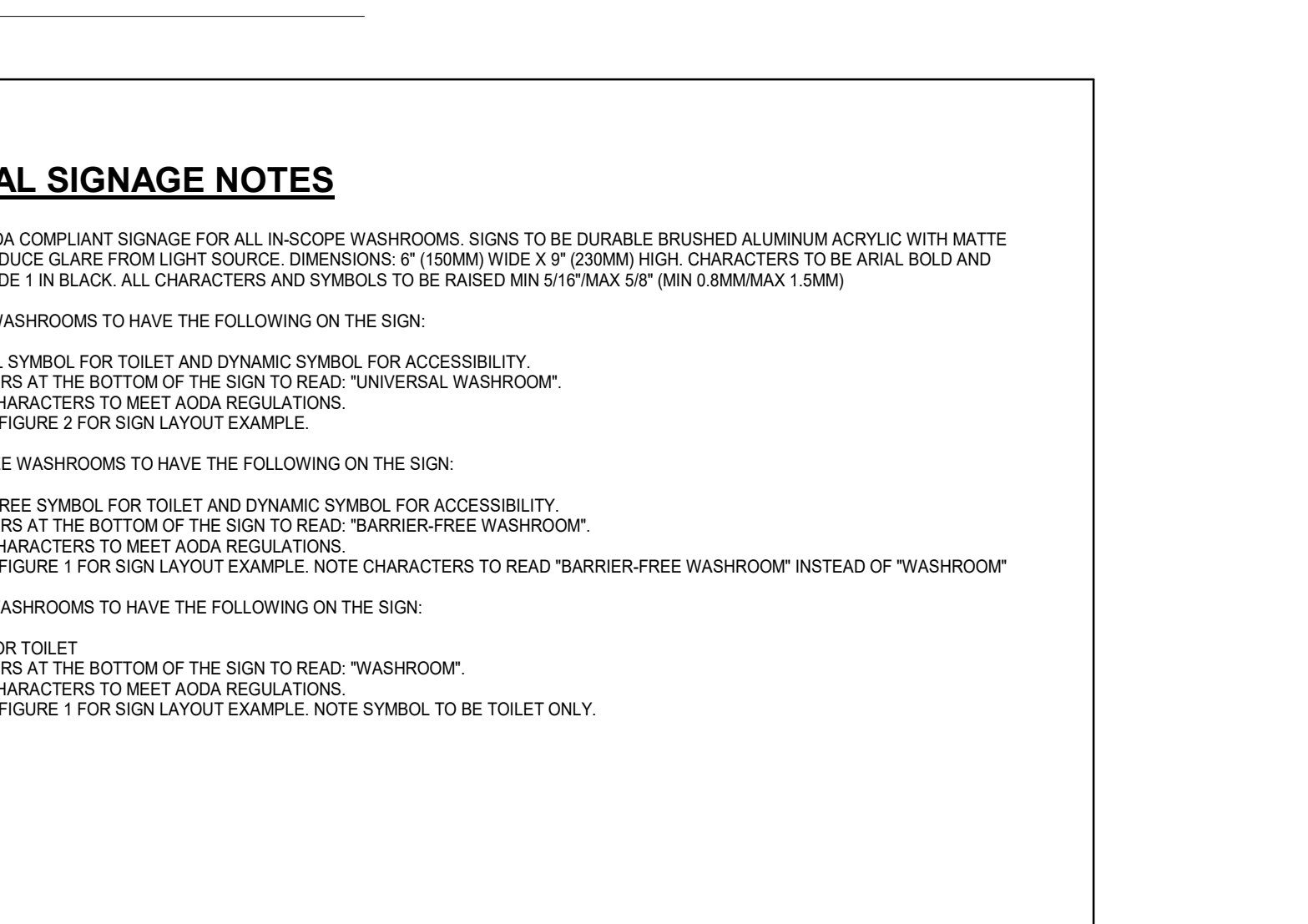
GENERAL DEMOLITION NOTES



4 SECTION DETAIL BARRIER FREE VANITY
Scale: 1 : 10



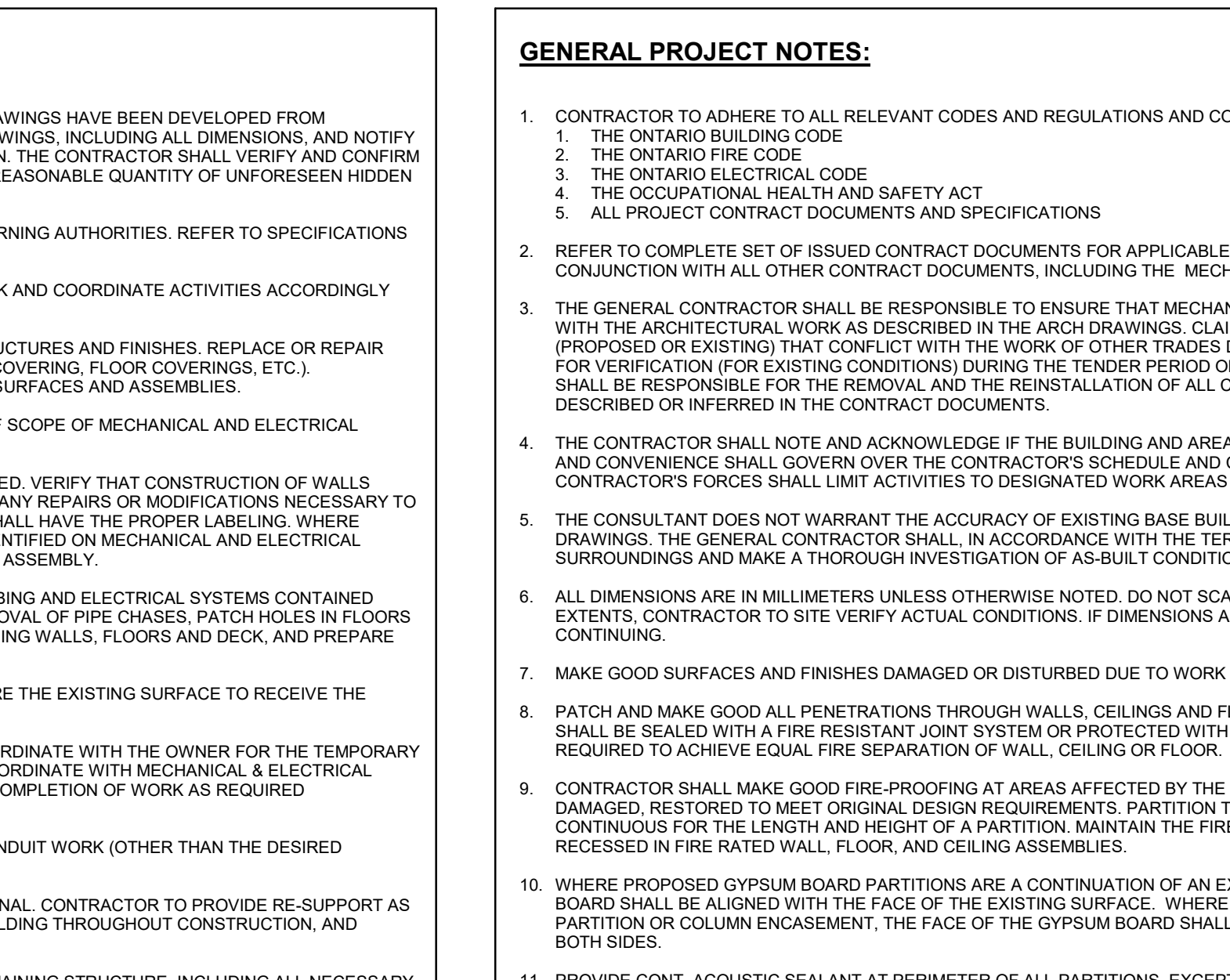
PARTIAL PLAN



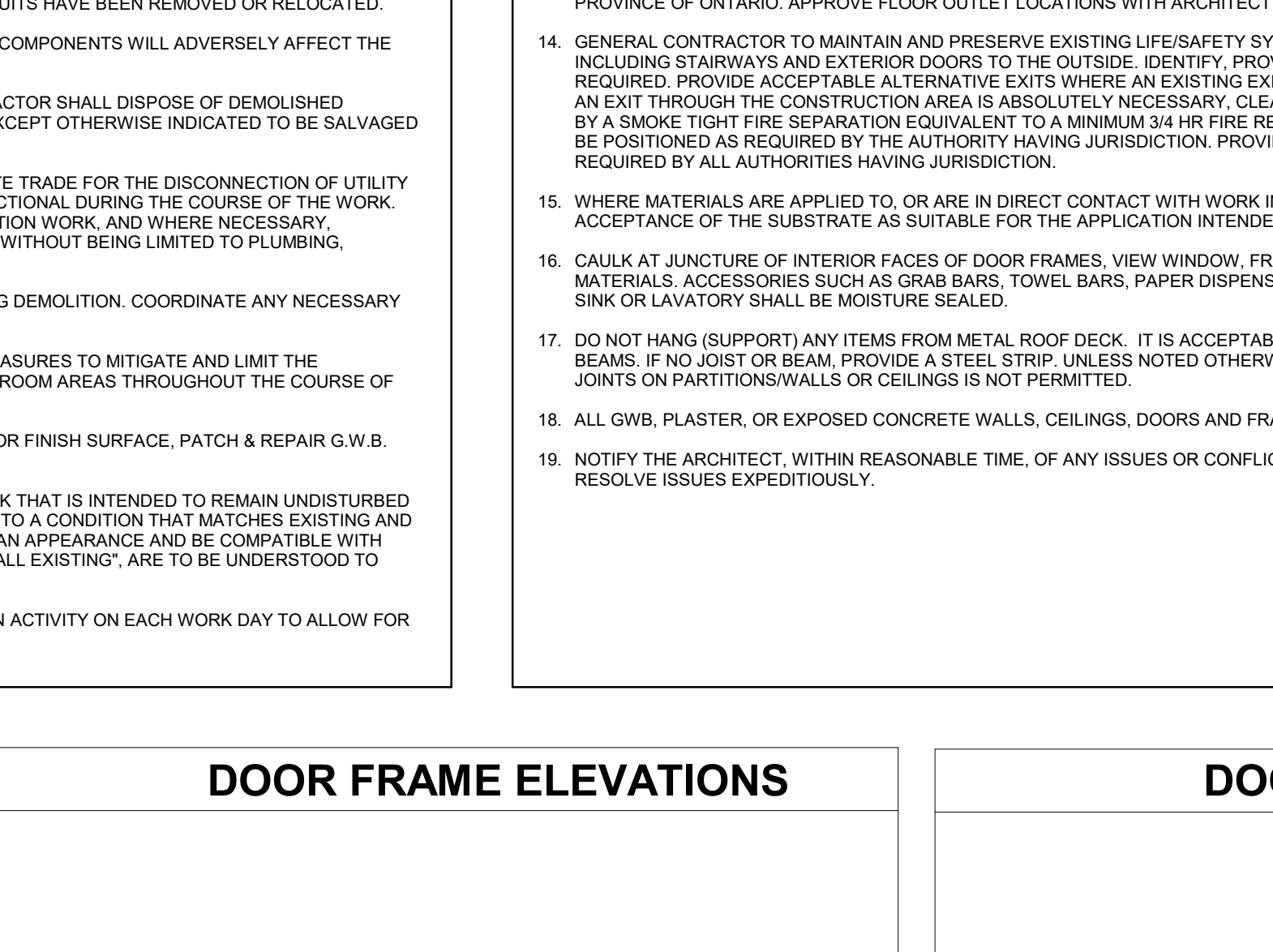
ELEVATION



ADO TYPICAL MOUNTING DETAIL



DOOR ELEVATIONS



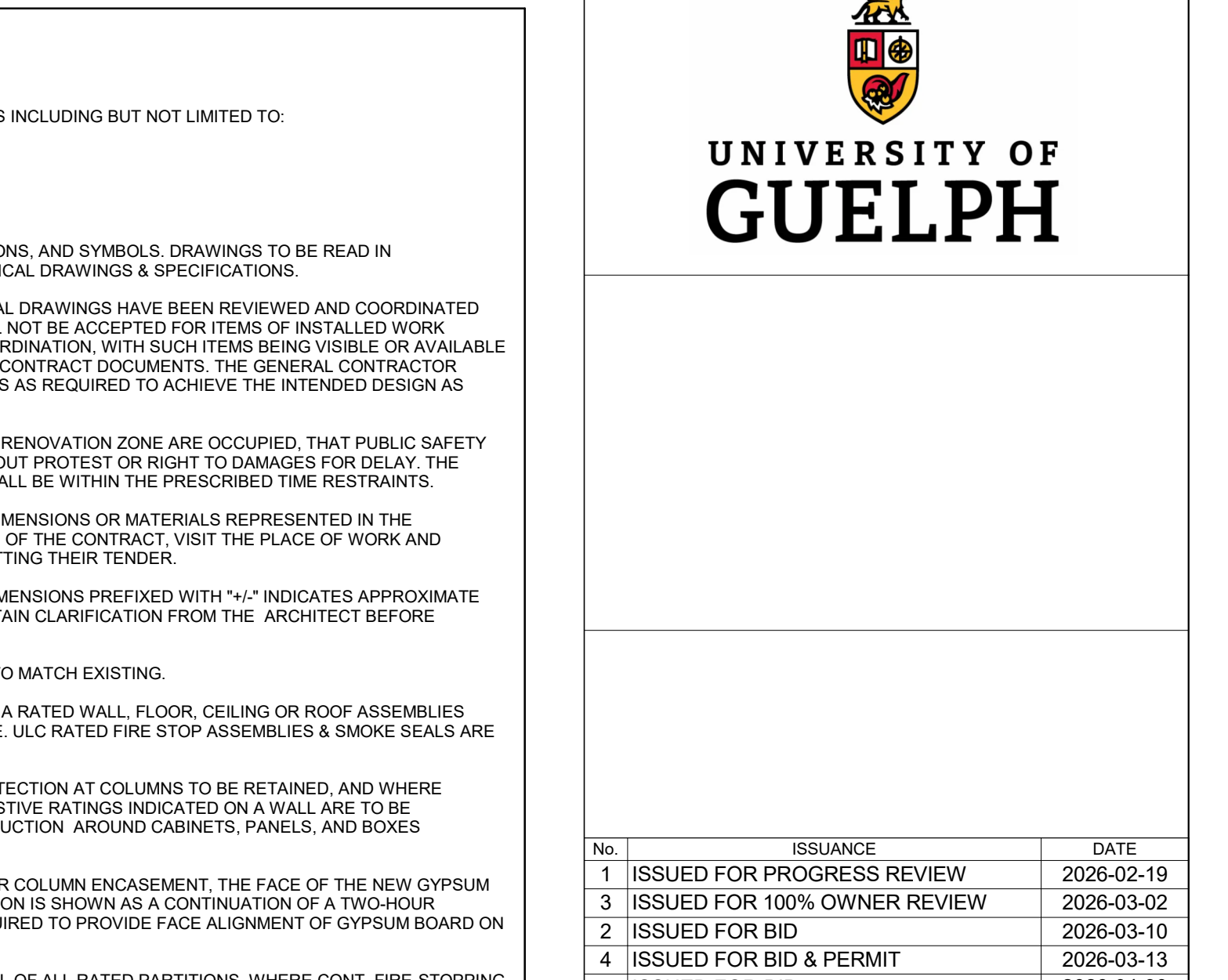
DOOR FRAME ELEVATIONS



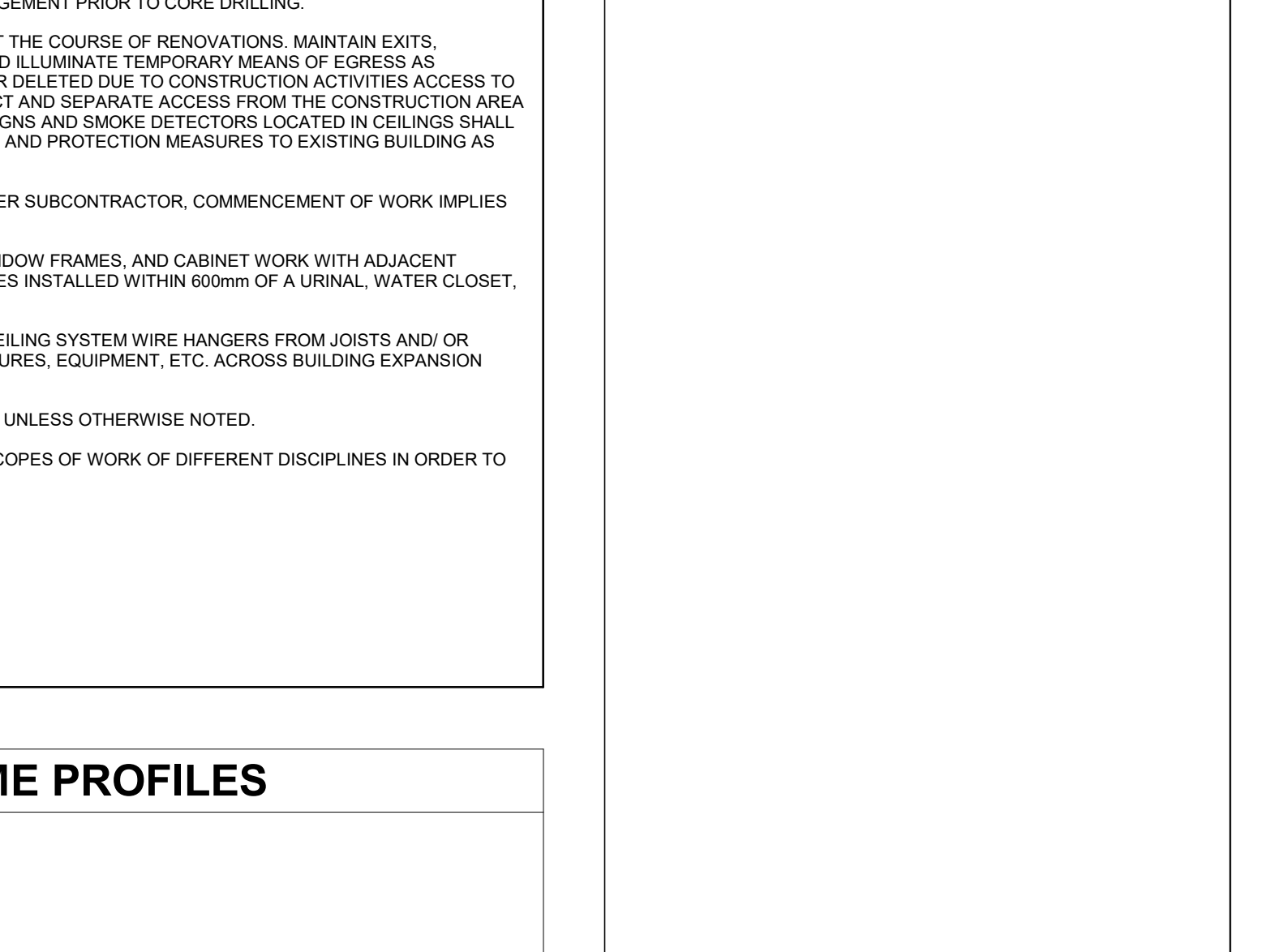
DOOR FRAME PROFILES



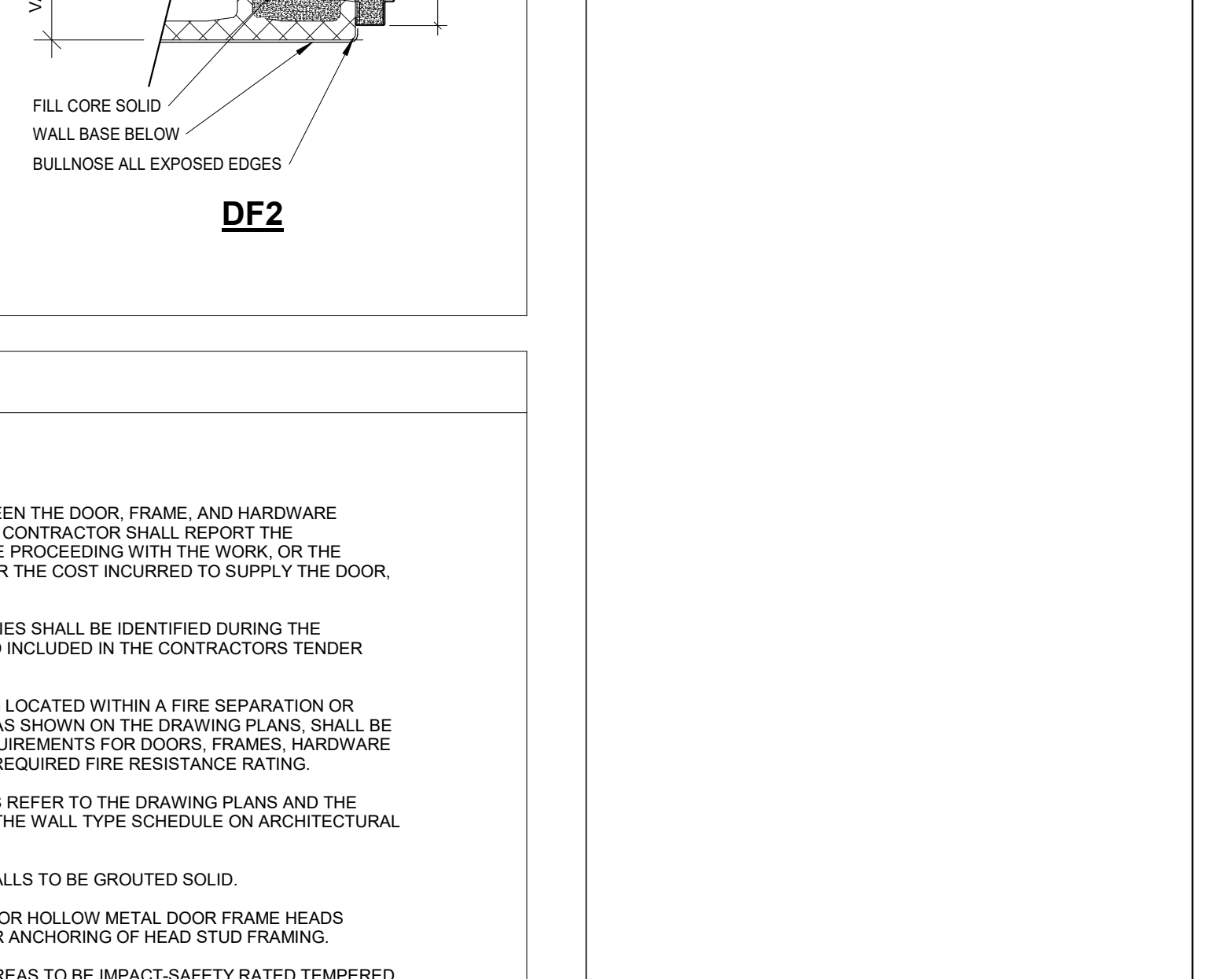
DOOR SCHEDULE LEGEND AND NOTES



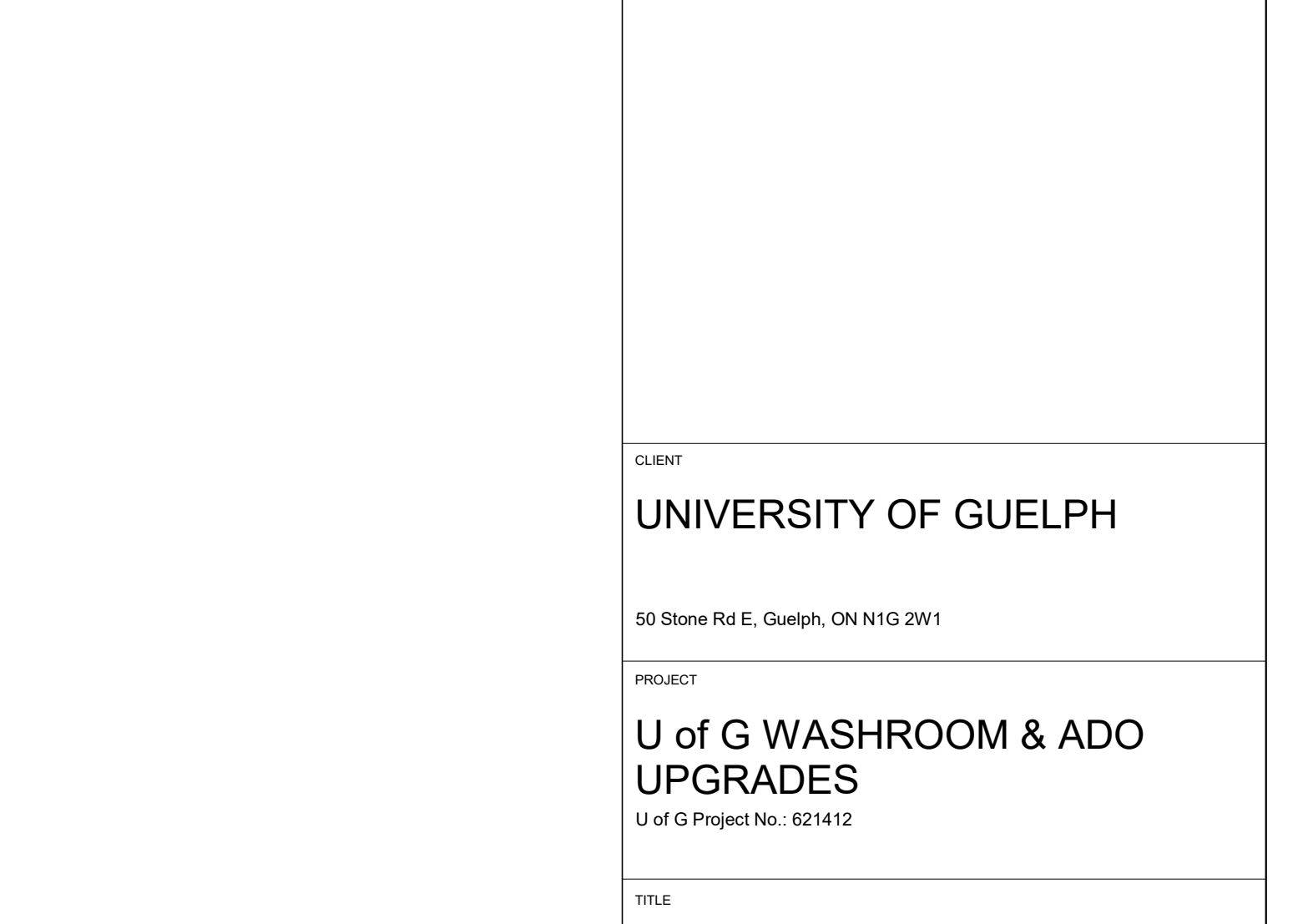
UNIVERSITY OF GUELPH



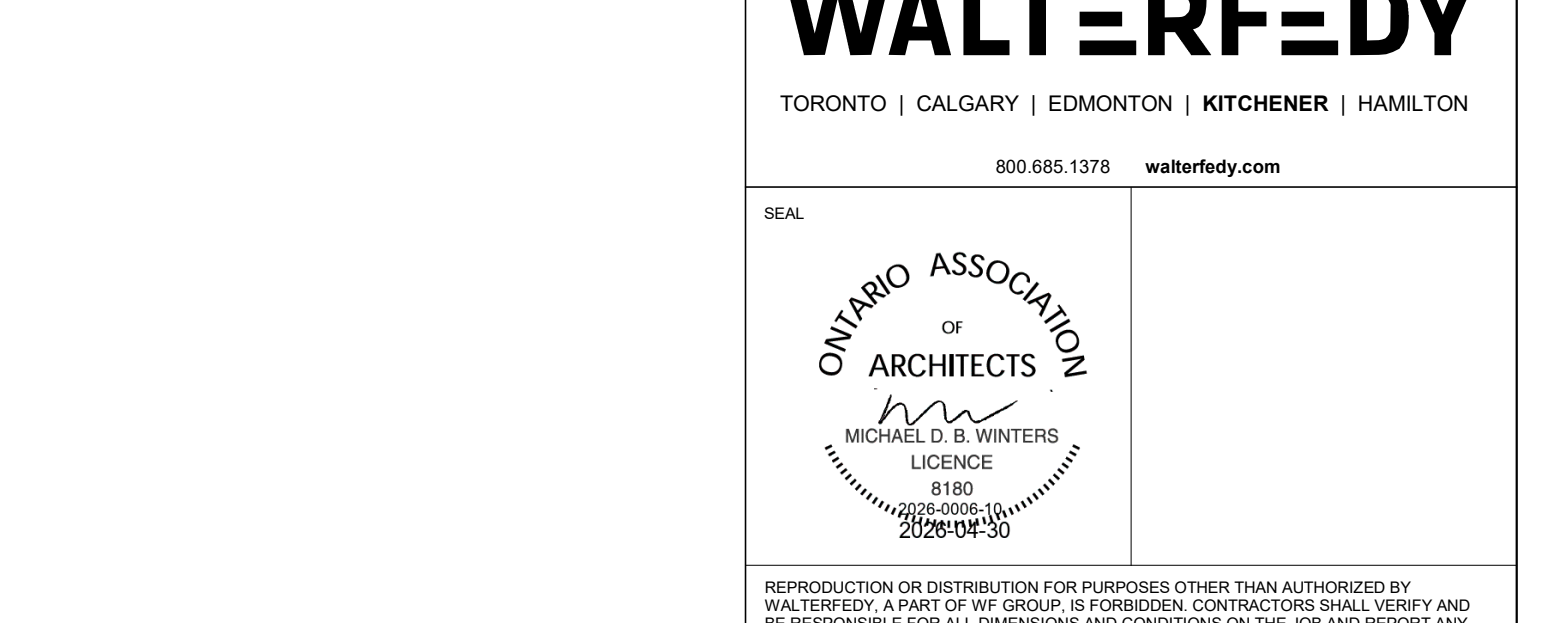
GENERAL PROJECT NOTES



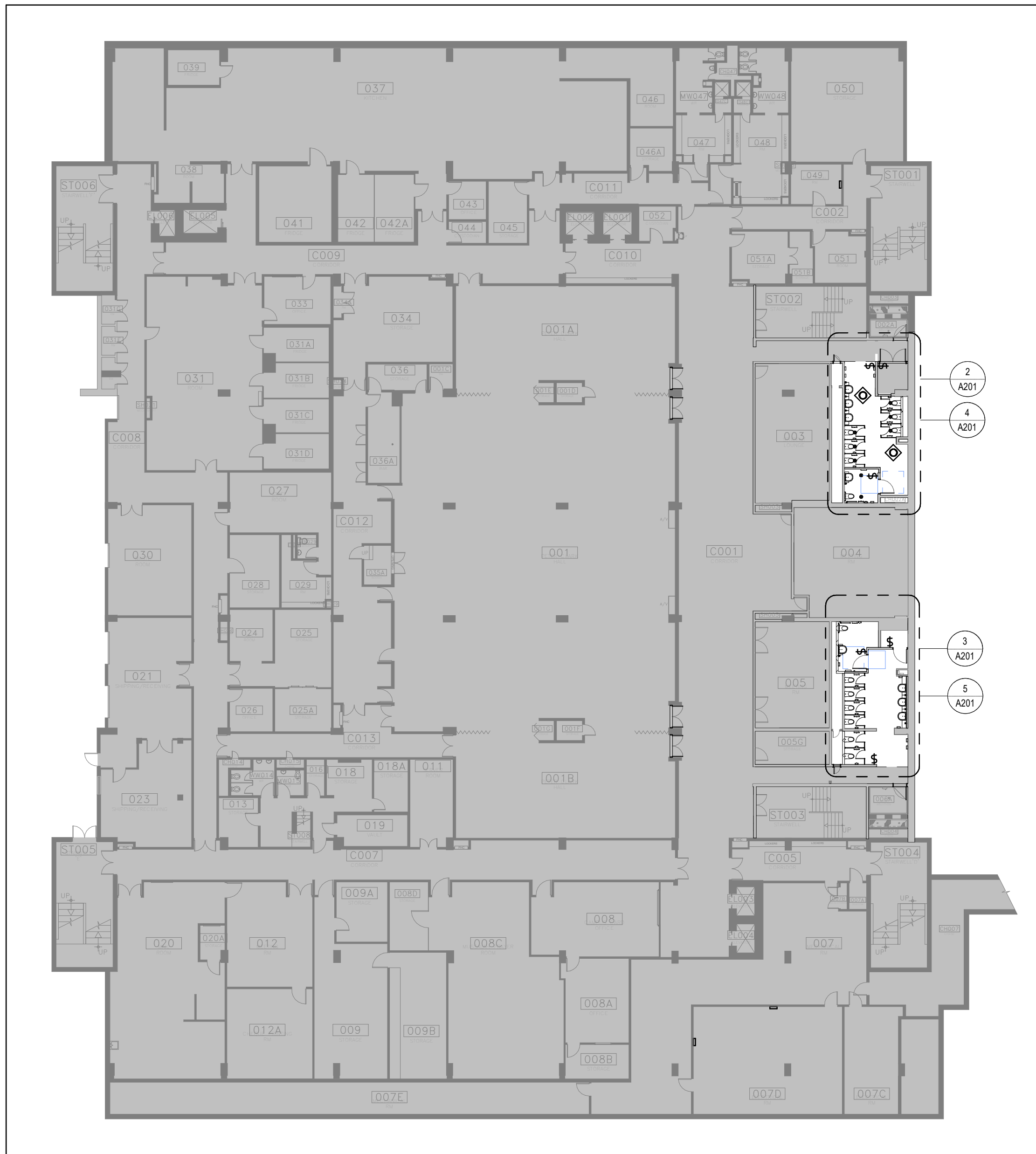
DOOR SCHEDULE ABBREVIATIONS



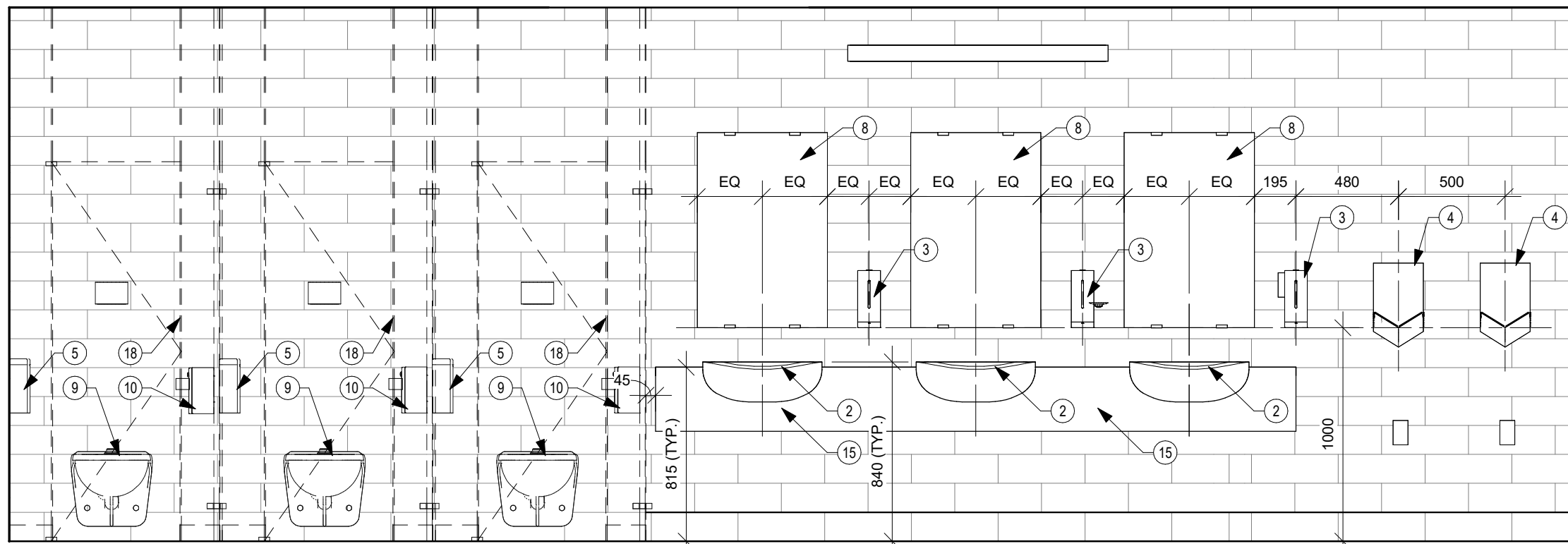
DOOR HARDWARE (REF. DOOR SCHEDULE)



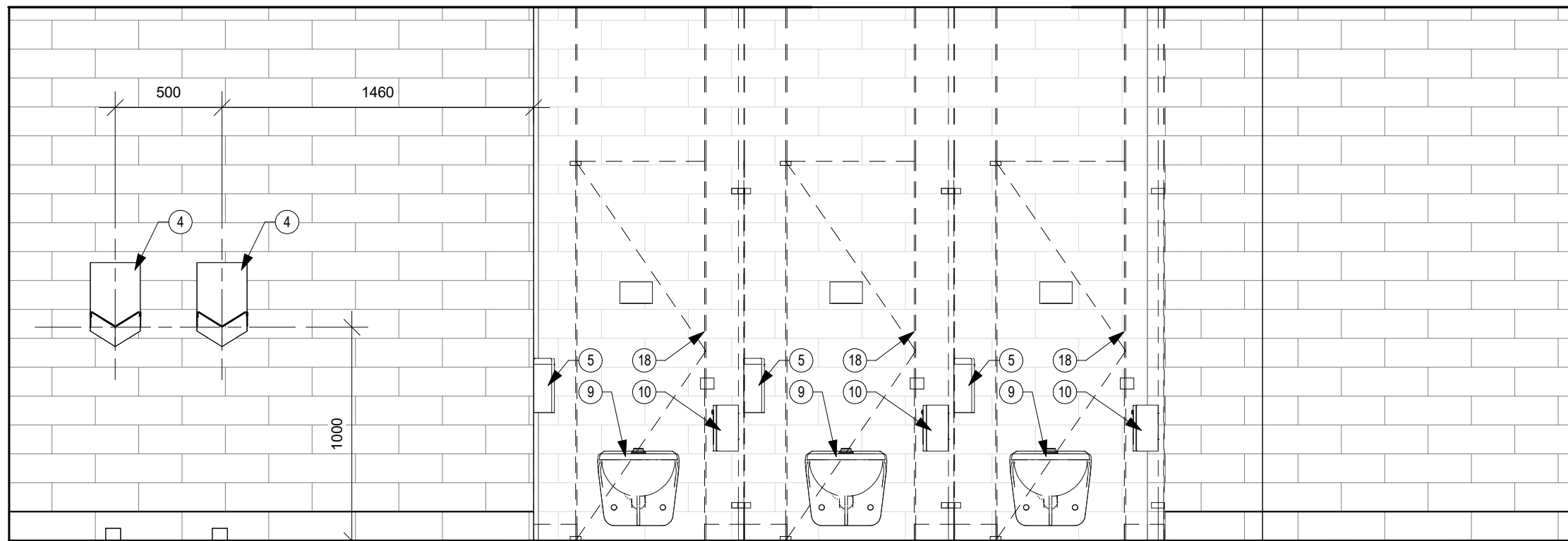
DOOR ELEVATION NOTES



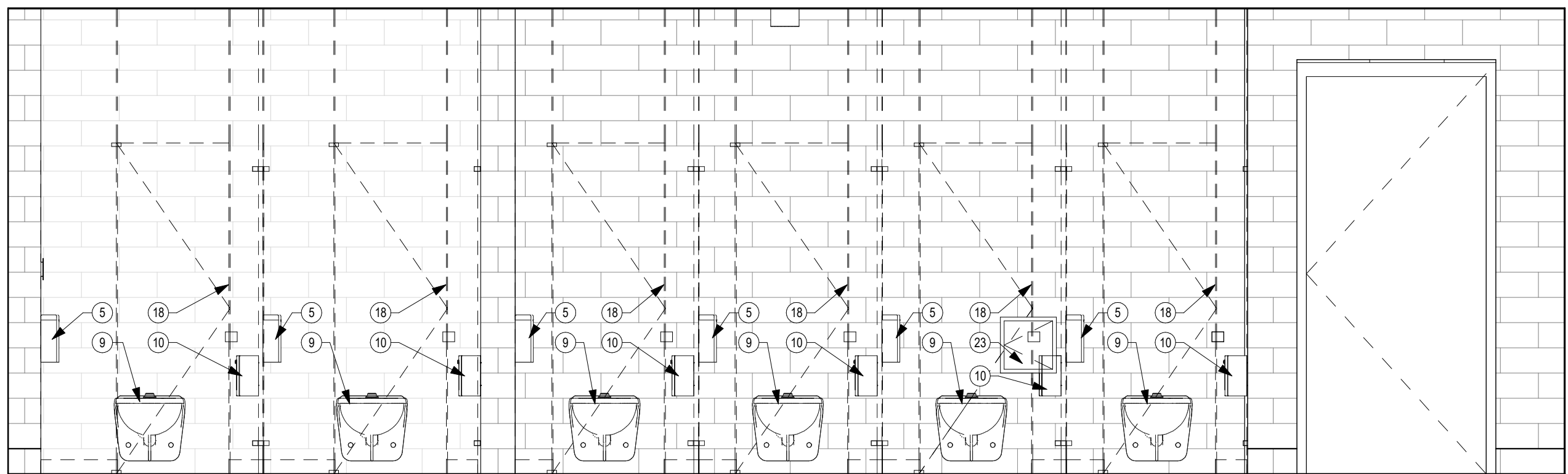
1 KEY PLAN
A201 Scale: 1:250



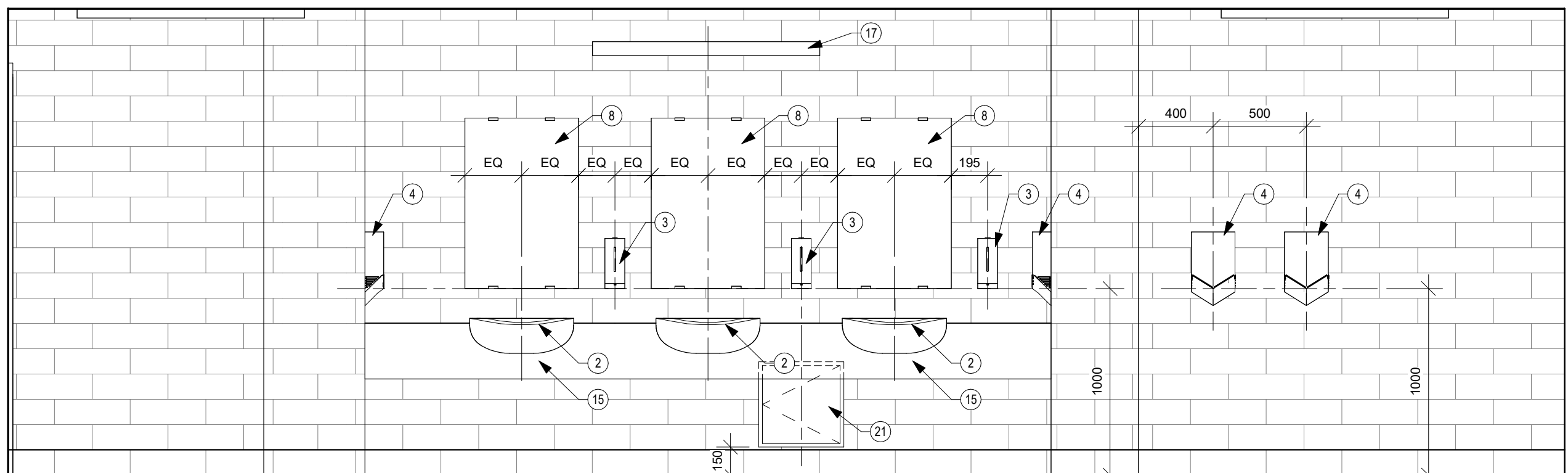
8 INTERIOR ELEVATION
A201 Scale: 1:25



9 INTERIOR ELEVATION
A201 Scale: 1:25



10 INTERIOR ELEVATION
A201 Scale: 1:25



11 INTERIOR ELEVATION
A201 Scale: 1:25

DOOR & SCREEN SCHEDULE - UC														
Door/Screen	Width x Height x Thickness	Type / Elev	Material	Finish	Glazing	Grille	Frame	Profile	Material	Finish	Hardware	U.L.C. Part	Closer	Threshold
Qty Level														
0008	2415x2150x45	D2	HM	PNT	-	-	F2	DF1	HM	PNT	No	Yes	No	No
0009	165x2150x45	D1	HM	PNT	-	-	F1	DF1	HM	PNT	No	Yes	No	No
GN02	165x2150x45	D1	HM	PNT	-	-	F1	DF1	HM	PNT	No	No	No	No
GN08	165x2150x45	D1	HM	PNT	-	-	F1	DF1	HM	PNT	No	No	No	No

2024 ONTARIO BUILDING CODE DATA MATRIX						Issued: 2025-01-01
PART 11 - RENOVATION			OBC REFERENCE (1)			
11.00 BUILDING CODE VERSION	O Reg. 163/24	LAST CODE AMENDMENT O Reg. 447/24				
11.01 PROJECT TYPE	Renovation				[A] 1.3.3.8	
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE			3.1.2.1.(1), 11.2.1 and 11.4.1(1)	
	A2	Post-Secondary Education				
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO				11.2.2.2.1, and 9.3.2.2.2	
11.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 14.1.2, 11.2, and 11.3	
	Existing Building	-	-	-		
	NO CHANGE FROM EXISTING					
	TOTAL	-	-	-		
11.05 BUILDING HEIGHT	6	STOREYS ABOVE GRADE			[A] 4.1.2, 2.2.2.2, 3.2.1, and 11.3	
	NO CHANGE FROM EXISTING					
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS	1	STREETS			3.2.2.10, 3.2.5, 2.2.4.1, and 11.3	
11.07 BUILDING SIZE	-				11.2.1.1, and 11.12.1.1.B.N	
11.08 EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY	NO			10.1.1.2, and 11.2.1.1	
	CONSTRUCTION INDEX	-			11.1.2.1.A	
	HAZARD INDEX	-			11.1.2.1.B.N	
	IMPORTANCE CATEGORY	-			4.1.2.1.(3), 2.3.1, and 3.2.2.10	
11.09 RENOVATION TYPE	BASIC RENOVATION				11.3.3.1, and 11.3.3.2	
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE BASED ON			3.1.17, 2.1.2.2, and 11.4.2.2	
	NO CHANGE FROM EXISTING					
	TOTAL	-				
11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE/FEMALE = 50/50 EXCEPT AS NOTED OTHERWISE			37.4, 11.3.4, 11.3.5, 11.4.2.4, and 11.4.2.5	
	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	WCs REQUIRED	WCs PROVIDED	
	Refer to notes below				-	
11.11 PLUMBING FIXTURE REQUIREMENTS continued	FLOOR LEVEL/AREA	BARRIER-FREE WCs REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED	
	Refer to notes below				-	
11.12 BARRIER-FREE DESIGN	Yes - all new construction				11.3.1.2, 11.3.2, and 11.4.2.1	
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL	NO			11.4.2.1	
	INCREASE IN OCCUPANT LOAD	NO			11.4.2.2	
	CHANGE OF MAJOR OCCUPANCY	NO			11.4.2.3	
	PLUMBING	NO			11.4.2.4	
	SEWAGE SYSTEMS	NO			11.4.2.5	
	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO			11.4.2.6	
11.14 COMPENSATING CONSTRUCTION	COMPENSATING CONSTRUCTION PROVIDED	NO			11.4.3.1	
	STRUCTURAL	NO			11.4.3.2	
	INCREASE IN OCCUPANT LOAD	NO			11.4.3.3	
	CHANGE OF MAJOR OCCUPANCY	NO			11.4.3.4	
	PLUMBING	NO			11.4.3.5	
	SEWAGE SYSTEMS	NO			11.4.3.6	
	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO			11.4.3.7	
11.15 COMPLIANCE ALTERNATIVES PROPOSED	N/A				11.5.1	
11.16 ALTERNATIVE SOLUTIONS	N/A				[A] 2.1.1, and [CP.1]	
11.17 NOTES	Existing building classification: 3.2.2.23, Group A, Div 2, Any Height, Any Area, Sprinklered Sprinkler System Required, Existing Fire Alarm System Required, Existing Standpipe System Required, Existing Existing Plumbing Fixture Count (in-scope area only): 3 Urinals + 12 WCs + 15 Fixtures Proposed Plumbing Fixture Count (in-scope area only): 12 WCs + 1 Barrier-Free Washroom + 1 Universal Washroom (Urinal counting as 1M and 1F per 3.7.4.2.(B)) + 15 Fixtures Existing Barrier-Free Fixtures: 1 total in each multi-stall washroom Proposed Barrier-Free Fixtures: 1 Barrier-Free Washroom + 1 Universal Washroom Janitor's Rooms: (Urinal as per 3.3.1.2.2 (3))					
1. ALL REFERENCES ARE TO DIVISION 8 OF THE OBC UNLESS PRECEDED BY A/FOR DIVISION A AND C/FOR DIVISION C						
Ontario Building Code Data Matrix, Part 11 - © Ontario Association of Architects						

DEMOLITION NOTES

- REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY AND/OR SCREEN C/W SUPPORTING STRUCTURE TO LIES OF EXISTING STRUCTURE ABOVE. UNLESS OTHERWISE NOTED, COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
- REMOVE AND DISPOSE OF EXISTING DOOR C/W FRAME, SCREENS AND ALL HARDWARE INCLUDING THRESHOLDS. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN.
- REMOVE AND DISPOSE EXISTING FLOORING AND BASE C/W ALL ADHESIVES/GROUT. PATCH AND MAKE GOOD EXISTING SLAB/SUBSTRATE TO ACCEPT PROPOSED FLOOR FINISH.
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES C/W ALL WALL MOUNTED ACCESSORIES INCLUDING GRAB BARS, WALL PROTECTION, ALL GROUT AND ADHESIVES. DISCONNECT AND CAP SERVICES, MAKE SAFE.
- REMOVE AND DISPOSE OF EXISTING MILLWORK AND CASEWORK COMPLETE. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN AND TO ACCEPT PROPOSED WALL & FLOOR FINISH.
- REMOVE AND DISPOSE EXISTING CEILING ASSEMBLY C/W DRYWALL, SUPPORTING FRAME, FASTENERS AND HANGERS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
- EXISTING CEILING TO REMAIN - REMOVE AND REINSTALL CEILING TILES/GWB AS REQUIRED FOR MECHANICAL AND ELECTRICAL SCOPE OF WORK. PATCH AND MAKE GOOD EXISTING SURFACES TO REMAIN.
- REMOVE AND DISPOSE OF EXISTING WASHROOM PARTITIONS) COMPLETE INCLUDING ALL RELATED HARDWARE. HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSERS MOUNTED TO TOILET PARTITIONS.
- REMOVE AND HAND OVER TO OWNER EXISTING PAPER TOWEL DISPENSER.
- REMOVE AND DISPOSE OF EXISTING HYDRONIC HEATER. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE.
- REMOVE AND HAND OVER TO OWNER EXISTING SOAP DISPENSERS(S).
- REMOVE AND HAND OVER TO OWNER EXISTING MIRRORS(S).
- REMOVE AND DISPOSE OF EXISTING WALL TILE C/W ALL ADHESIVES/GROUT. PATCH AND MAKE GOOD EXISTING WALLS TO ACCEPT PROPOSED WALL FINISH.
- REMOVE AND DISPOSE OF EXISTING WINDOW SILL c/w SHIMS AND ASSOCIATED ANCHORS.
- REMOVE AND DISPOSE OF EXISTING DISPOSAL UNIT.
- REMOVE AND DISPOSE OF EXISTING WALL ASSEMBLY FOR PROPOSED DOOR. REFER TO DOOR SCHEDULE FOR SIZE OF DOOR. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR DISCONNECTING AND CAPPING OF ANY SERVICES WITHIN WALL. PATCH AND MAKE GOOD ALL SURFACES TO REMAIN TO ACCEPT PROPOSED CONSTRUCTION OR FINISH.
- REMOVE AND HAND OVER TO OWNER SANITARY NAPKIN DISPOSAL.
- REMOVE AND HAND OVER TO OWNER EXISTING HAND DRYERS COMPLETE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE.
- REMOVE AND DISPOSE OF EXISTING GRAB BAR.
- REMOVE AND HAND OVER TO OWNER EXISTING SANITARY NAPKIN DISPENSER.
- REMOVE AND HAND OVER TO OWNER EXISTING CHANGE TABLE.
- REMOVE AND DISPOSE OF STAINLESS STEEL PLATE COVER. INFILL OPENING WITH WALL ASSEMBLY TYPE W-1 AND MAKE FLUSH WITH EXISTING ADJACENT WALL TYPE TO REMAIN. TO ACCEPT NEW WALL FINISH AND ENSURE SMOOTH TRANSITION.
- SAW CUT, REMOVE AND DISPOSE OF PORTION OF EXISTING CONCRETE FLOOR ASSEMBLY TO ACCOMMODATE SCOPE OF WORK. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR LOCATIONS AND SIZE. DIMENSIONS SHOWN ARE APPROXIMATE FOR PRELIM ONLY.
- REMOVE AND DISPOSE EXISTING CEILING ASSEMBLY C/W GRID, CEILING TILE, SUSPENSION SYSTEM AND ALL CEILING MOUNTED ITEMS. COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR EXACT LOCATION OF DISCONNECT AND REMOVAL OF ANY SERVICE WITHIN CEILING.
- REMOVE EXISTING OPENING FRAME COMPLETE.
- DASHED LINE INDICATES EXTENT OF DEMOLITION.
- REMOVE AND DISPOSE OF EXISTING WALL TILE C/W ALL ADHESIVES/GROUT. REPLACE WALL SUBSTRATE AS REQUIRED TO ACCEPT PROPOSED WALL FINISH.
- REMOVE AND HAND OVER TO OWNER EXISTING STAINLESS STEEL BASIN, REFER TO MECH. FOR REMOVAL OF PLUMBING FIXTURE.
- REMOVE AND HAND OVER TO OWNER EXISTING EQUIPMENT.
- REMOVE AND HAND OVER TO OWNER EXISTING CABINETS AND MISC. ITEMS IN ROOM.
- REMOVE AND HAND OVER TO OWNER EXISTING WALL MOUNTED CHALKBOARD/CORRBOARD.
- REMOVE AND HAND OVER TO OWNER EXISTING SHOWER CURTAIN AND ROD.
- REMOVE AND HAND OVER TO OWNER EXISTING TOILET PAPER DISPENSER.
- PROPOSED CEILING TO MATCH EXISTING ADJACENT HEIGHT. PROVIDE SEAMLESS TRANSITION.
- CAREFULLY REMOVE AND REINSTALL EXISTING DRINKING FOUNTAIN FURTHER SOUTH AS REQUIRED TO FACILITATE WALL ADJACENT WALL CONSTRUCTION. EXTEND SERVICES SUCH AS ANY ELEC. AND MECH. CONNECTIONS FOR REINSTALLATION.

WALL ASSEMBLIES:

- EXISTING WALL TO REMAIN.
- 64 GALV. METAL STUDS (20ga) @ 400 O.C.
- 16 GWS SHEATHING
- 16 GWS SHEATHING
- 82 GALV. METAL STUDS (20ga) @ 400 O.C.
- MINIMAL FIRE-RESISTANT BATT CAVITY INSUL. (WHERE SHOWN)
- 16 GWS SHEATHING
- 16 GWS SHEATHING
- 82 GALV. METAL STUDS (20ga) @ 400 O.C.
- 140 CONCRETE MASONRY UNITS
- 190 CONCRETE MASONRY UNITS

CEILING ASSEMBLIES

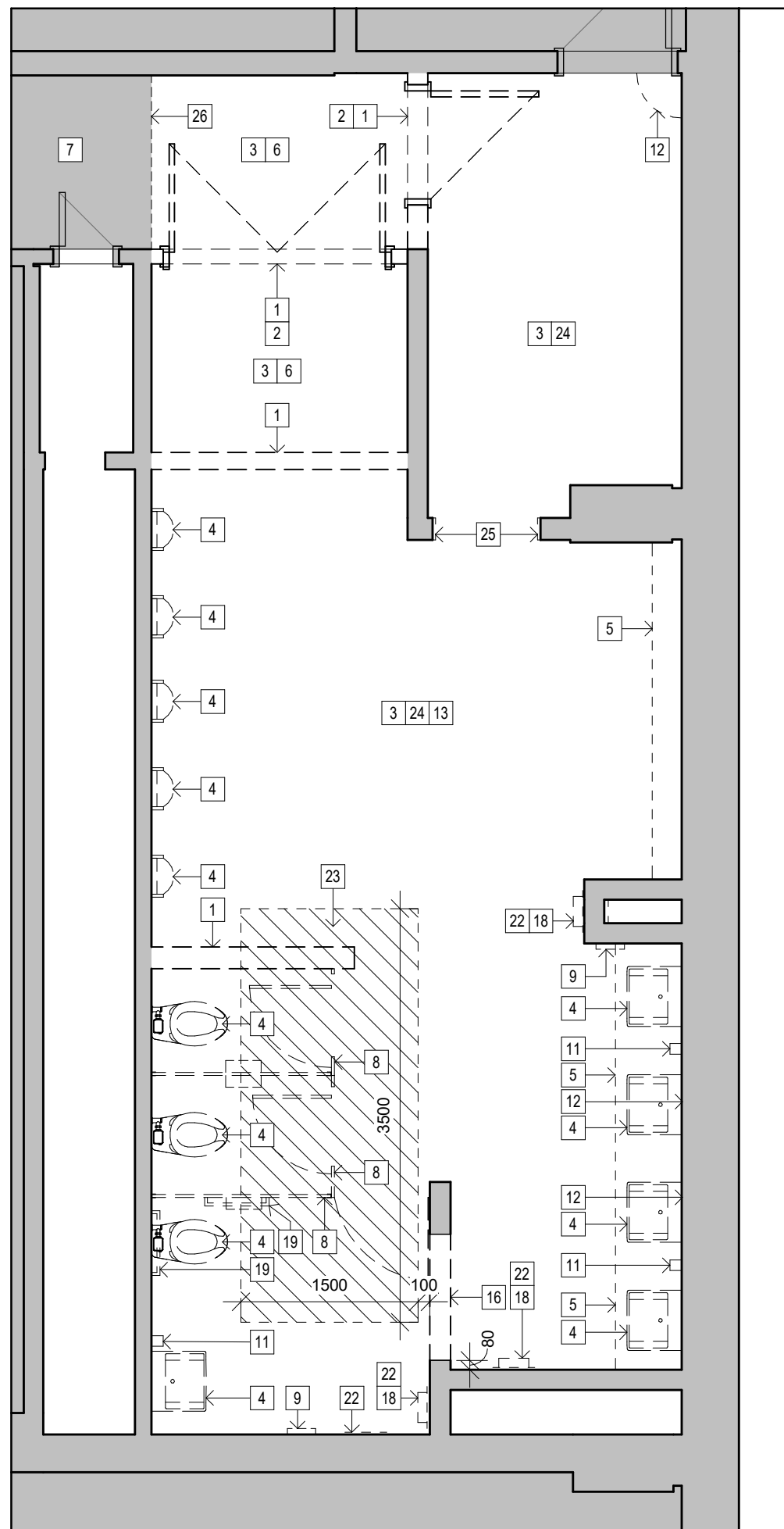
- EXISTING CEILING TO REMAIN
- 16 GYPSUM WALL BOARD SHEATHING
- 22 FURRING CHANNELS @ 500 o.c.
- 64 CARRYING CHANNELS @ 400 o.c.
- 616x1220 ACOUSTIC CEILING TILE
- PRE-FINISHED METAL T-GRAB SUSPENSION SYSTEM
- EXPOSED METAL DECK, STEEL STRUCTURE, AND MECH/ELEC SERVICES. PAINT.
- BULKHEAD
- 16 GYPSUM WALL BOARD SHEATHING
- 64 CARRYING CHANNELS @ 400 o.c.
- SUSPENSION SYSTEM

DRAWING NOTES

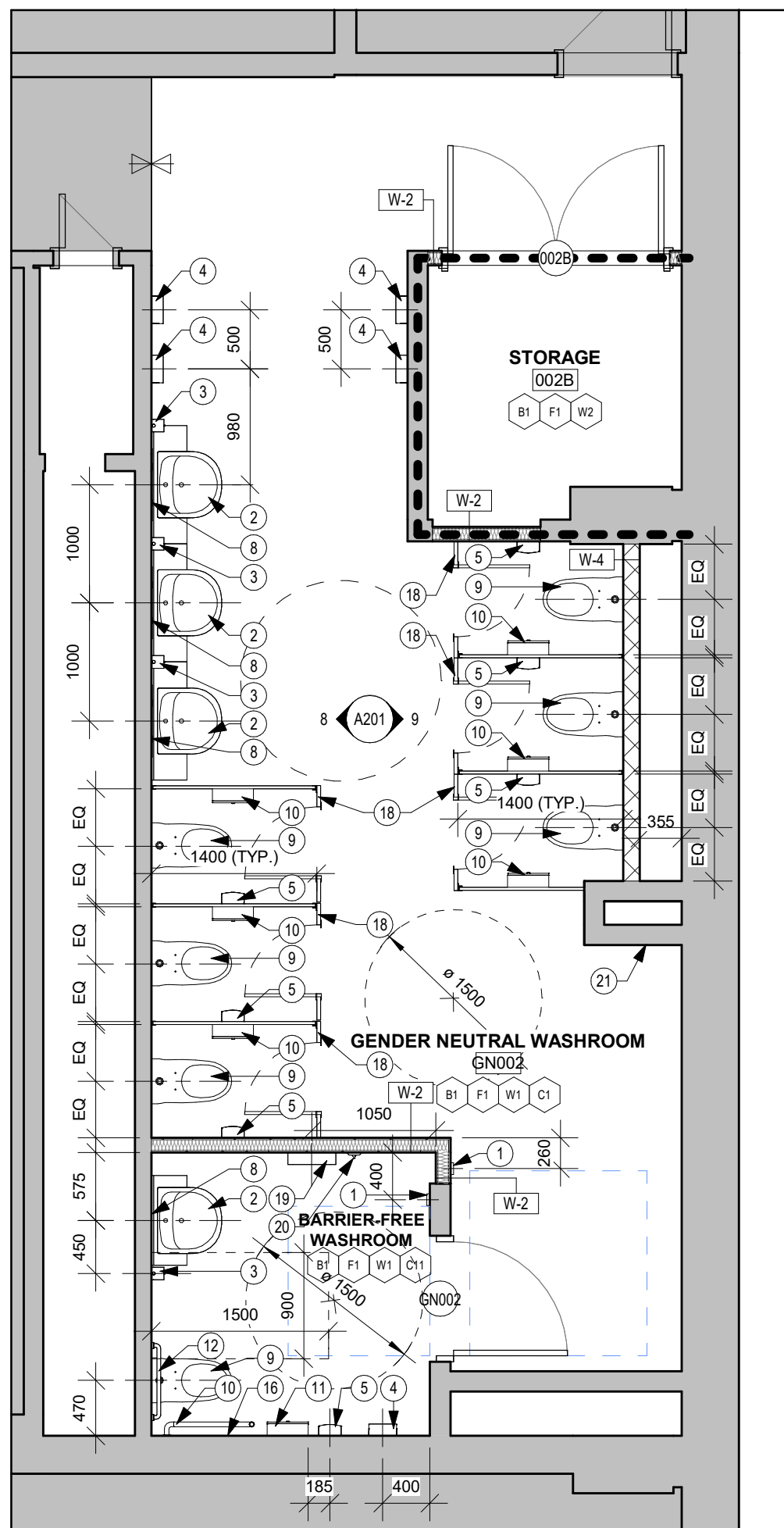
- 1500 BARRIER-FREE PUSH DOOR OPERATOR PUSH BUTTON.
- HANDWASH SINK
- SOAP DISPENSER
- HAND DRYER
- SANITARY NAPKIN DISPOSAL
- COAT HOOK
- SHELF 100mm DEEP
- 610 X 914 MIRROR, CENTERED ON SINK BELOW
- WALL MOUNTED TOILET
- TOILET TISSUE DISPENSER
- 750 X 750 L-SHAPED GRAB BAR
- 380(1120) HORIZONTAL GRAB BAR 750 LONG, CENTERED OVER TOILET
- SOLID SURFACE WINDOW SILL. MATCH EXISTING DIMENSIONS AND PROVIDE CONTINUOUS SEALANT AT MATERIAL TRANSITION/JUNCTIONS.
- WALL ASSEMBLY TO BE ADDED ON TOP OF EXISTING KNEE WALL
- COUNTER/SWIRT
- EMERGENCY CALL BUTTON, LOCATED 915mm ABOVE FINISHED FLOOR, OBC 3.8.3.1(2). PROVIDE SIGNAGE: "IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE" IN LETTERS AT 25mm HIGH W/ 5mm STROKE CENTERED ON EMERGENCY CALL BUTTON. REFER TO SPECIFICATION AND COORDINATE WITH ELECTRICAL DRAWINGS
- LIGHT FIXTURE, REFER TO ELECTRICAL
- FULL HEIGHT WASHROOM PARTITION
- STAINLESS STEEL SHELF
- ANTI-LIGATURE COAT HOOK
- 400x400 WALL MOUNTED ACCESS PANEL MOUNTED 150 AFF TO BOTTOM EDGE (TYP.)
- PROVIDE SEAMLESS TRANSITION FROM EXISTING TO PROPOSED GYPSUM CEILING (TYP.)
- 300x300 WALL MOUNTED ACCESS PANEL
- UNDERSIDE OF BULKHEAD TO BE 200 AFF
- PROVIDE TRANSITION TRIM FOR SEAMLESS TRANSITION BETWEEN EXISTING CEILING AND PROPOSED GYPSUM CEILING

FINISH LEGEND

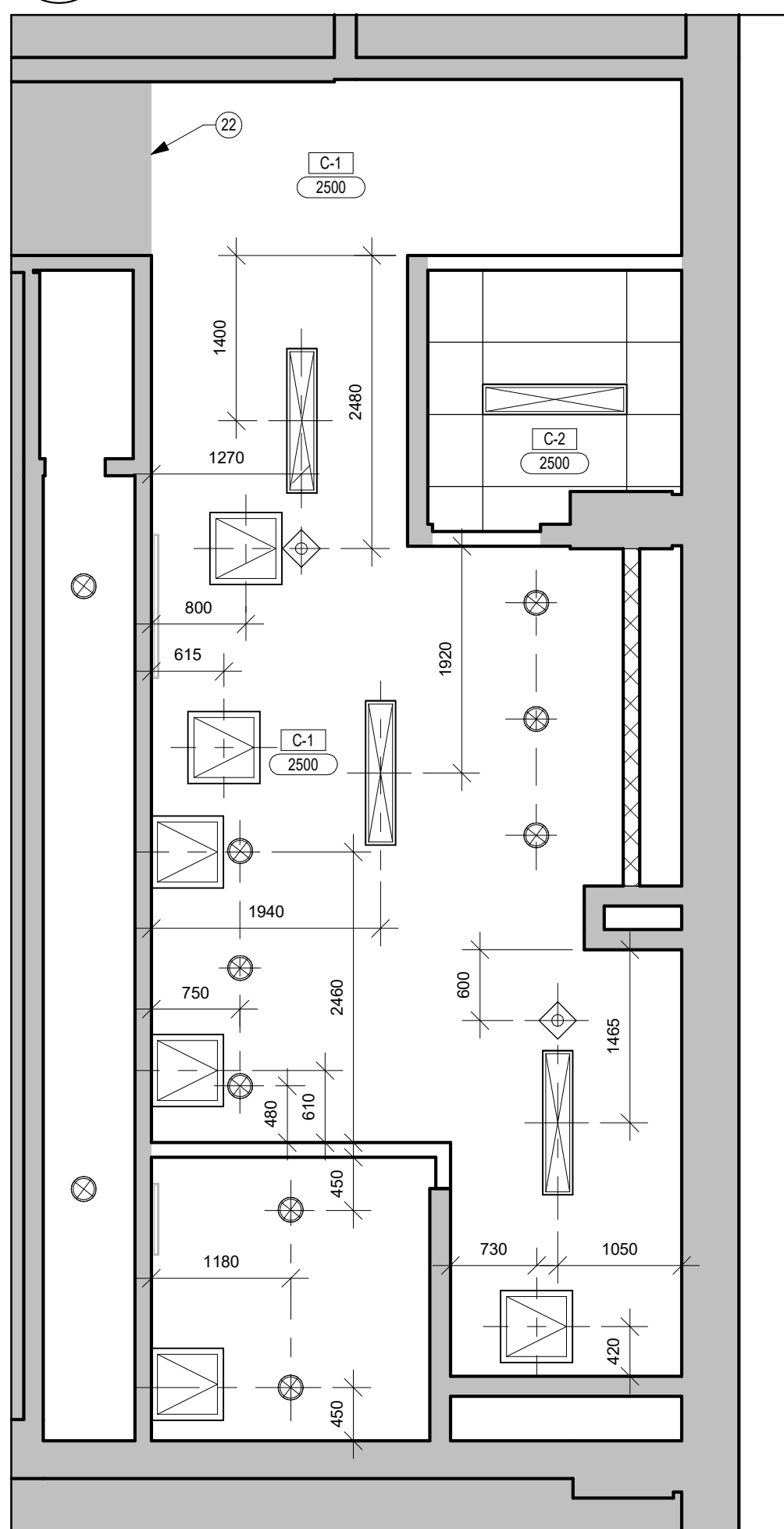
- FLOOR FINISH
- TILE FINISH
- SEALED CONCRETE
- CARPET TILE
- WALL FINISH
- PAINT TO MATCH EXISTING
- TILE FINISH
- PAINT FINISH
- WALL BASE
- TILE BASE
- RUBBER BASE
- CEILING FINISH
- PAINT FINISH



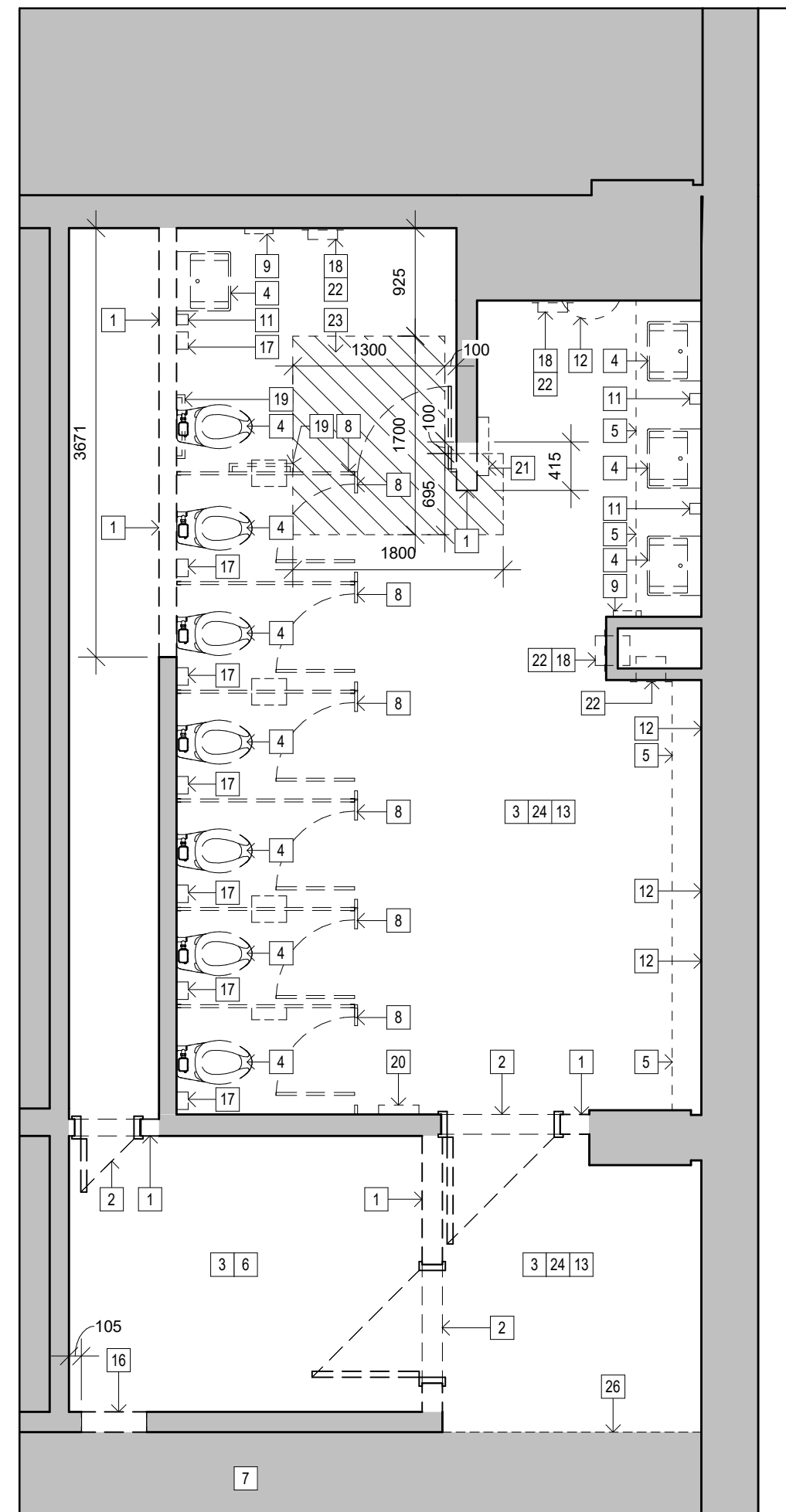
2 ENLARGED PLAN - WSHRM 1 DEMO
A201 Scale: 1:50



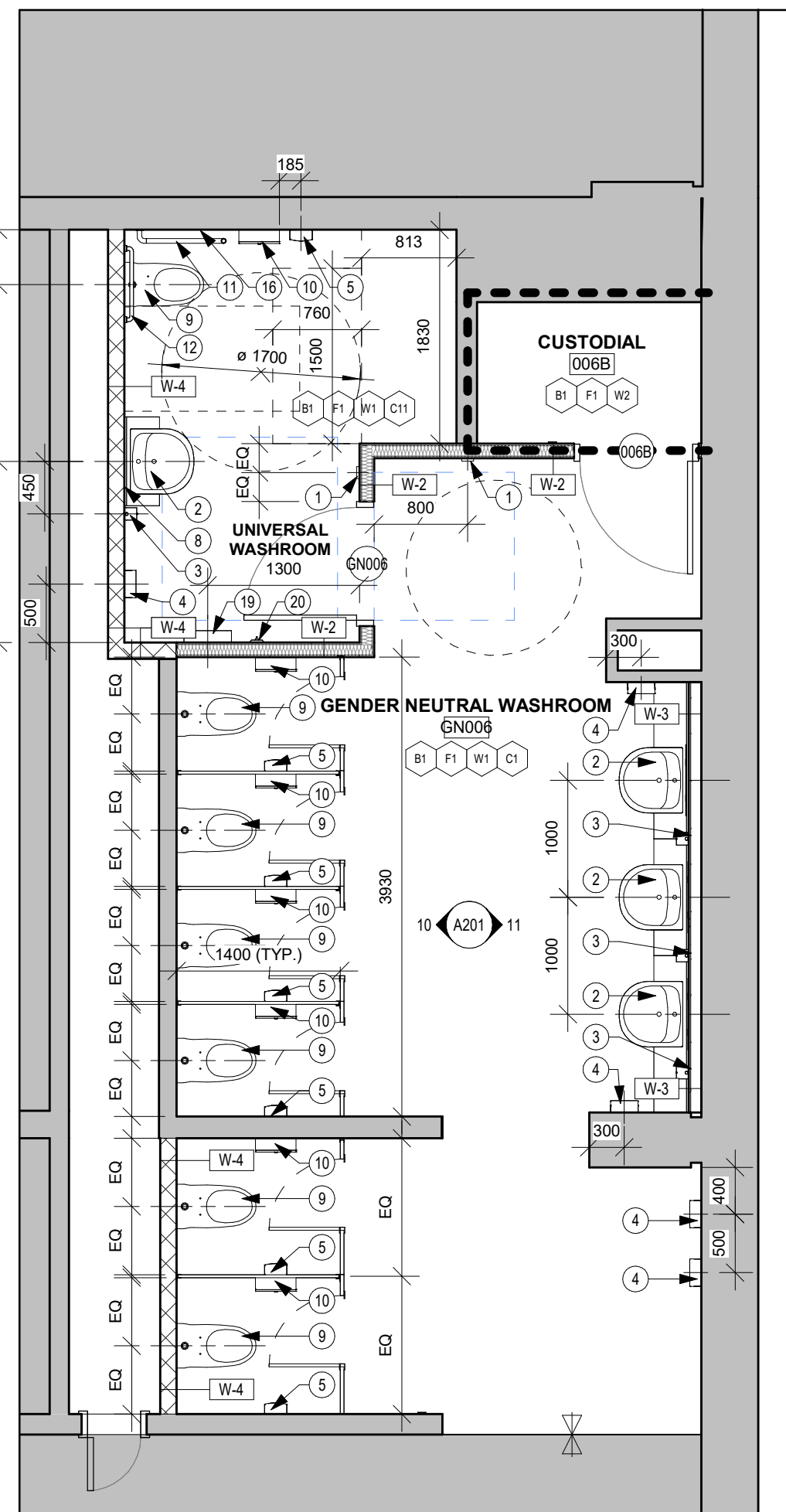
4 ENLARGED PLAN - WSHRM 1
A201 Scale: 1:50



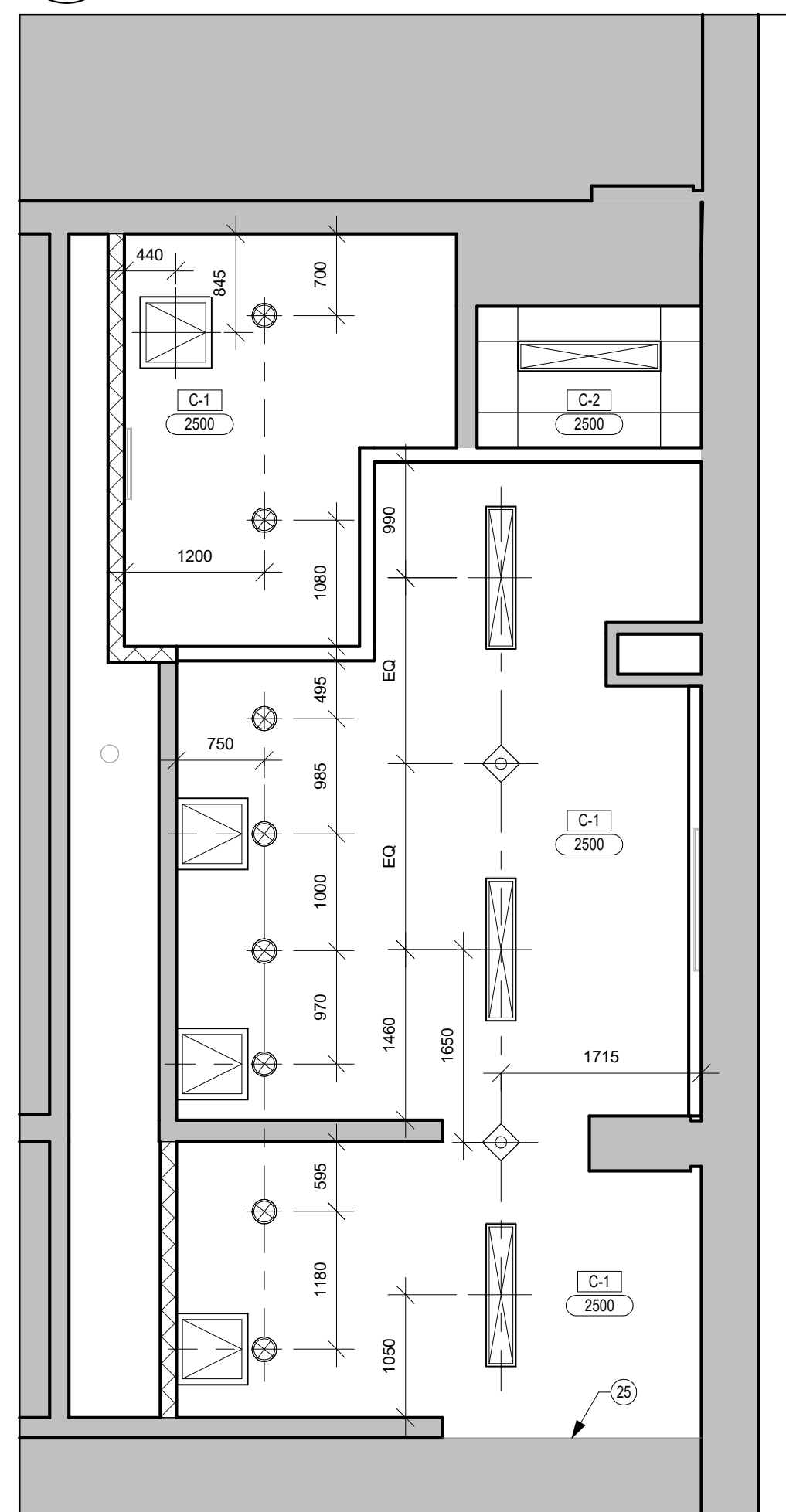
6 ENLARGED CEILING PLAN - WSHRM 1
A201 Scale: 1:50



3 ENLARGED PLAN - WSHRM 2 DEMO
A201 Scale: 1:50



5 ENLARGED PLAN - WSHRM 2
A201 Scale: 1:50



7 ENLARGED CEILING PLAN - WSHRM 2
A201 Scale: 1:50

CLIENT LOGO

UNIVERSITY OF GUELPH

No.	ISSUANCE	DATE
1	ISSUED FOR DESIGN MEMO	2026-02-10
2	ISSUED FOR 100% OWNER REVIEW	2026-03-02
3	ISSUED FOR BID & PERMIT	2026-03-13
4	ISSUED FOR ADDENDUM 1 AND PERMIT UPDATE	2026-04-02
5	ISSUED FOR BID	2026-04-30

CLIENT

UNIVERSITY OF GUELPH

50 Stone Rd E, Guelph, ON N1G 2W1

PROJECT

U of G WASHROOM & ADO UPGRADES

U of G Project No.: 621412

TITLE

UNIVERSITY CENTRE

50 Stone Rd E, Guelph, ON N1G 2W1

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