



ARCHITECTURAL
WARD99 ARCHITECTS INC.

**STRUCTURAL
VX ENGINEERING INC.**

MECHANICAL
DEI Consulting Engineers Inc.

| | |
|------|---|
| M1.1 | KEY PLAN, LEGEND AND SCHEDULES |
| M2.1 | GROUND FLOOR PART PLAN - DRAINAGE DEMOLITION & RENOVATION |
| M2.2 | GROUND FLOOR PART PLAN - DOMESTIC DEMOLITION & RENOVATION |
| M2.3 | GROUND FLOOR PART PLAN - DUCTWORK DEMOLITION & RENOVATION |
| M3.1 | DETAILS |

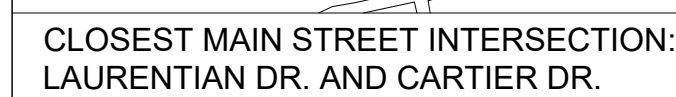
ELECTRICAL
DEI Consulting Engineers Inc.

E1.1 LEGEND AND SCHEDULES

E1.2 ELECTRICAL DETAILS

E2.1 PARTIAL GROUND FLOOR DEMOLITION AND RENOVATION
PLANS AND NOTES

PROJECT KEY PLAN



PROJECT INFORMATION

PROJECT TITLE:
TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT ADDRESS:
79 LAURENTIAN DR, KITCHENER, ON N2E 1C3












OWNER:
WATERLOO REGION DISTRICT SCHOOL BOARD

OWNER'S CONTACT INFORMATION:
51 ARDELT AVENUE, KITCHENER, ON N2C 2R5

CONSULTANT:
ward99 architects inc.

CONSULTANT'S CONTACT INFORMATION:
7511 Pine Valley Dr, Unit #1,
Woodbridge ON L4L0L2
TEL: 416-613-5880
EMAIL: INFO@WARD99ARCHITECTS.COM

DRAWING TAGS LEGEND NOTES

| | |
|---|--|
| ROOM NAME 1 | ROOM TITLE: REFERS TO ROOM NAME |
| AREA m2 | REFERS TO ROOM NUMBER |
| CL-CP | REFERS TO AREA N1 m2 REFERS TO OCCUPANT LOAD |
|  | DETAIL TAG: DETAIL NUMBER / DRAWING NUMBER. |
|  | INTERIOR ELEVATION TAG: INTERIOR ELEVATION DETAIL NUMBER / DRAWING NUMBER |
|  | BUILDING ELEVATION TAG: BUILDING ELEVATION DETAIL NUMBER / DRAWING NUMBER |
|  | BUILDING / WALL SECTION TAG: SECTION DETAIL NUMBER / DRAWING NUMBER |
|  | PARTITION CONSTRUCTION TAG. REFER TO CONSTRUCTION LEGEND ON DRAWING A2.0. |
|  | CEILING CONSTRUCTION TAG. REFER TO CONSTRUCTION LEGEND ON DRAWING A2.0. |
|  | FLOOR CONSTRUCTION TAG. REFER TO CONSTRUCTION LEGEND ON DRAWING A2.0. |
|  | REFERS TO DOOR NUMBER. REFER TO DRAWING AB.1 FOR DOOR HARDWARE SCHEDULE AND DRAWINGS FOR DOOR AND FRAME ELEVATION TYPES. |
|  | REFERS TO HOLLOW METAL FRAMED SCREEN. REFER TO HOLLOW METAL FRAMED SCREEN SCHEDULE ON DRAWING A4.1 FOR SCREEN ELEVATION TYPES. |
|  | REFERS TO HOLLOW METAL FRAMED WINDOW. REFER TO HOLLOW METAL FRAMED WINDOW TYPES ON DRAWING 248.1 FOR VISION PANEL TYPES. |
|  | REFERS TO ALUMINUM FRAMED SCREEN. REFER TO ALUMINUM FRAMED WINDOW ELEVATION TYPE ON DRAWING 544.2. |

Name of Practice:
ward99 architects inc.
7611 Pine Valley Dr. Unit 11, Woodbridge ON L4L0A2
TEL: 416-613-5880

Name of Project:
TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

Location: 79 Laurentian Dr, Kitchener, ON N2E 1C3



| Ontario 2024 Building Code Data Matrix Part 11 - Renovation of Existing Building | | | | | Building Code Reference |
|---|--------------------------------------|--|---|---|---|
| 11.0 | Building Code Version: | O. Reg. 163/24 | | Last Amendment: | O. Reg. 5/25 |
| 11.01 | Project Type: | <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: Renovation to the existing one storey school building to provide for a renovation to the existing main office area and provision for a new barrier-free washroom. Area of renovation is 146.92m2. | | | A[1]-1.2. |
| 11.02 | Major Occupancy Classification: | Occupancy Group A, Division 2 *Group A, Division 2, up to 2 Storeys | Use Elementary School up to 2 Storeys | *Closest Classification: O.B.C. 3.2.2.25. | 3.1.2.1.(1) |
| 11.03 | Supervised Major Occupancies: | <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: | | | 3.2.2.7 |
| 11.04 | Building Area (m ²) | Description: Building Area (m ²): Existing 2354.43 m ² New 0 m ² Total 2354.43 m ² | | | A[1]-4.1.2. |
| 11.05 | Building Height | 1 Storey Above Grade 3.90 (m) Above Grade 0 Storey Below Grade | | | A[1]-4.1.2. & 3.2.1.1. |
| 11.06 | Number of Streets/Firefighter Access | 1 Street(s) | | | 3.2.2.10. & 3.2.5. |
| 11.07 | Building Size | <input type="checkbox"/> Small <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> >Large | | | T.11.2.1.1.B-1.N. |
| 11.08 | Existing Building Classification: | Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: - Hazard Index: | | | 11.2.1.1. |
| | Importance Category: | <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster *Building is an elementary school. | | | T.11.2.1.1.A T.11.2.1.1.B(1) N 4.2.1.(3) 5.2.2.1.(2) |
| 11.09 | Renovation Type: | <input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation | | | 11.3.3.1. 11.3.3.2. |
| 11.10 | Occupant Load: | Floor Level/Area | Occupancy Type | Based On | Occupant Load (Persons) |
| | | *Note: OCCUPANCY OF THE SCHOOL BUILDING REMAINS UNCHANGED. | | | |
| 11.11 | Plumbing Fixture Requirements | Ratio: M:F = 50:50 Except as otherwise noted Note: Ground Floor Revisions: Demolish two existing single-use staff washrooms and replace with two new single-use staff washrooms. Addition of one new barrier-free washroom. | | | 374, 1134, 1135, 11424, and 11425 |
| 11.12 | Barrier-free Design | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Existing - 11.3.3.2.; Extensive Renovation | | | 11.3.12, 11.3.32. |
| | Barrier-free Entrances | Number: n/a Barrier-free entrances remains unchanged. Renovation complies with OBC 3.8. | | | |
| 11.13 | Reduction in Performance Level: | Structural: By Increase in Occupant Load: By Change of Major Occupancy: Plumbing: Sewage-System: Extension of combustible construction: | <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes | | 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 |
| 11.14 | Compensating Construction: | <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: Increase in Occupant Load: Change of Major Occupancy: Plumbing: Sewage-System: Extension of Combustible Construction: | | | 11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.2.5 11.4.3.6 11.4.3.7. |
| 11.15 | Compliance Alternatives Proposed: | <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe) | | | 11.5.1. |
| 11.16 | General Notes: | Renovations to the existing one storey non-sprinklered school building: closest classification is as follows. O.B.C. Classification: 3.2.2.25 Group A, Division 2, up to 2 Storeys - building is not more than 2 storeys in building height - building is permitted to be combustible or noncombustible construction - floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min. - except as permitted by Article 3.2.2.17, mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min. - loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall (a) have a fire-resistance rating not less than 45 min. or (b) be of noncombustible construction. *Note the existing school is less than 2 storeys in height and is constructed of noncombustible construction. Rating at the roof level is not required. 3.3.2.5.(3) Corridor: The 45 min. fire resistance rating, for the fire separation required at a corridor, in an assembly occupancy, is permitted to be waived if the floor area in which the corridor is located is sprinklered. *Note: the existing school is not sprinklered and in such a fire separation with a 1 hour fire-resistance rating is required at corridor walls. Scope of Work: 1. Complete renovation of the existing main office and staff work spaces in the one storey school. 2. Demolition of existing masonry and gypsum board finished partitions, flooring, wall and ceiling assemblies, millwork and fibreglass and window assemblies and provision for new partitions and assemblies to suit the new main office and staff spaces. 3. Removal of two single-use staff washrooms and replacement with two single-use staff washrooms and one barrier-free washroom. 4. Mechanical and electrical upgrades including new light fixtures and devices to suit the renovated layout. 5. Structural upgrades to suit the new layout. | | | |

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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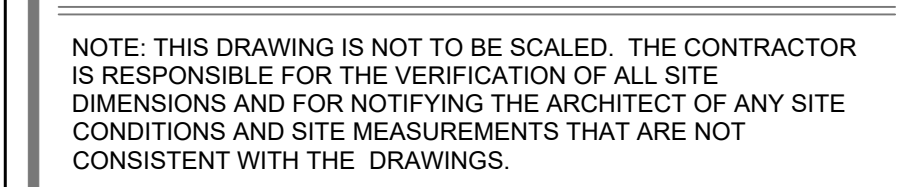
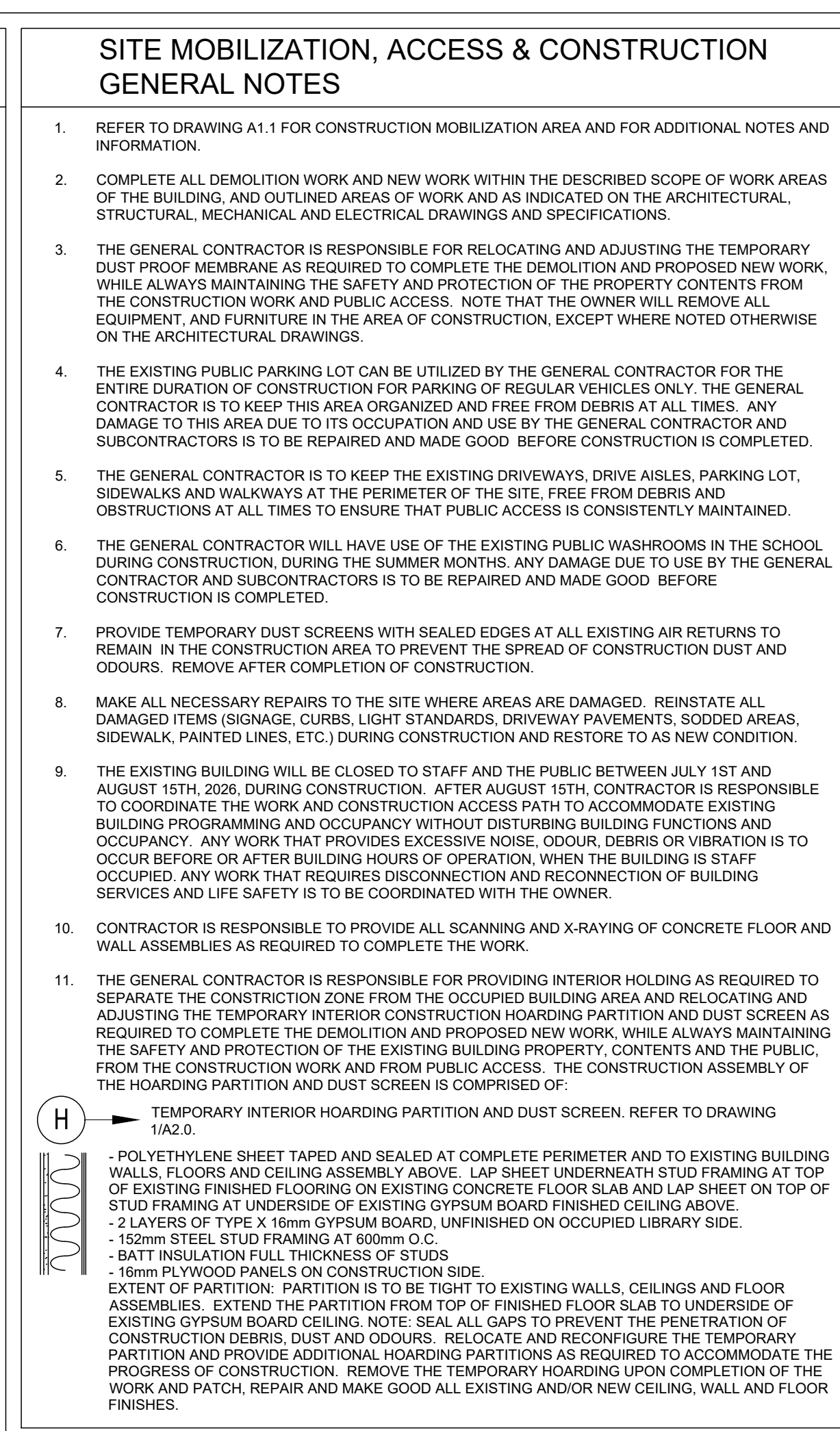
project

TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3
drawing
PROJECT TITLE, DRAWING LIST, PROJECT KEY PLAN, AND PROJECT
INFORMATION AND LEGEND
drawing scale

N/A
ward99 project number
25022 - WRDSB TRILLIUM PS

A0.0

[illegible]

| no. | issue | date |
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| 1. | Issued for Owner Review | Nov. 19, 2025 |
| 2. | Issued for Schematic Design Report | Dec. 01, 2025 |
| 3. | Issued for Permit and Tender | April 17, 2026 |
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| | | |
| | | |

project

TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3
drawing

EXISTING SITE MOBILIZATION PLAN, LEGEND, NOTES AND DETAILS

AS NOTED

ward99 project number

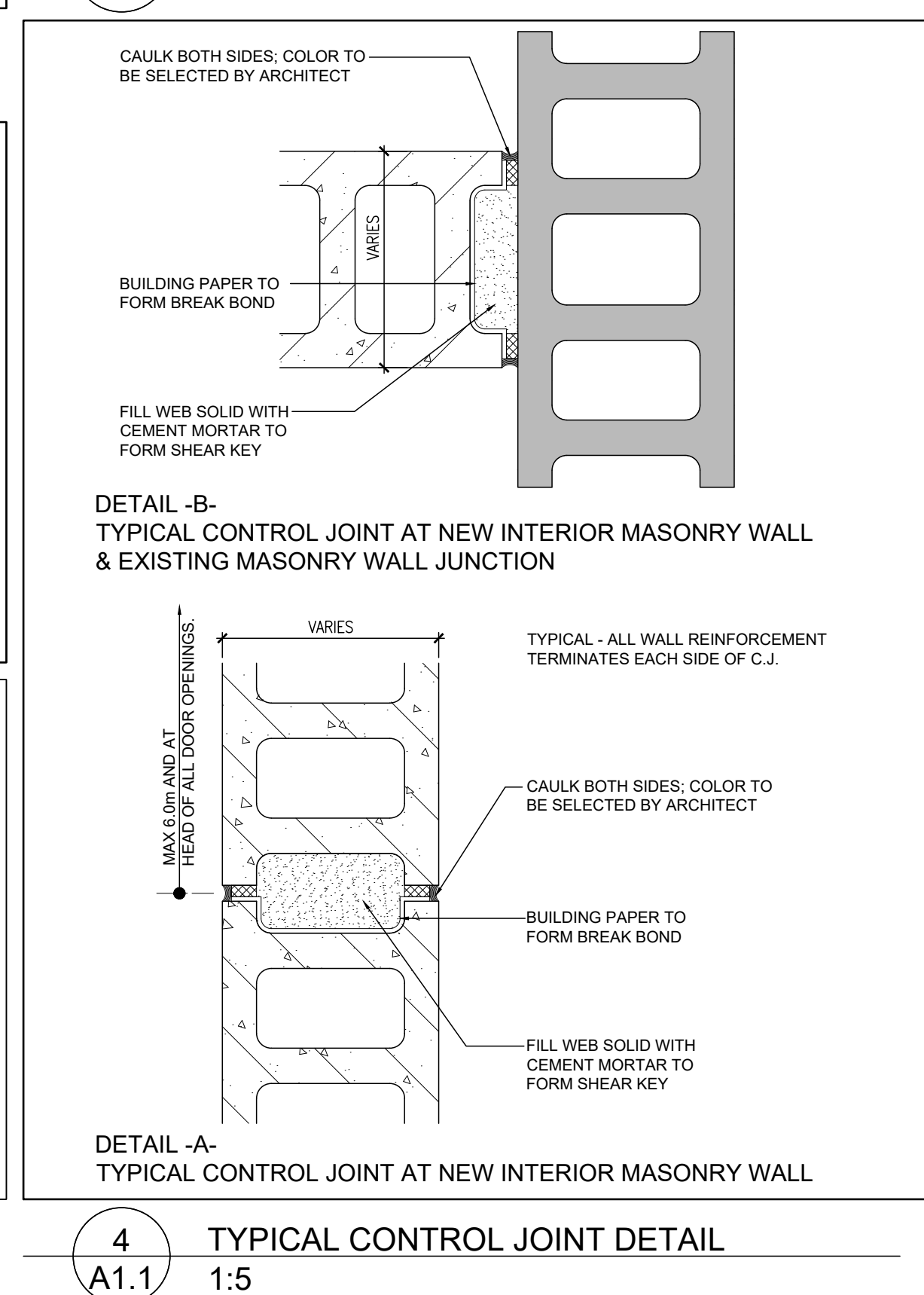
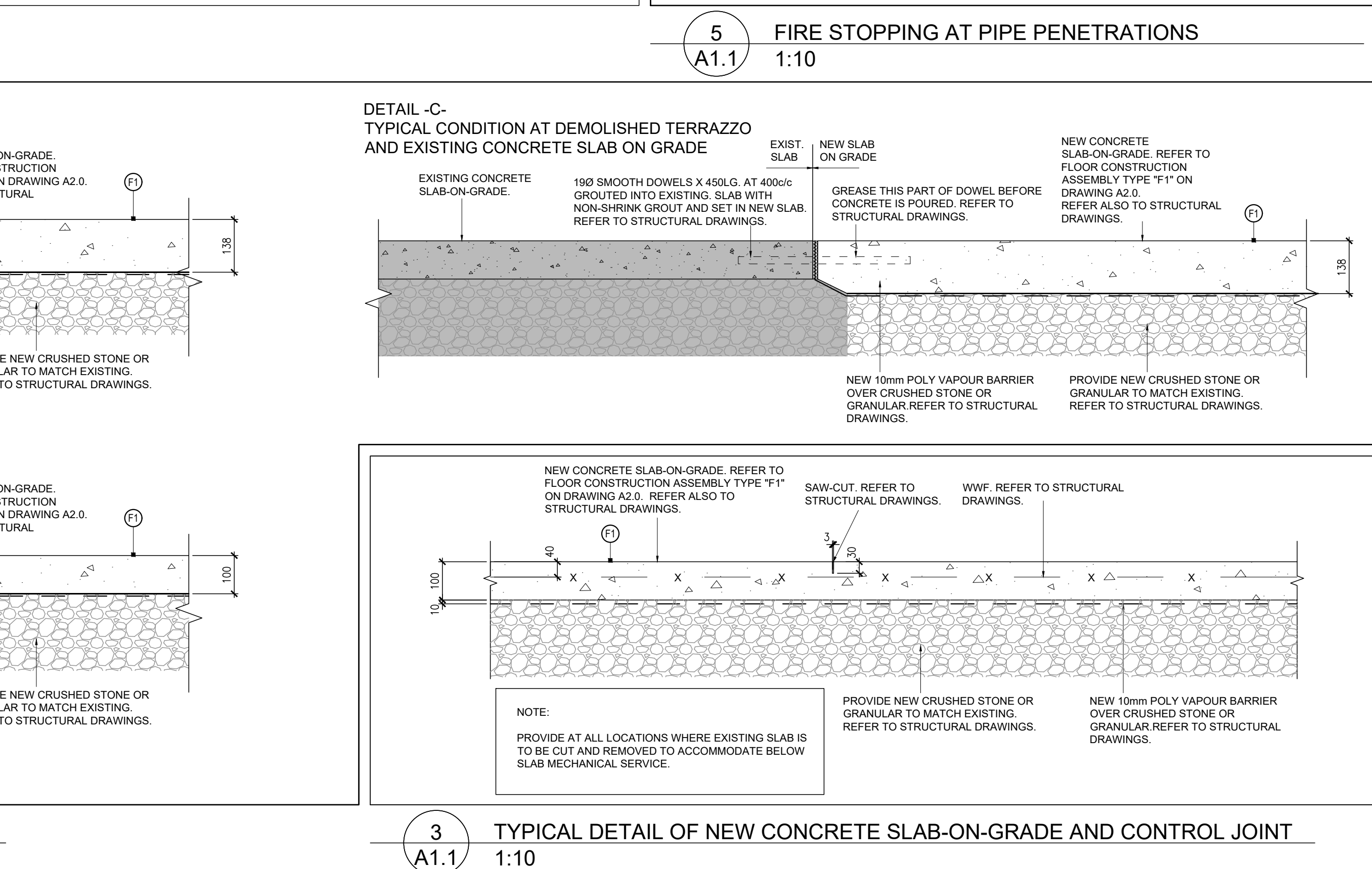
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ward99 architects drawing no.

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| Wa RD ₉₉ | A1.1 |
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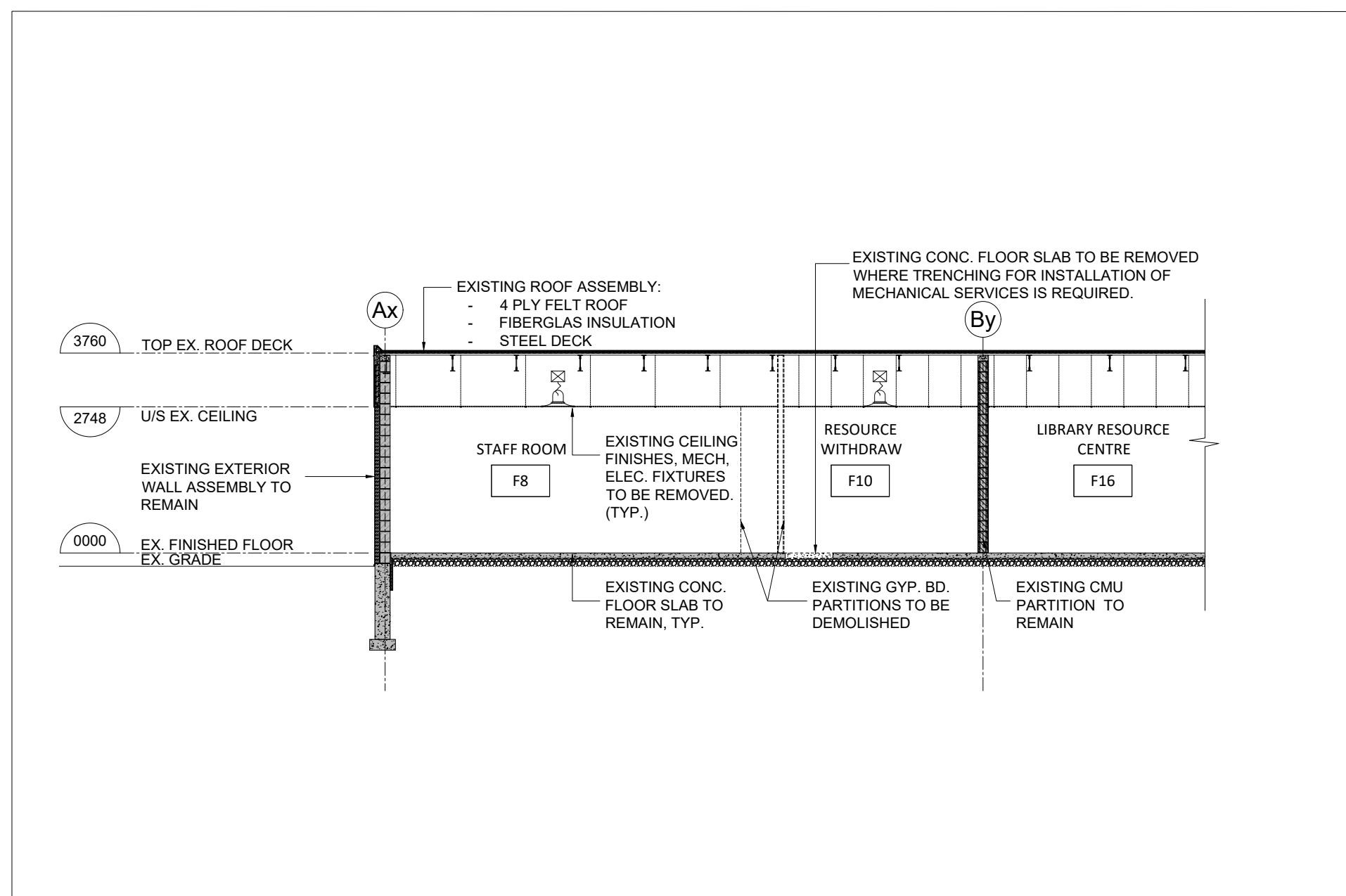
ward99 architects inc.
7611 Pine Valley Dr. Unit 11,
Woodbridge ON L4L0A2
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416 613 5880 www.ward99architects.com

A1.1

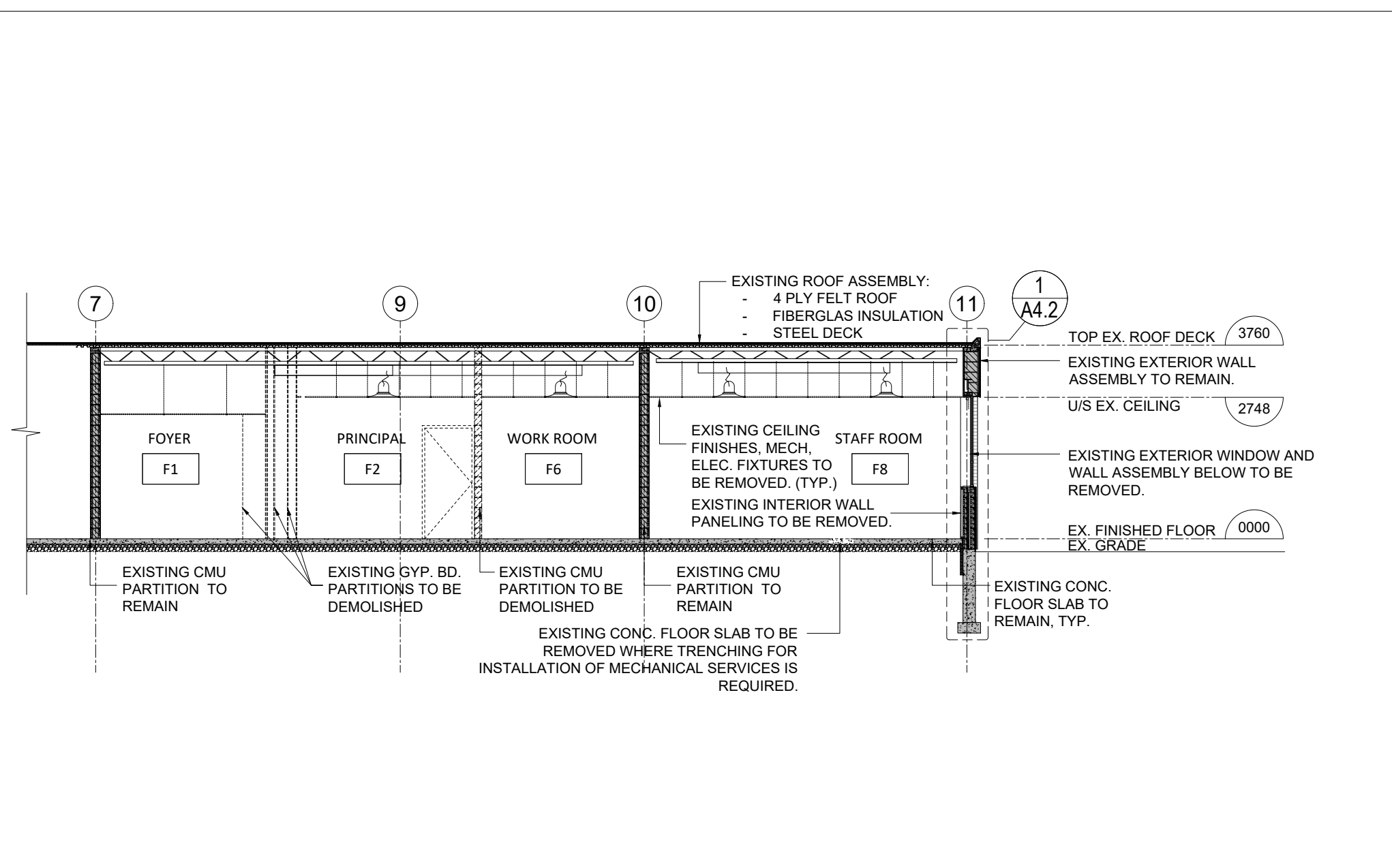




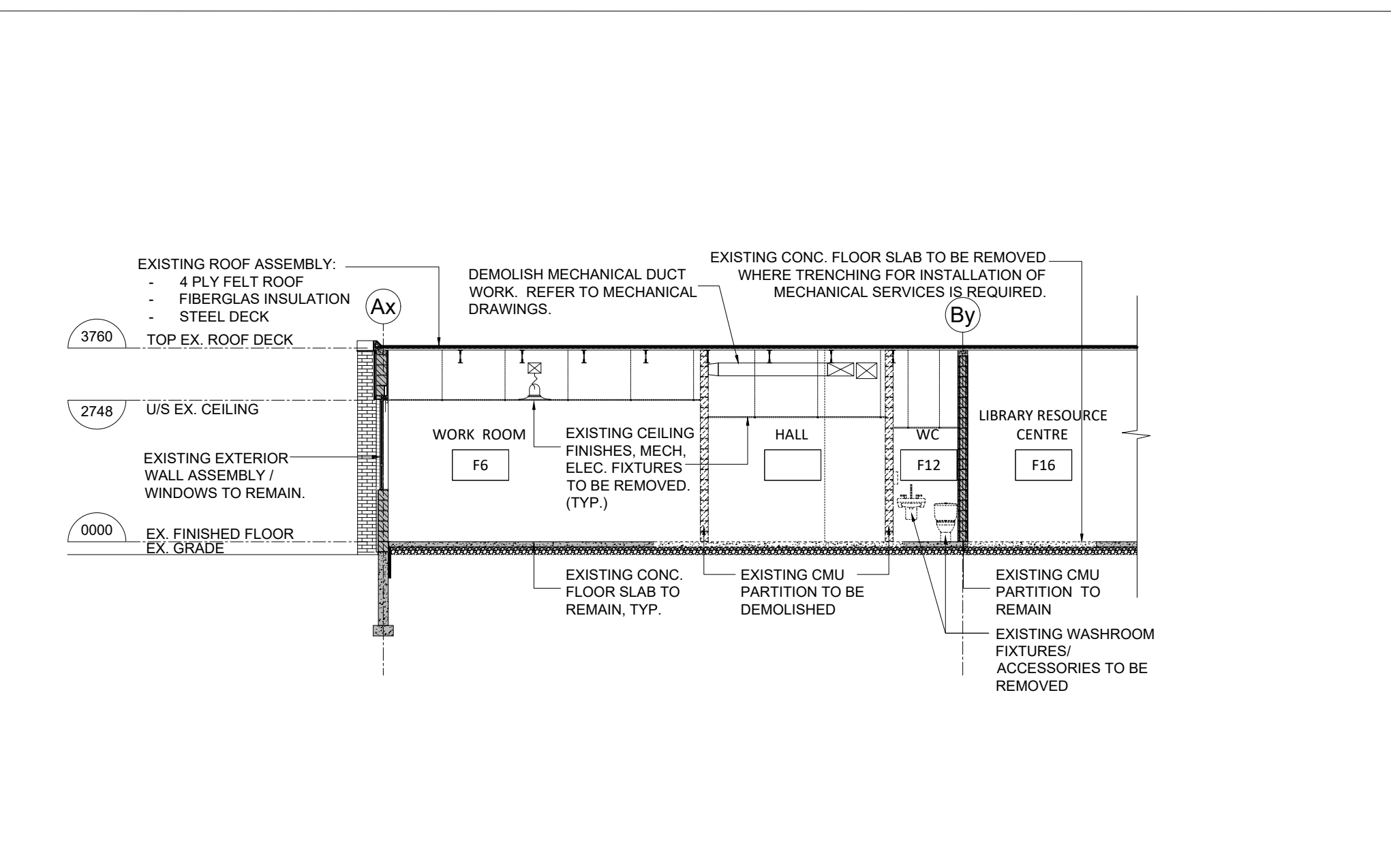
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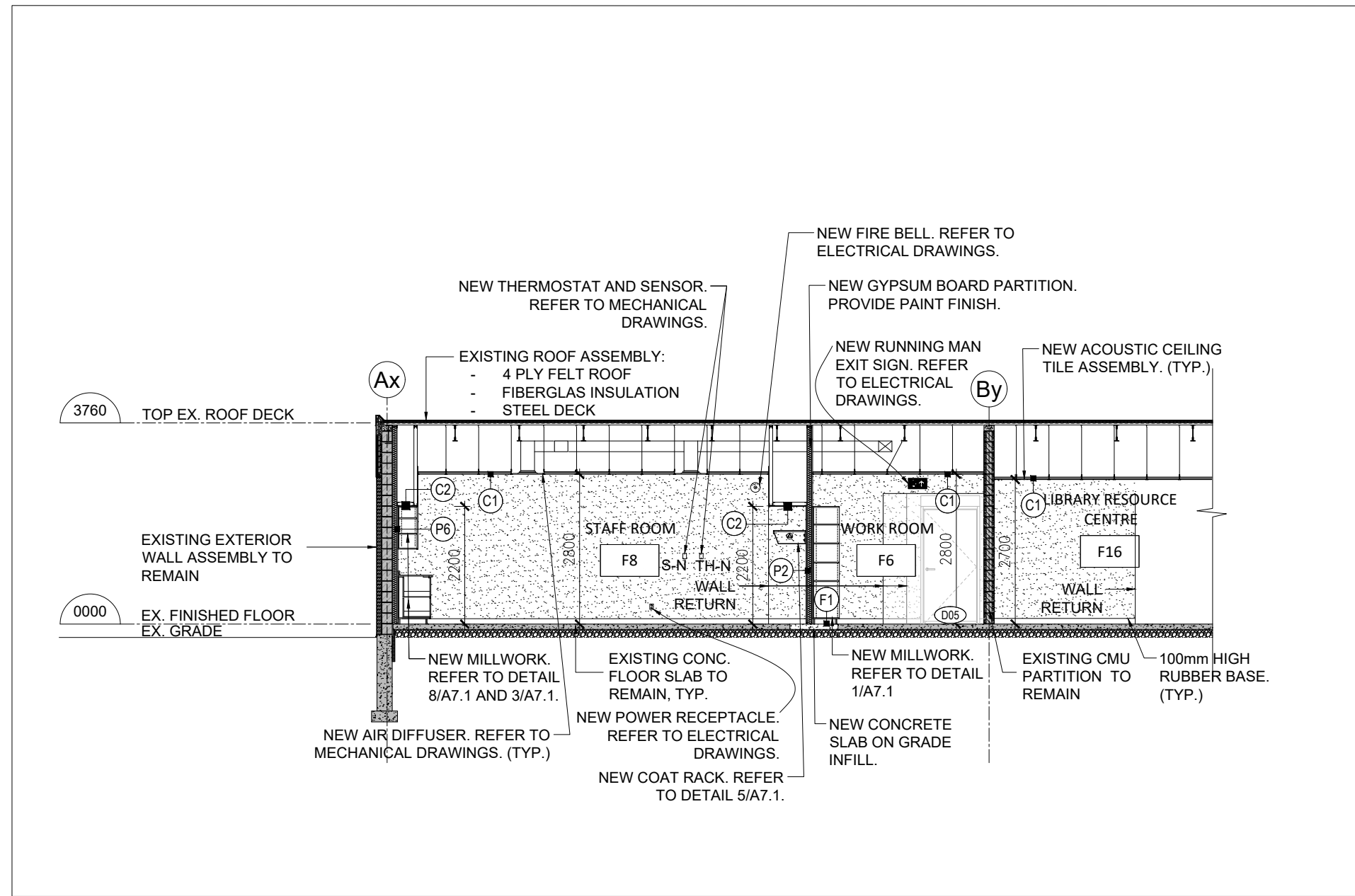
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1:100



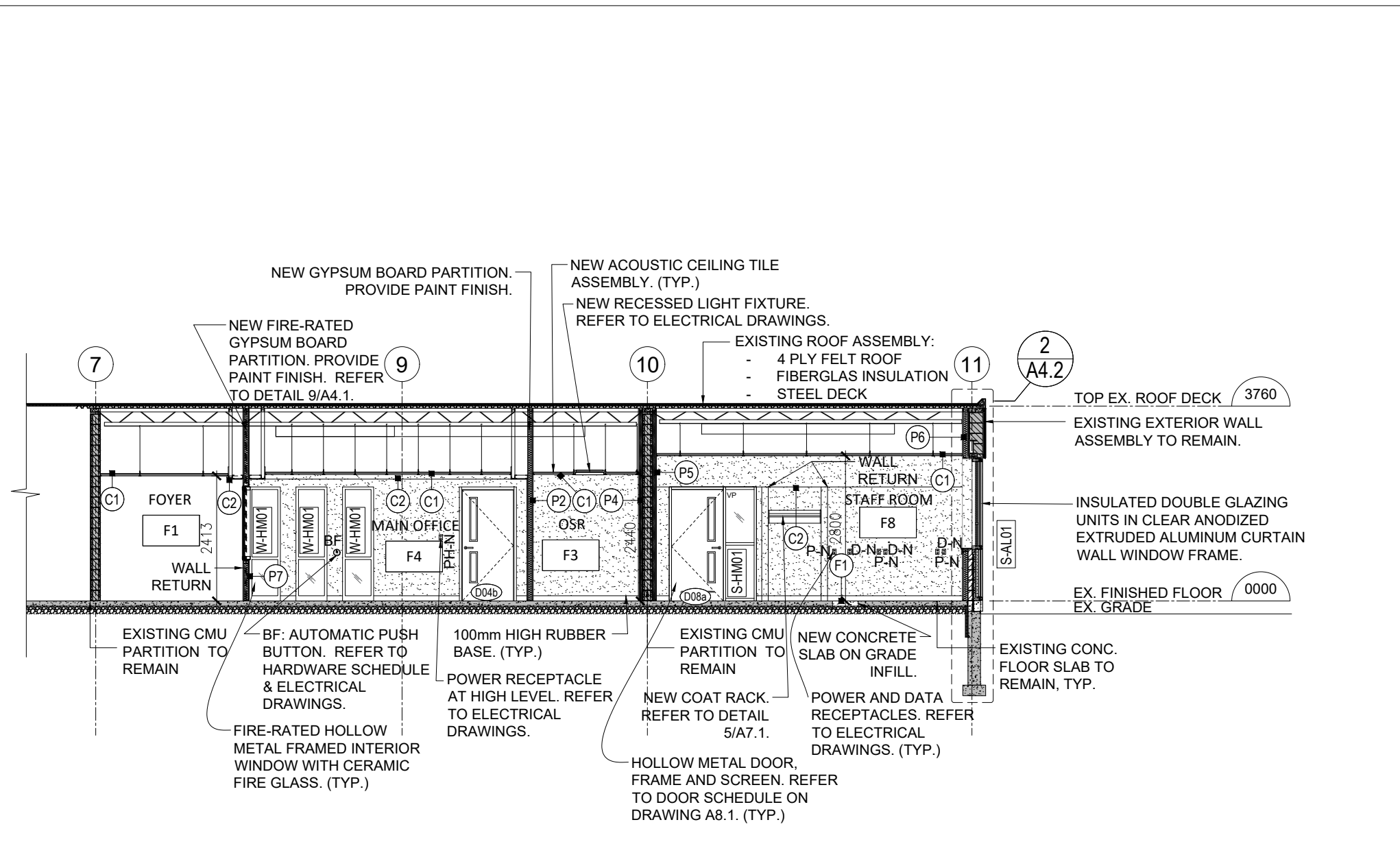
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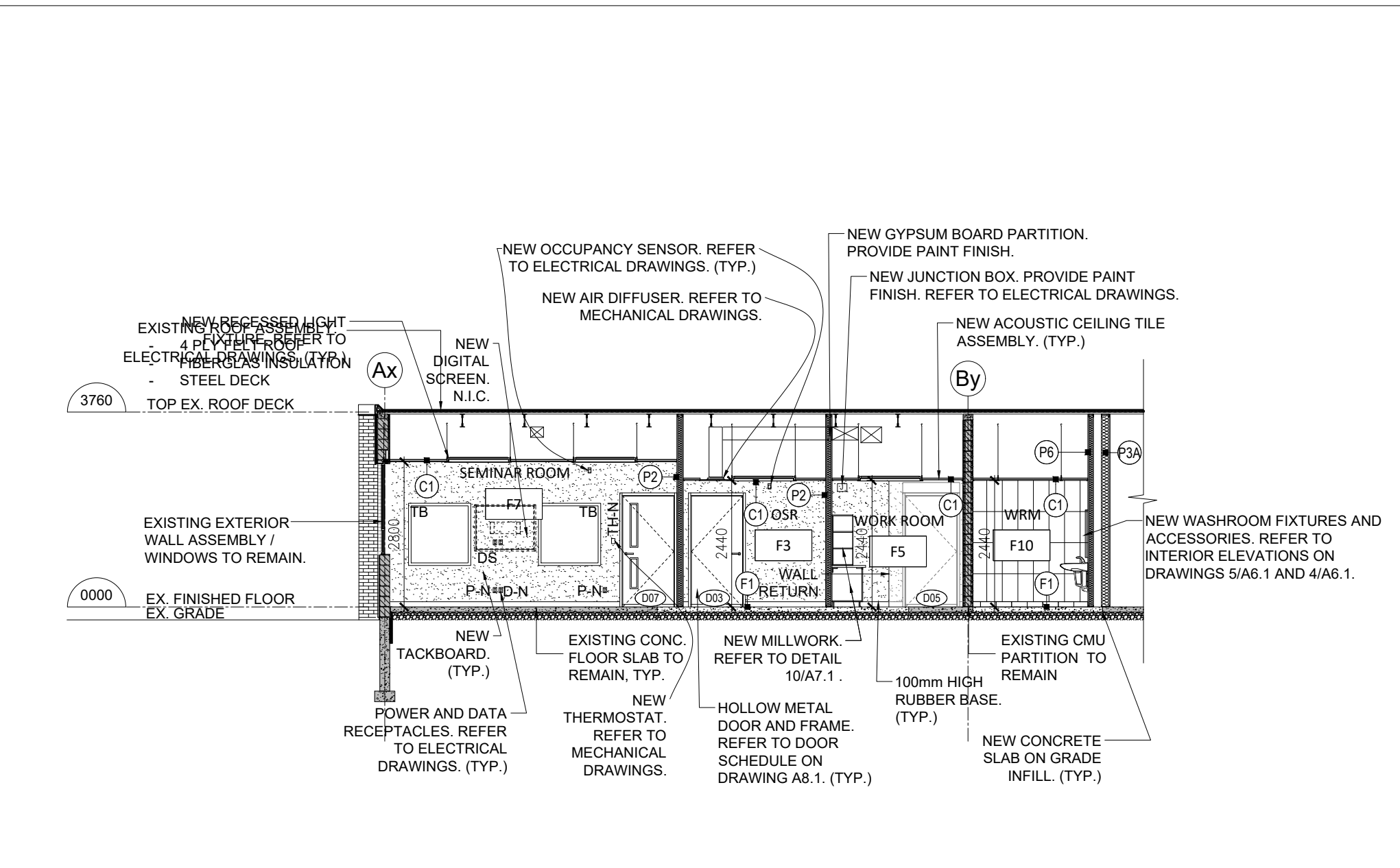
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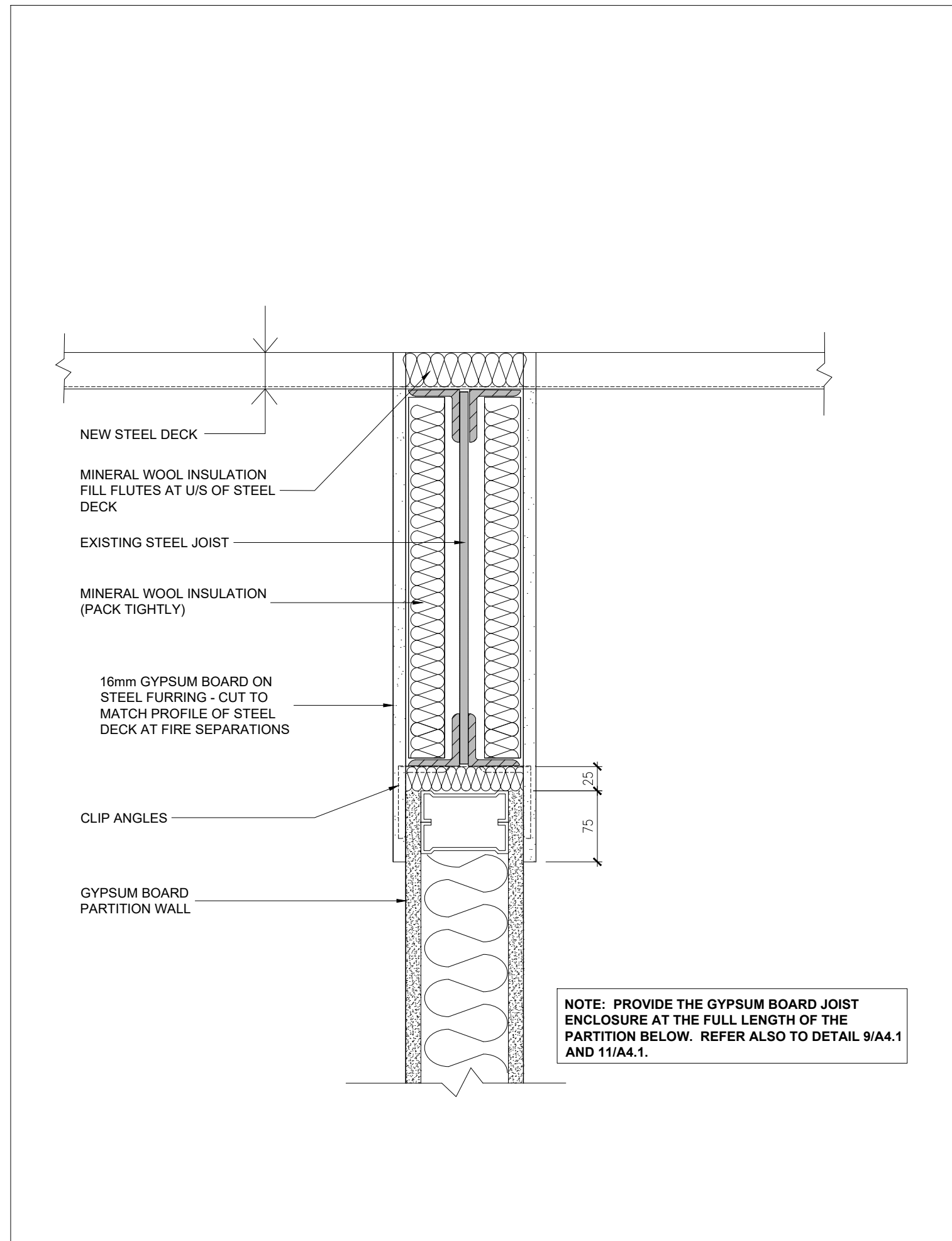
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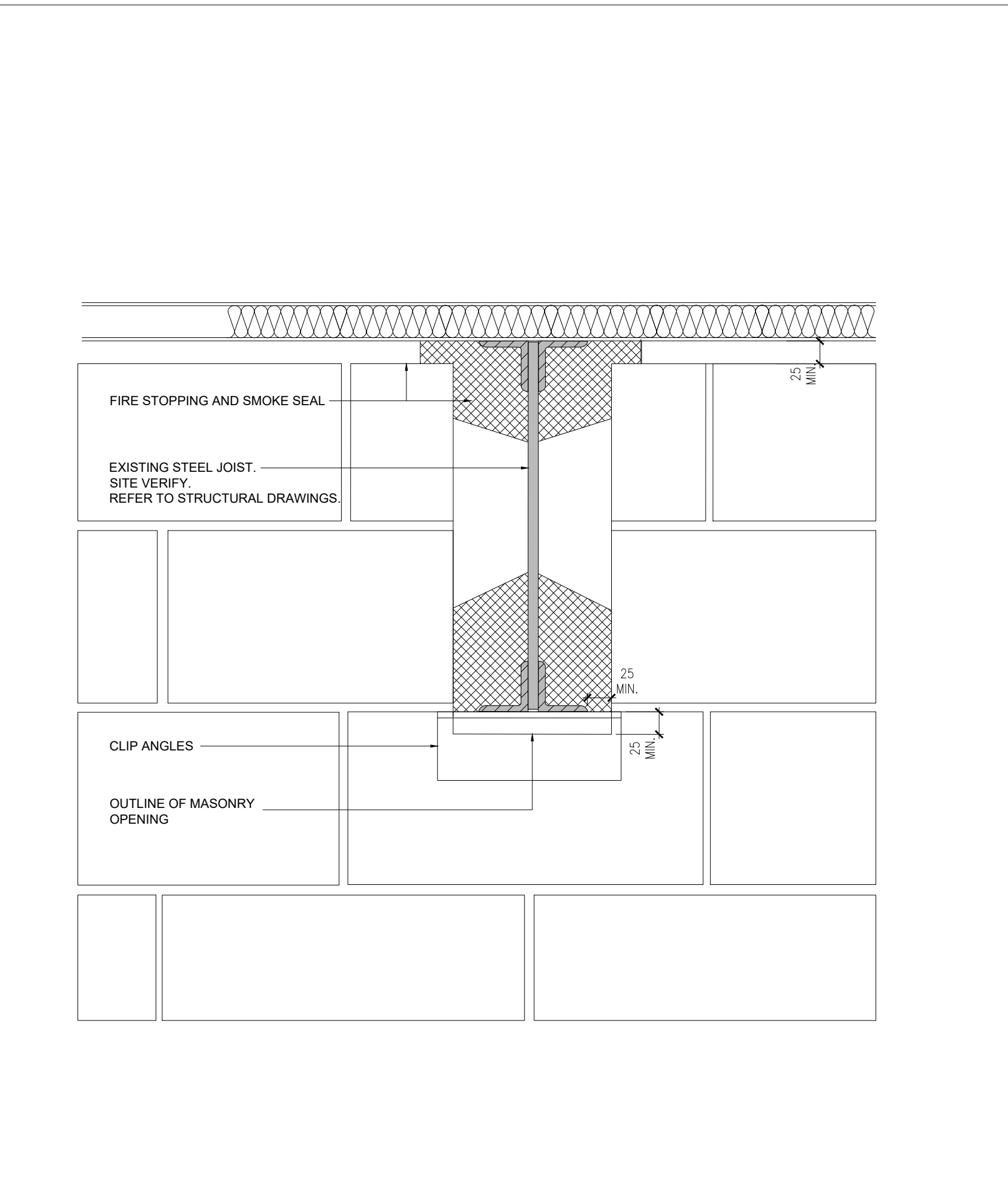
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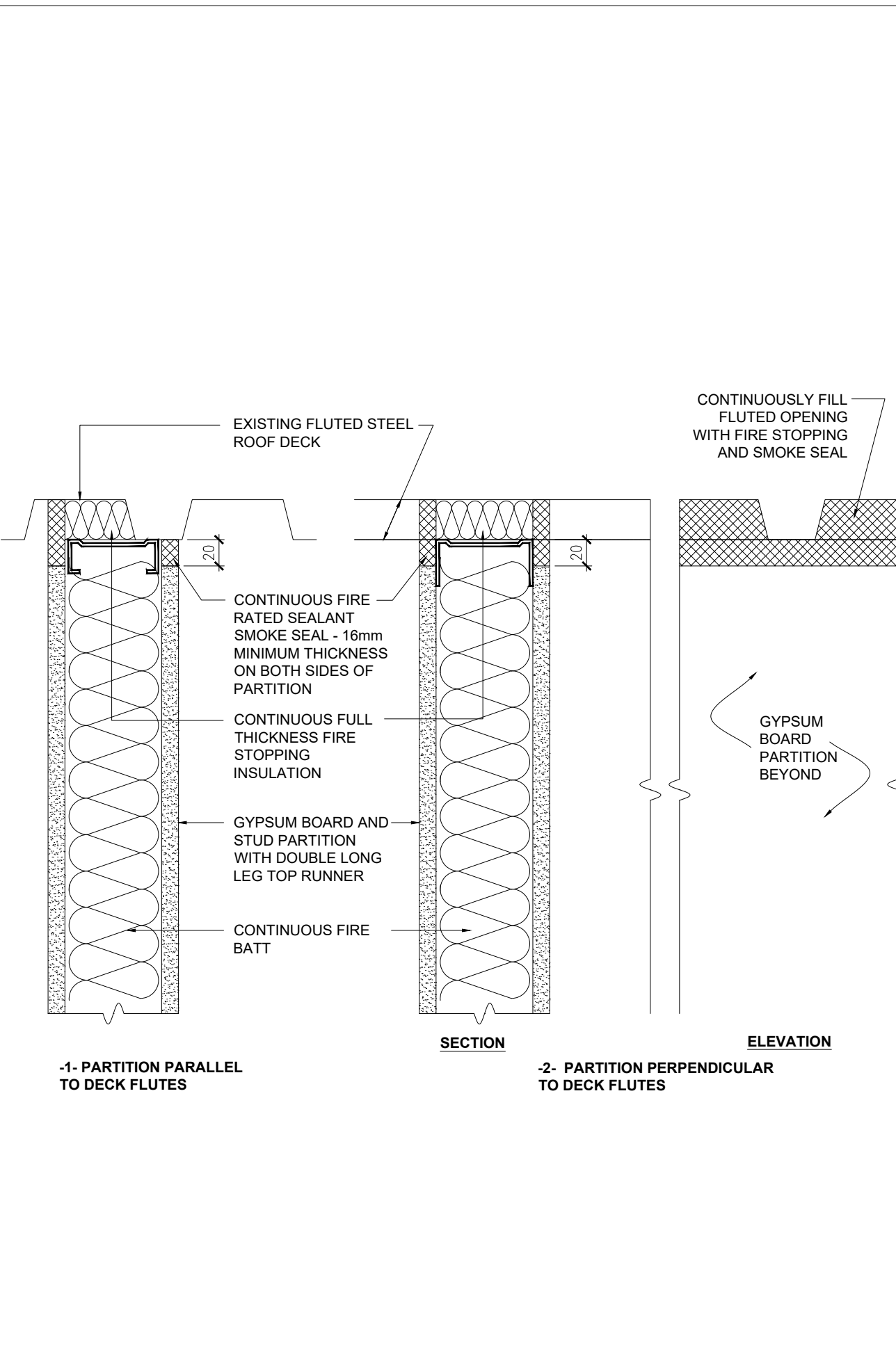
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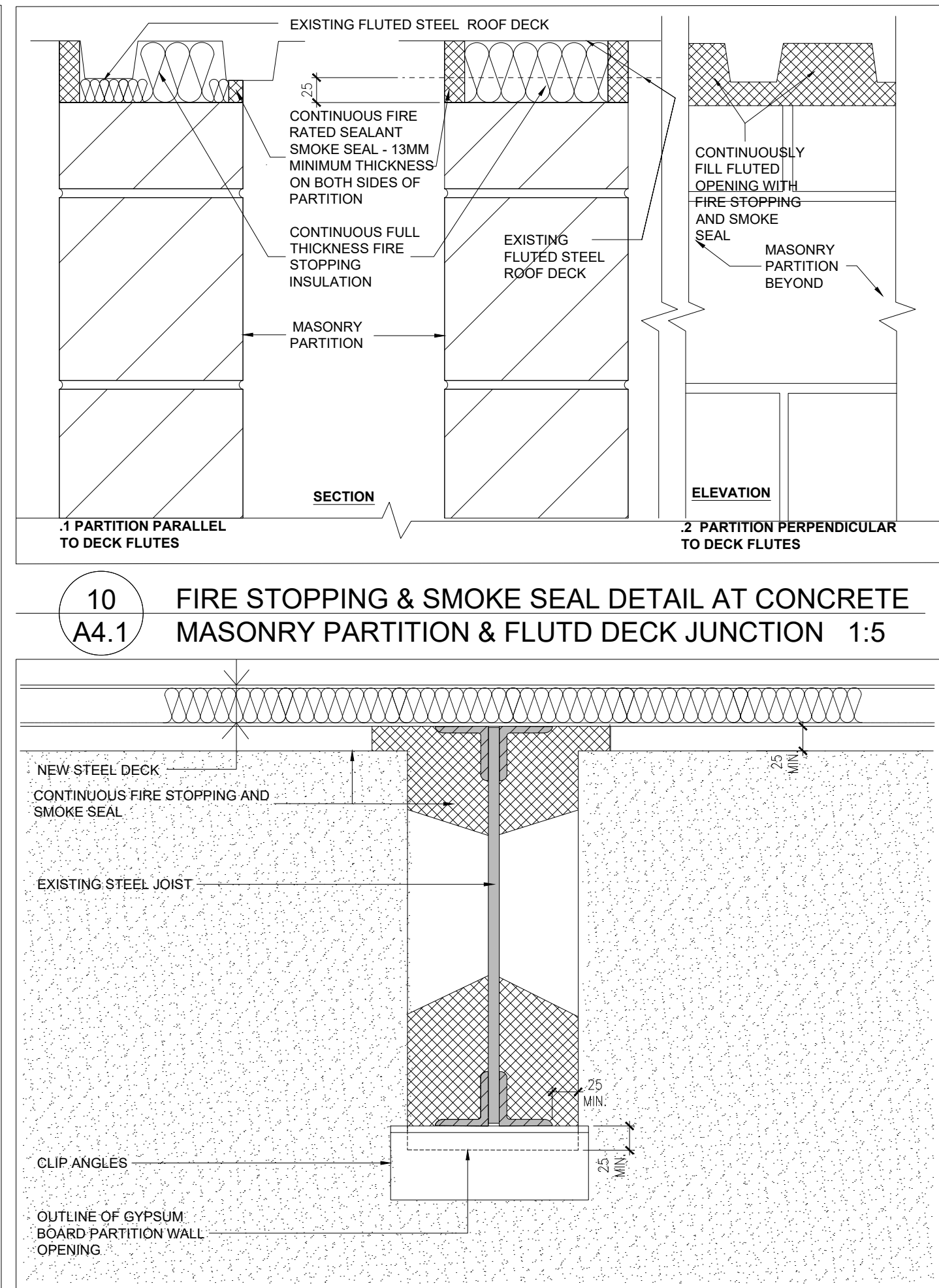
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A4.1 JOIST PARALLEL TO GYPSUM BOARD PARTITION WALL
1:5



8
A4.1 EXISTING JOIST PERPENDICULAR TO CONCRETE MASONRY PARTITION
1:5



9
A4.1 FIRE STOPPING & SMOKE SEAL DETAIL AT GYPSUM BOARD PARTITION & FLUTED DECK JUNCTION
1:5



11
A4.1 JOIST PERPENDICULAR TO GYPSUM BOARD PARTITION WALL
1:5

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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project
TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3

BUILDING SECTIONS AND DETAILS

drawing scale

AS NOTED

ward99 project number

25022 - WRDSB TRILLIUM PS

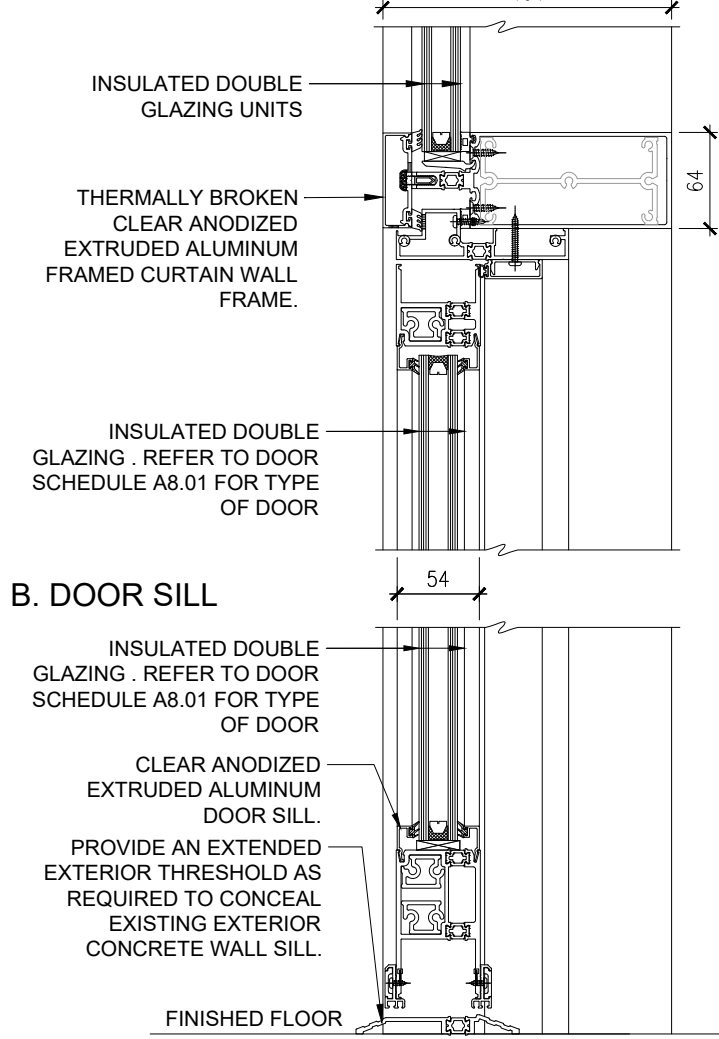
ward99 architects

drawing no.

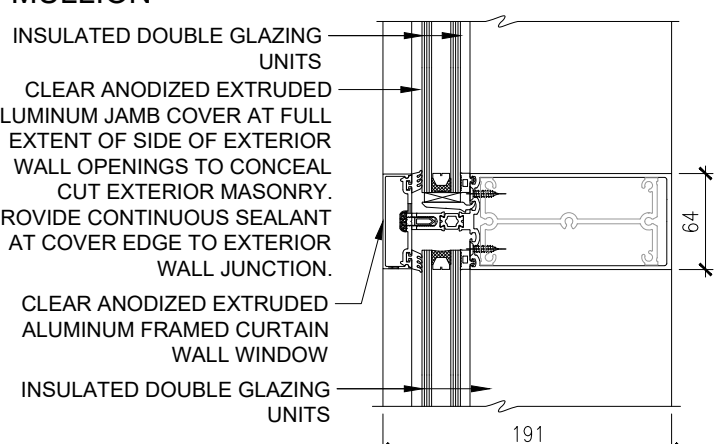
ward99 architects inc.
7011 Pine Valley Dr, Unit 11,
Woodbridge ON L4L 0A2
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A4.1

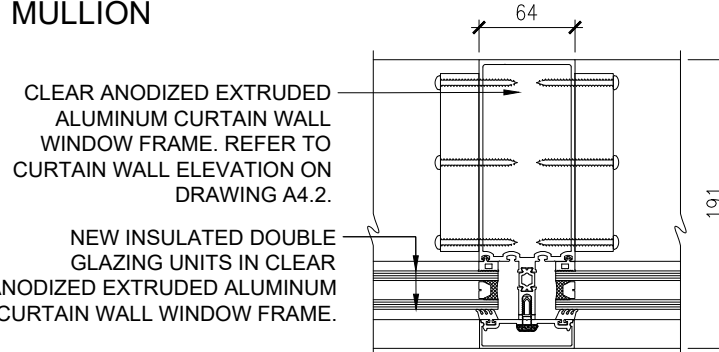
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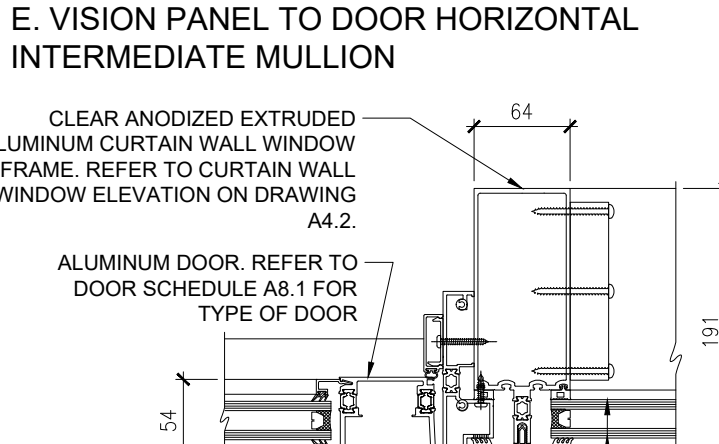
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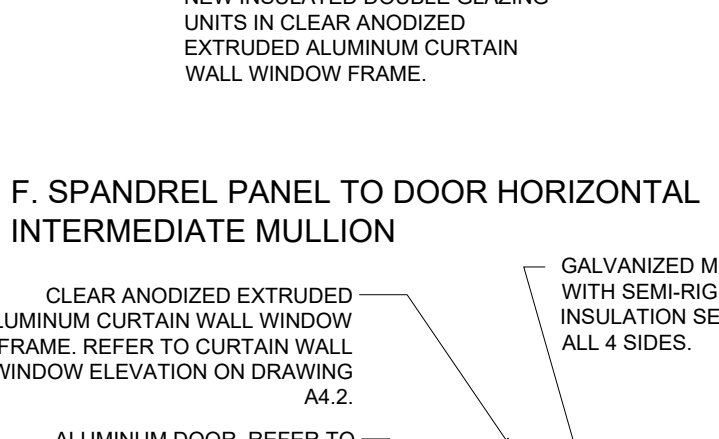
C. VISION PANEL VERTICAL INTERMEDIATE MULLION



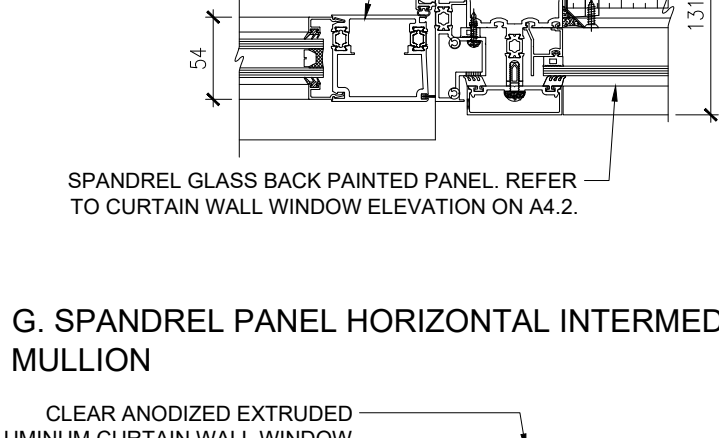
D. VISION PANEL HORIZONTAL INTERMEDIATE MULLION



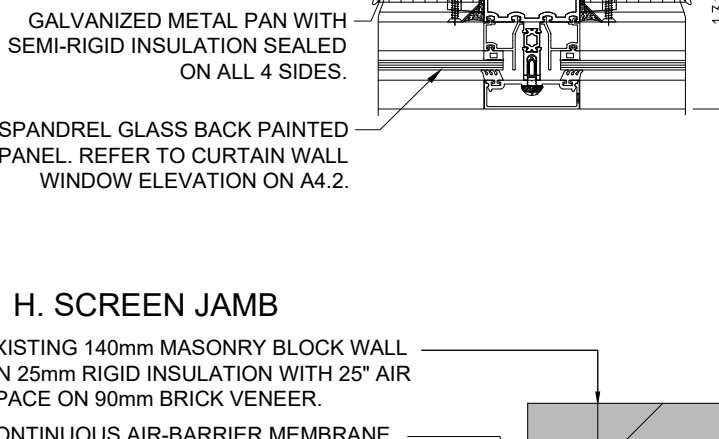
E. VISION PANEL TO DOOR HORIZONTAL INTERMEDIATE MULLION



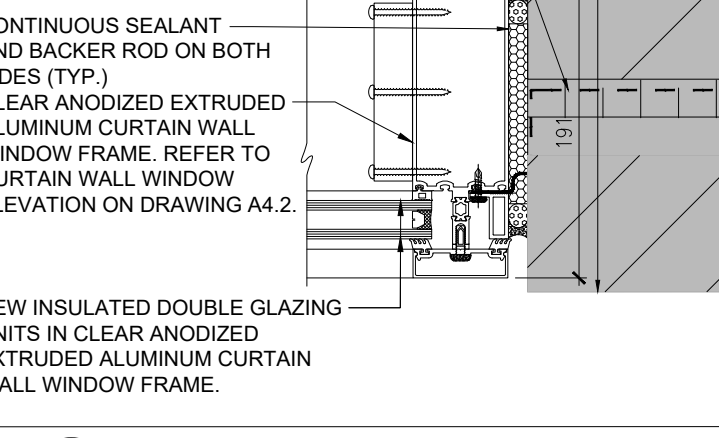
F. SPANDREL PANEL TO DOOR HORIZONTAL INTERMEDIATE MULLION



G. SPANDREL PANEL HORIZONTAL INTERMEDIATE MULLION



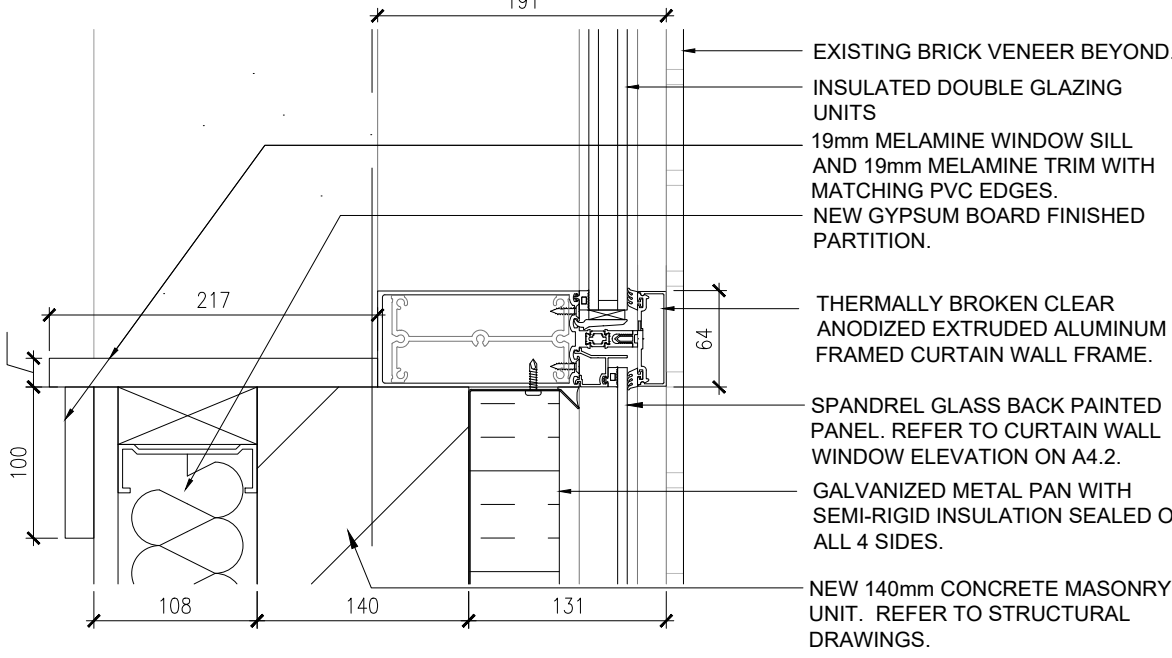
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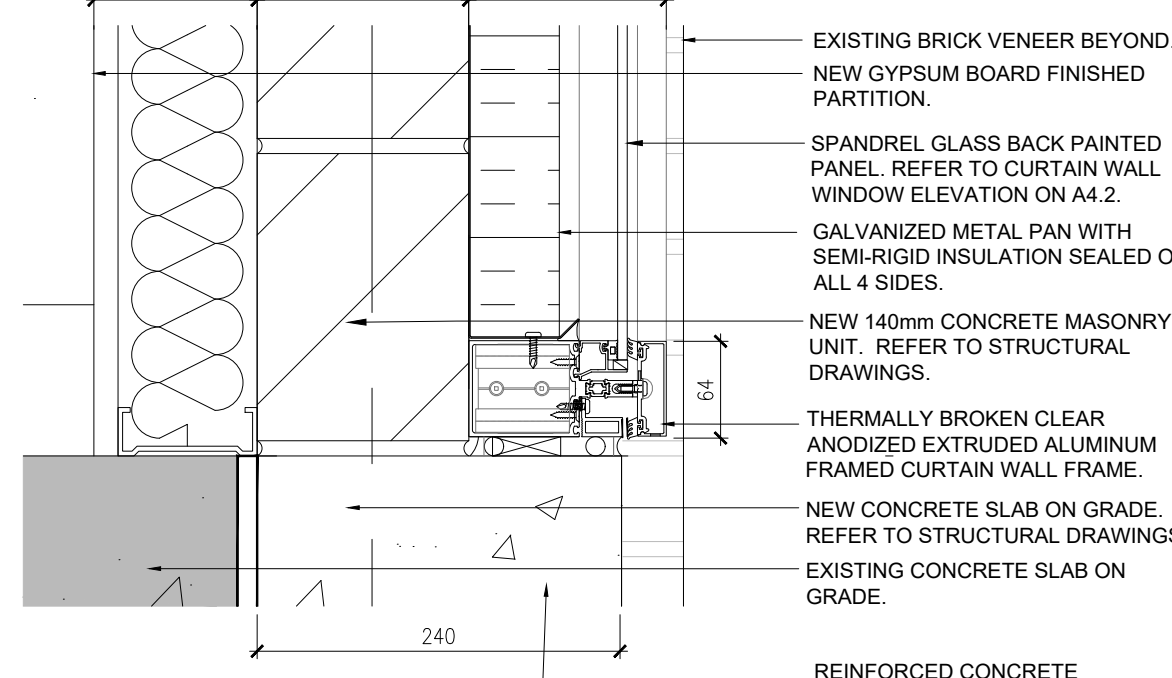
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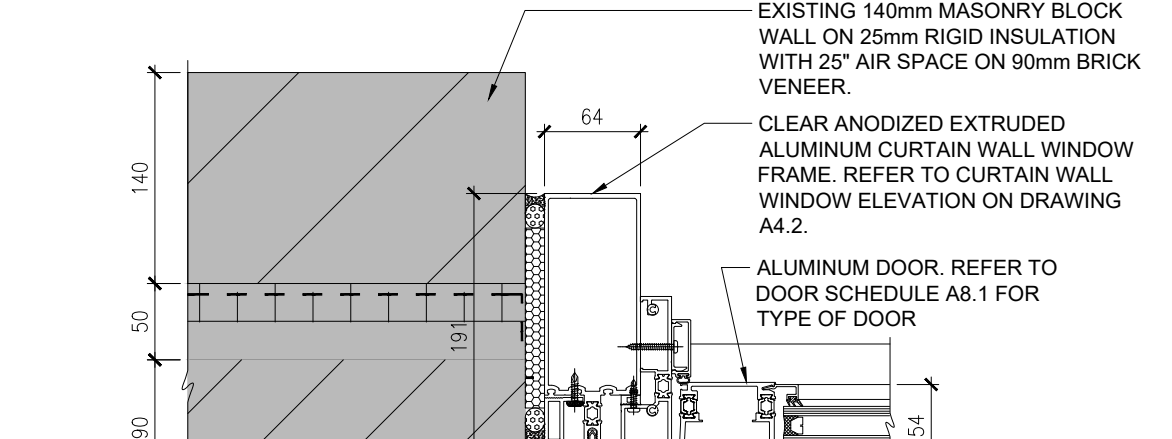
J. VISION PANEL TO VISION PANEL VERTICAL INTERMEDIATE MULLION



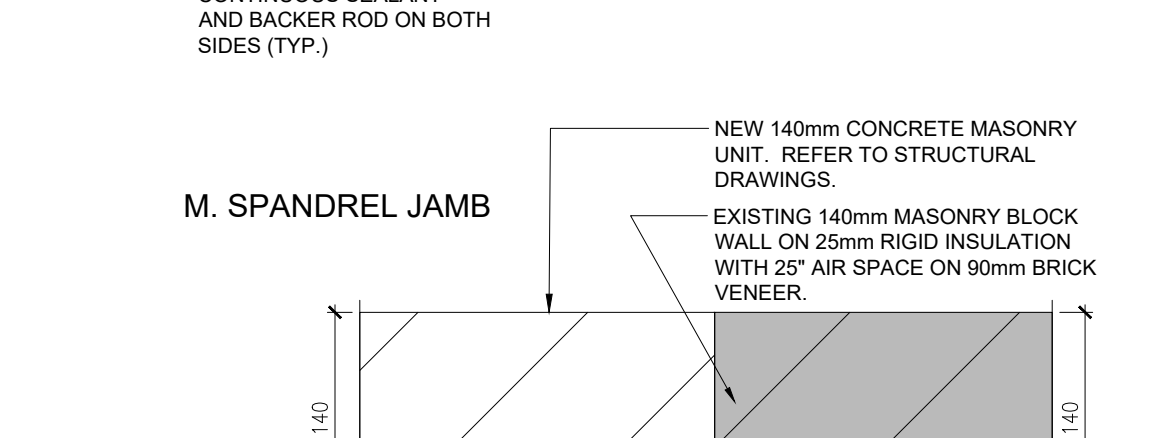
K. SPANDREL PANEL HEADER



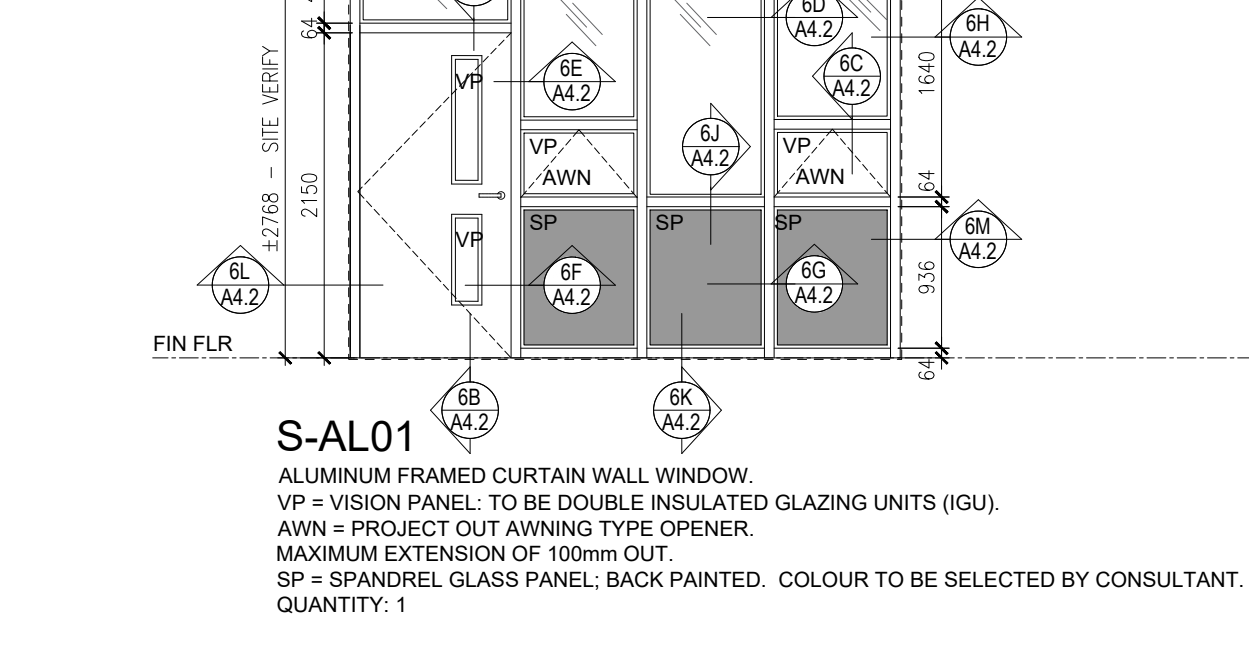
L. DOOR JAMB



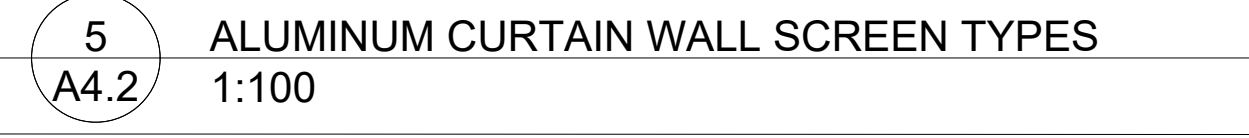
M. SPANDREL JAMB



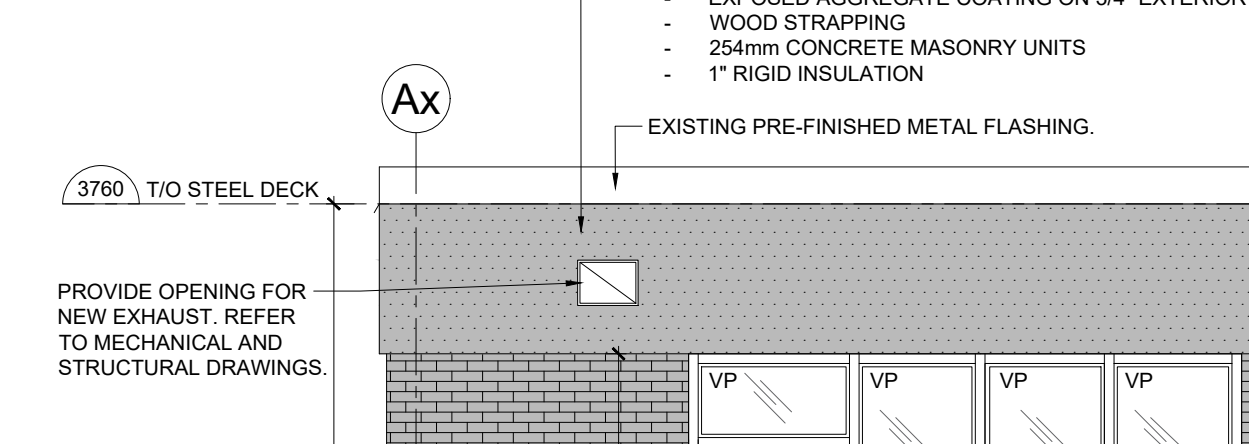
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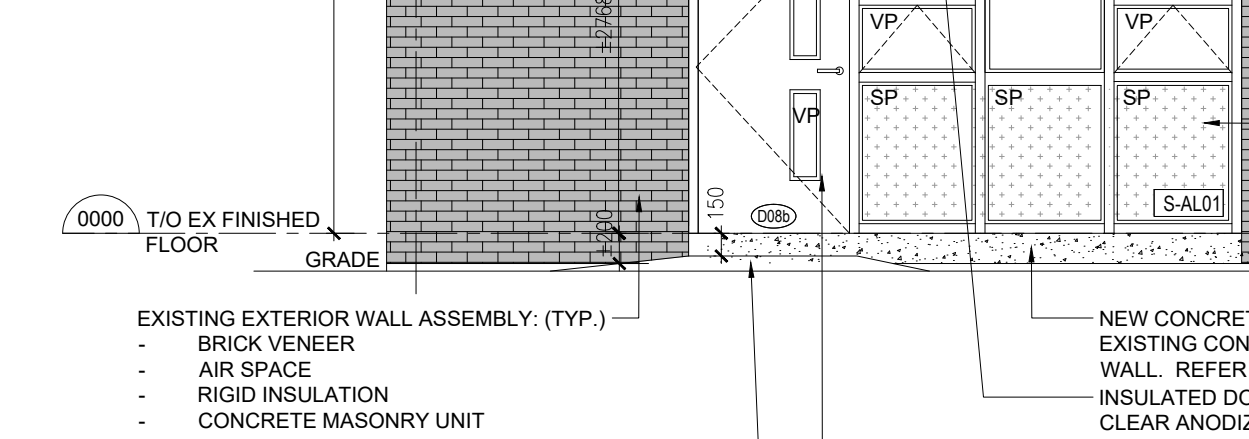
ALUMINUM CURTAIN WALL SCREEN TYPES



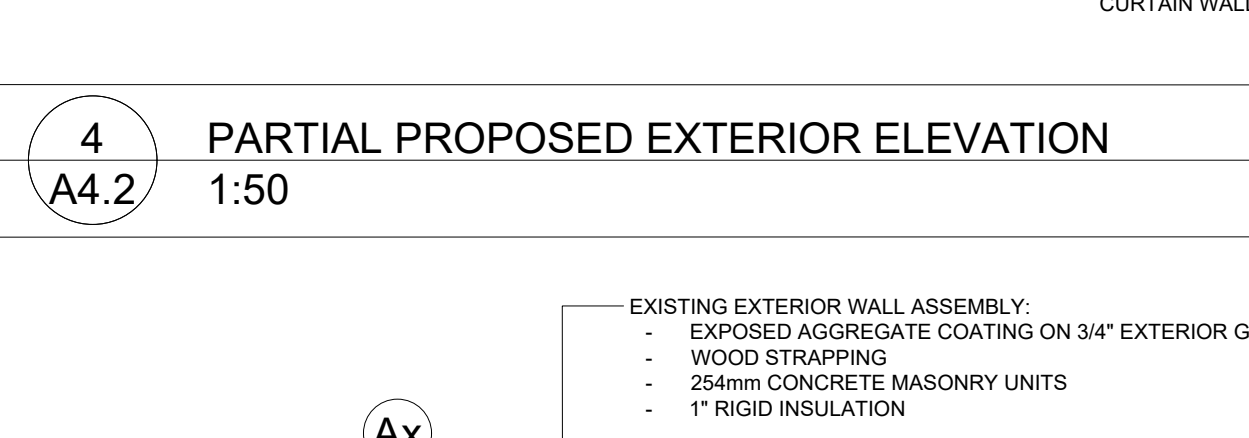
4 PARTIAL PROPOSED EXTERIOR ELEVATION



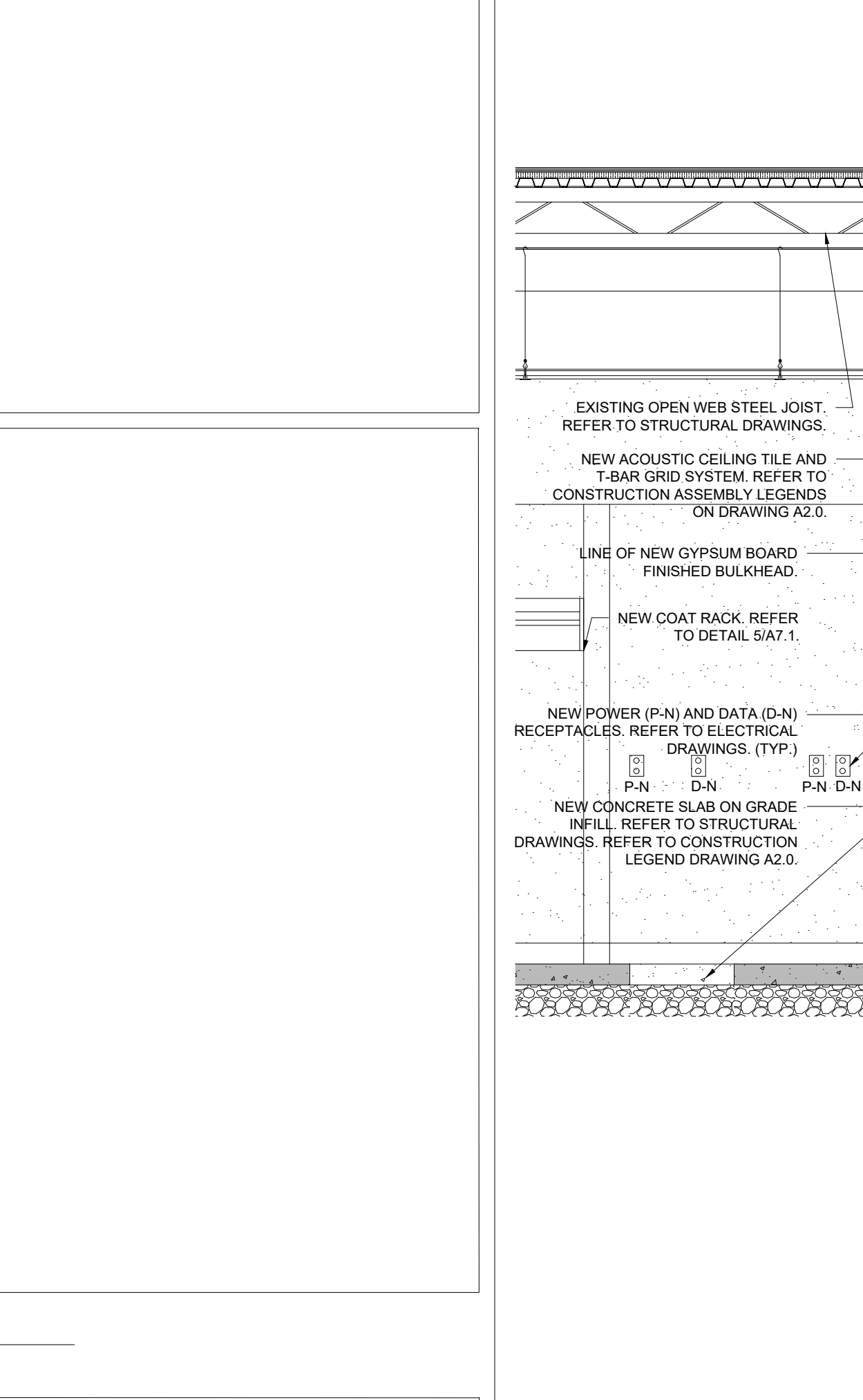
3 PARTIAL EXISTING EXTERIOR ELEVATION - DEMOLITION



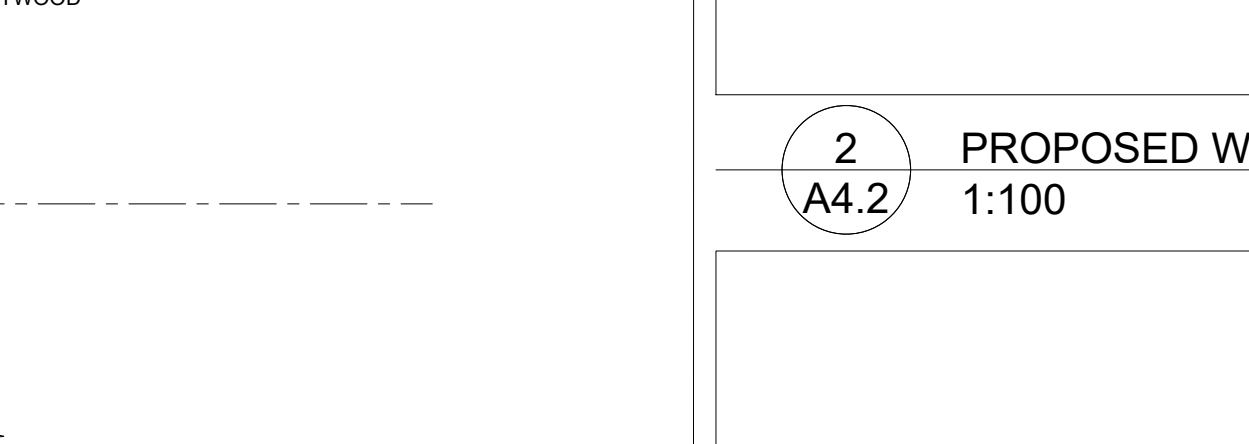
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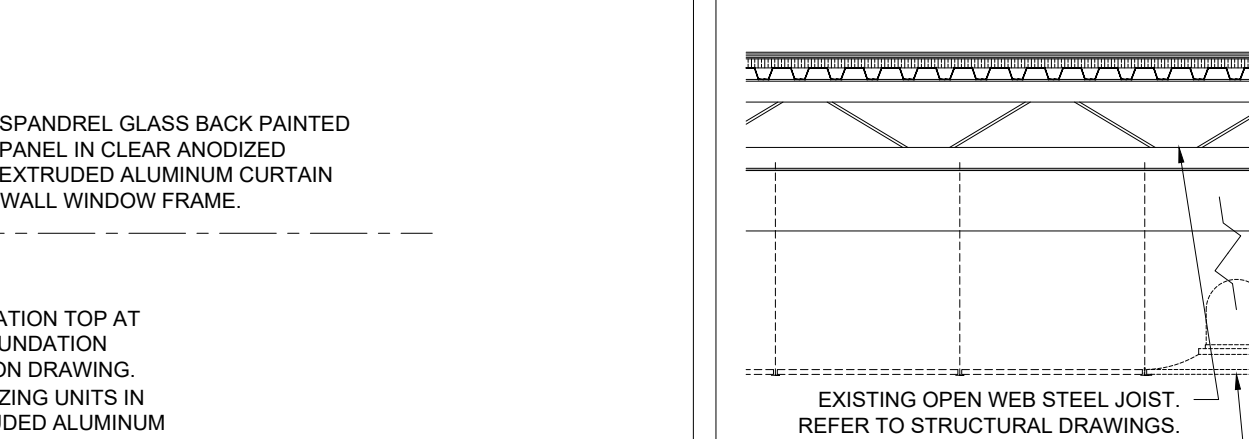
2 PROPOSED WALL SECTION AT STAFF ROOM WINDOW



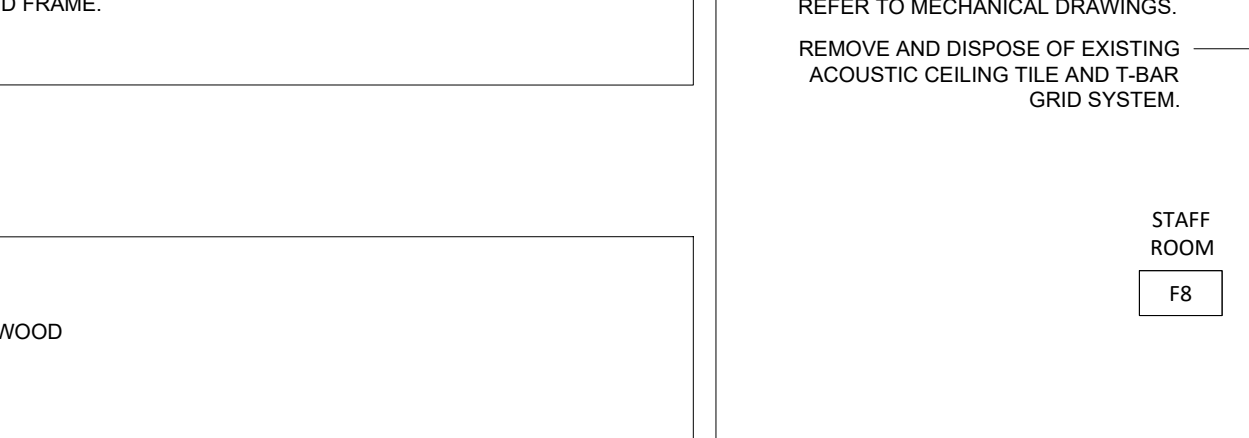
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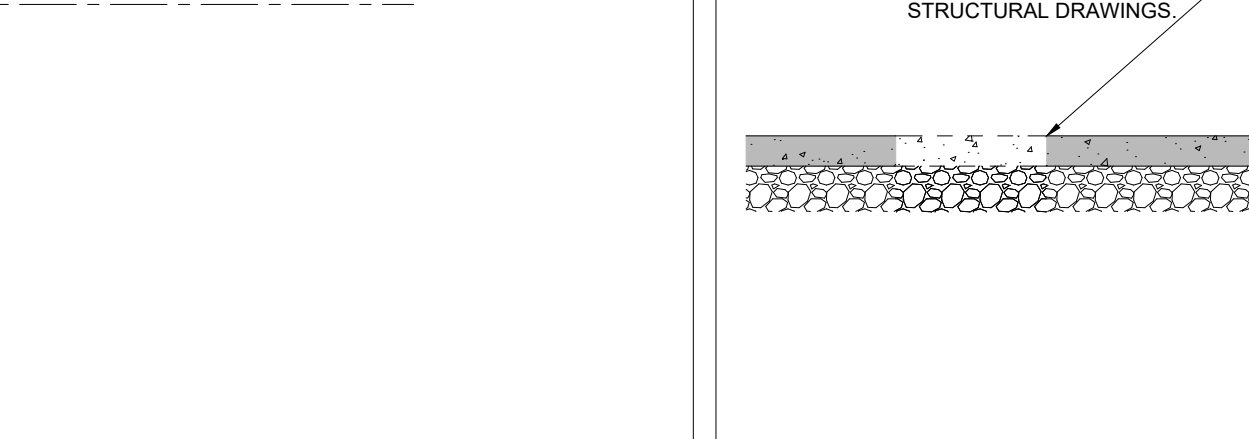
10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



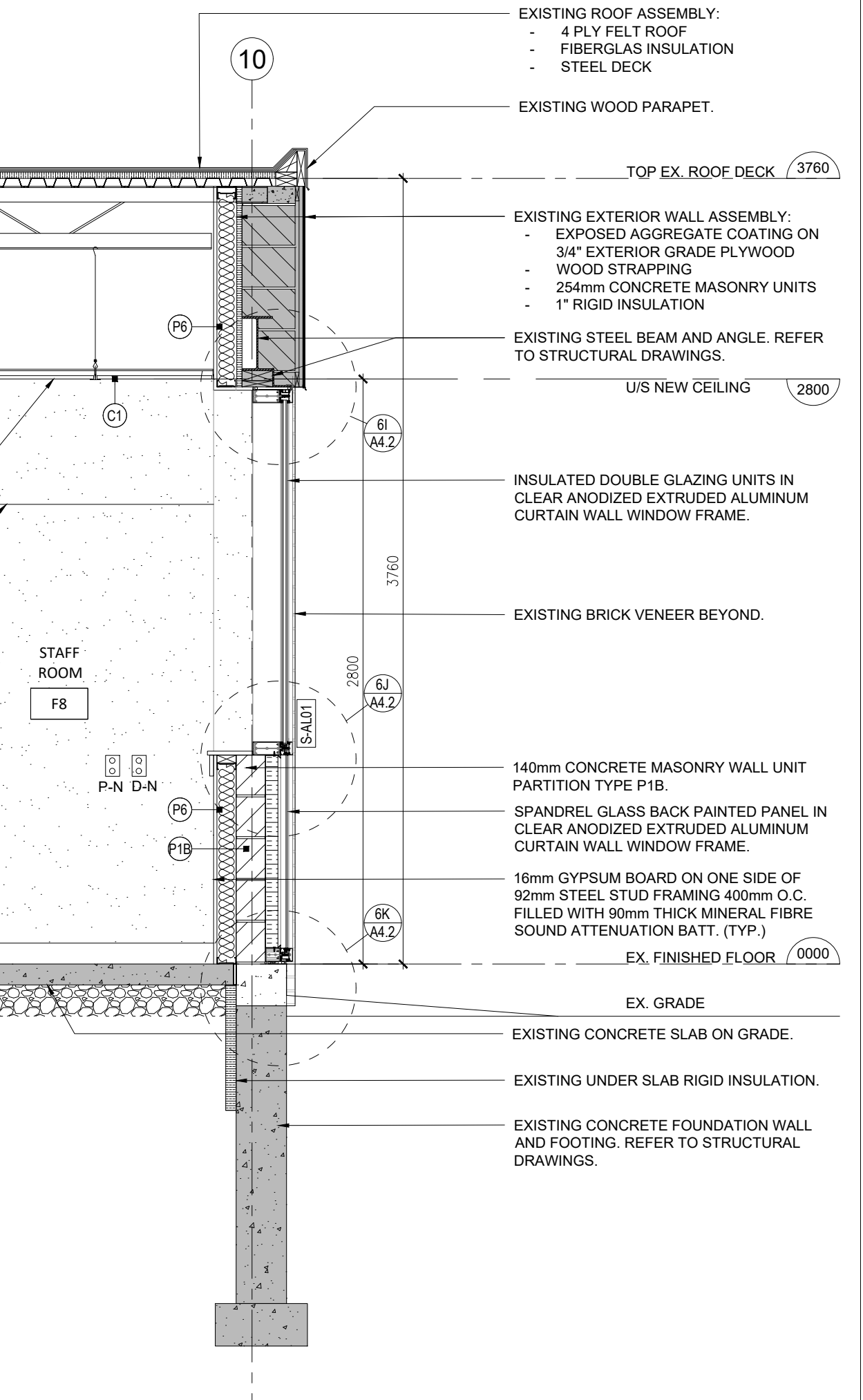
10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



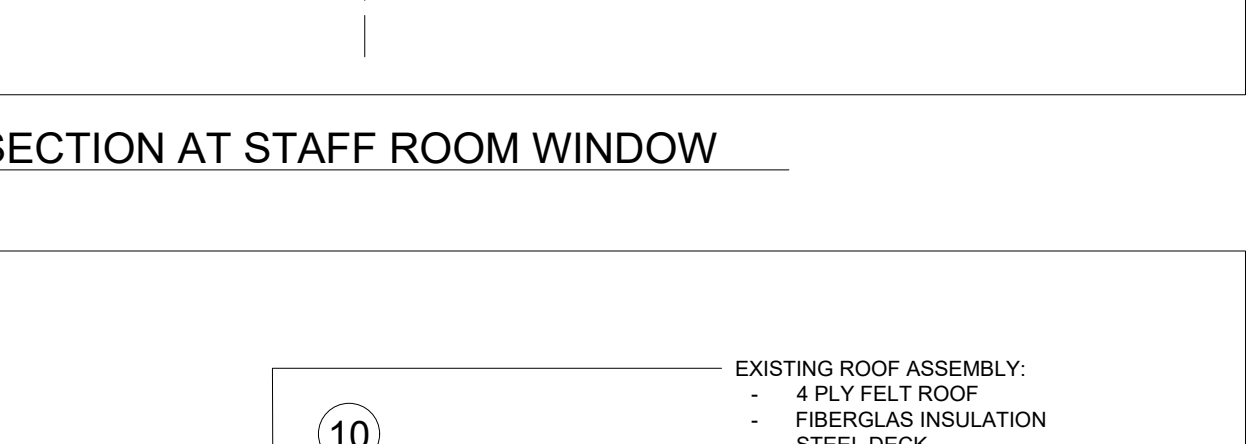
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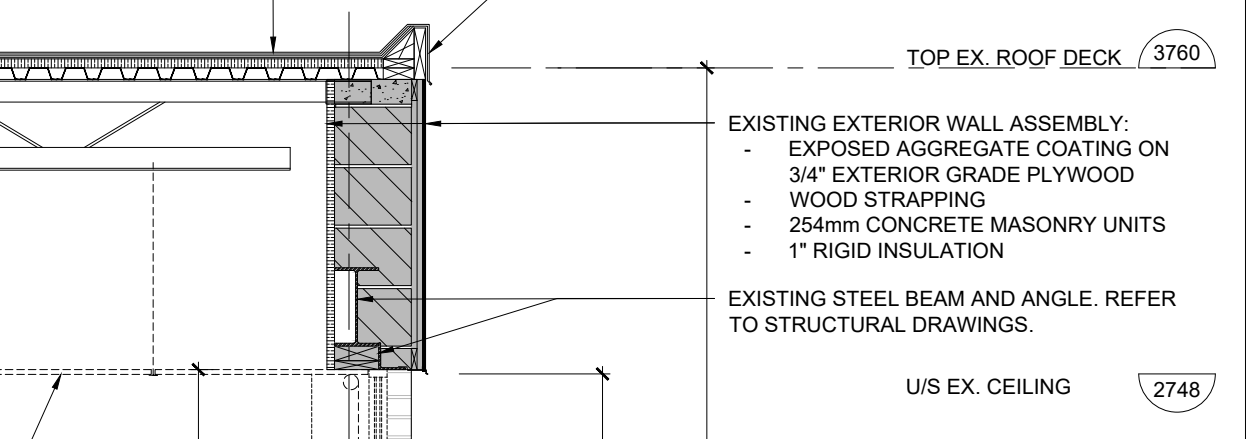
10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



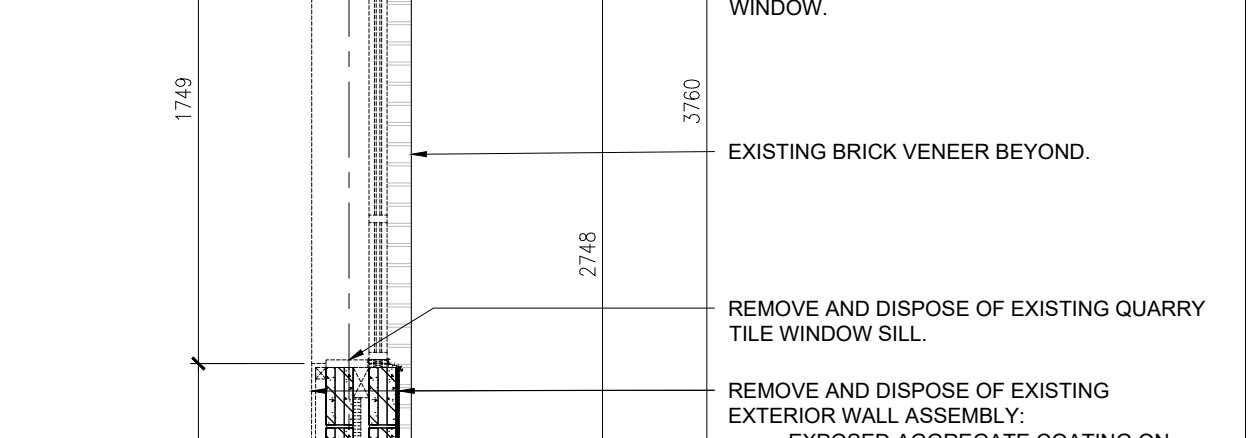
10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



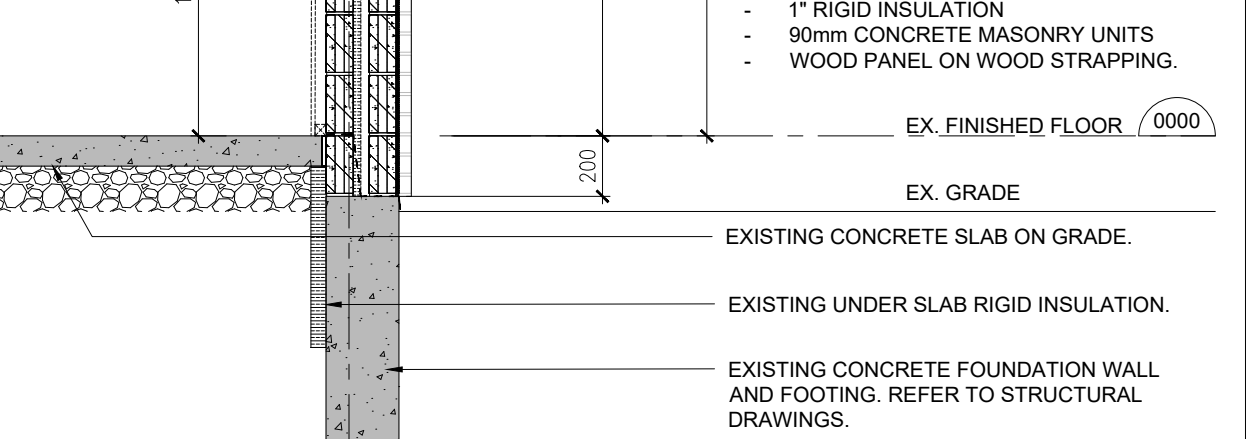
10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



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10 EXISTING WALL SECTION AT STAFF ROOM WINDOW - DEMOLITION



NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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| 1. | Issued for Owner Review | Nov. 19, 2025 |
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project
TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3
drawing
ELEVATIONS, SECTIONS AND DETAILS
drawing scale

AS NOTED
ward99 project number
25022 - WRDSB TRILLIUM PS

ward99 architects
drawing no.

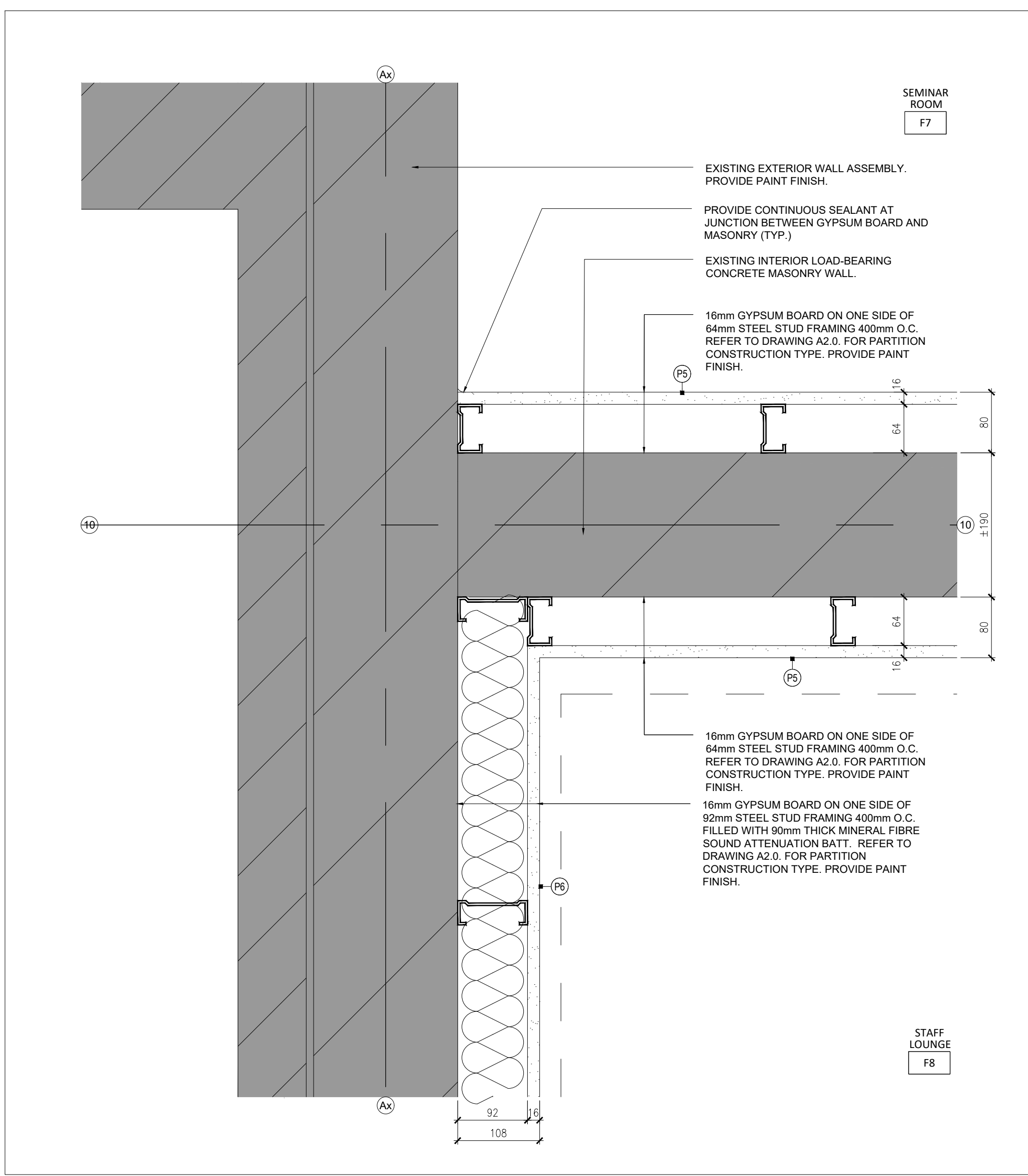
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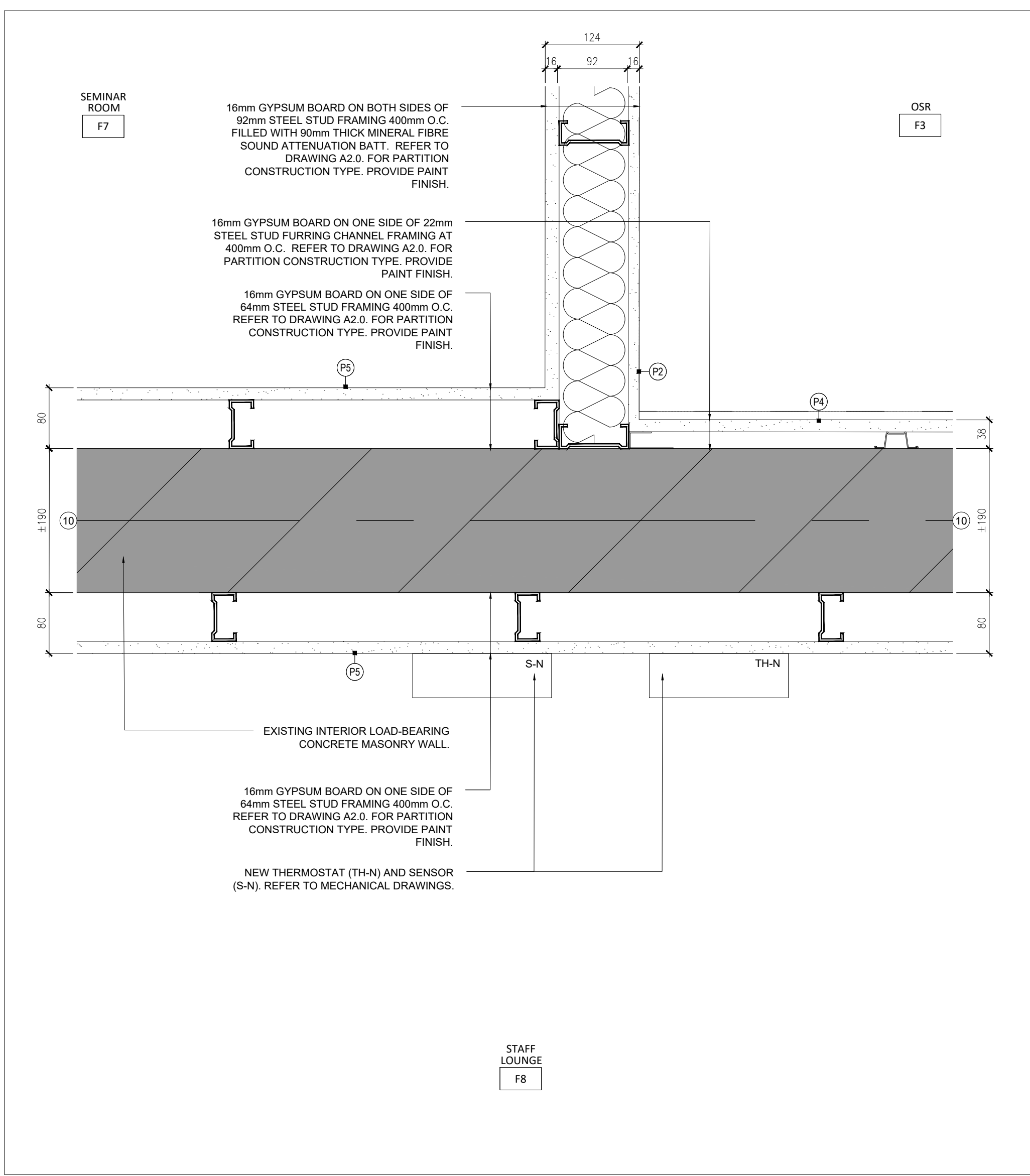
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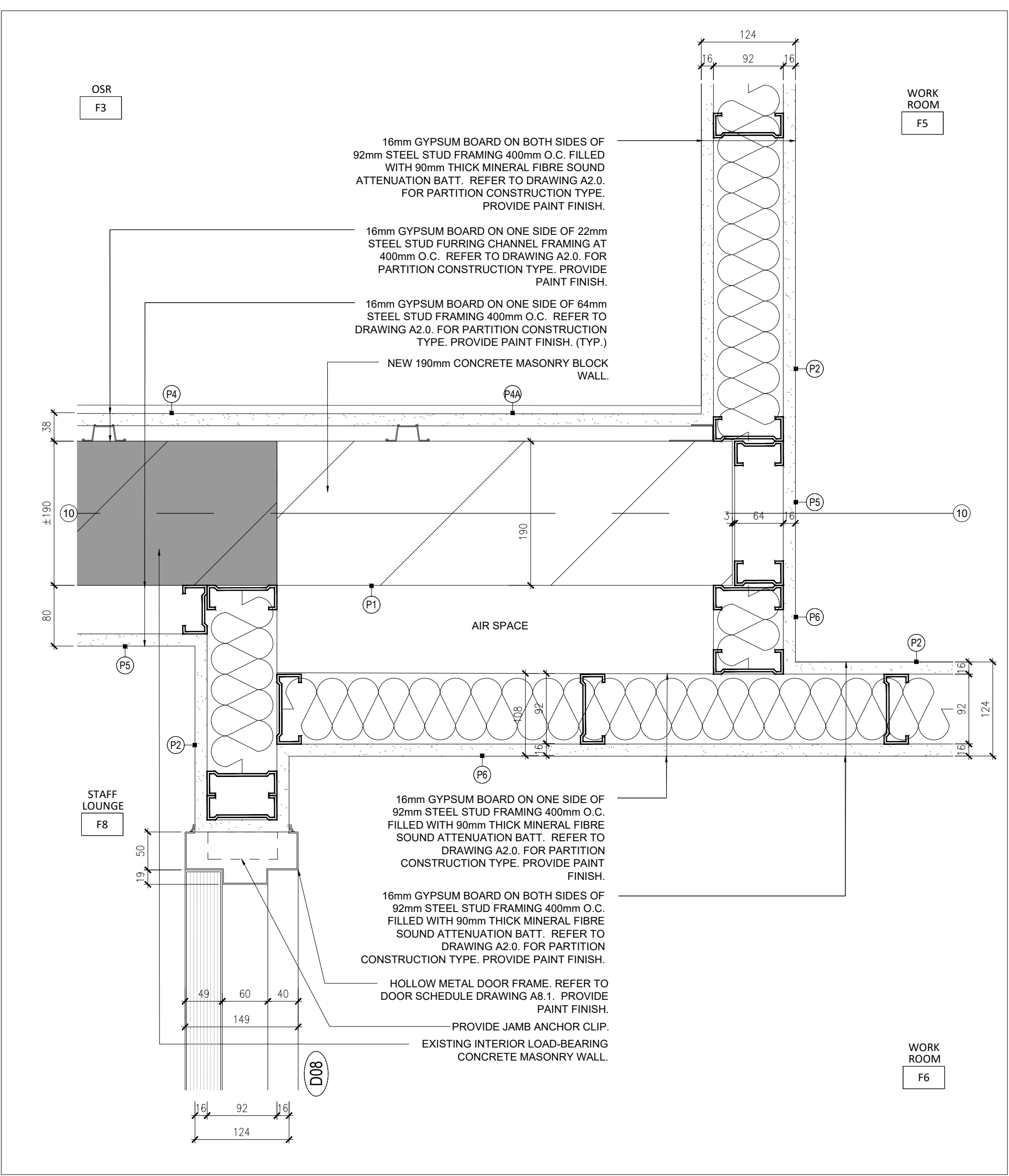
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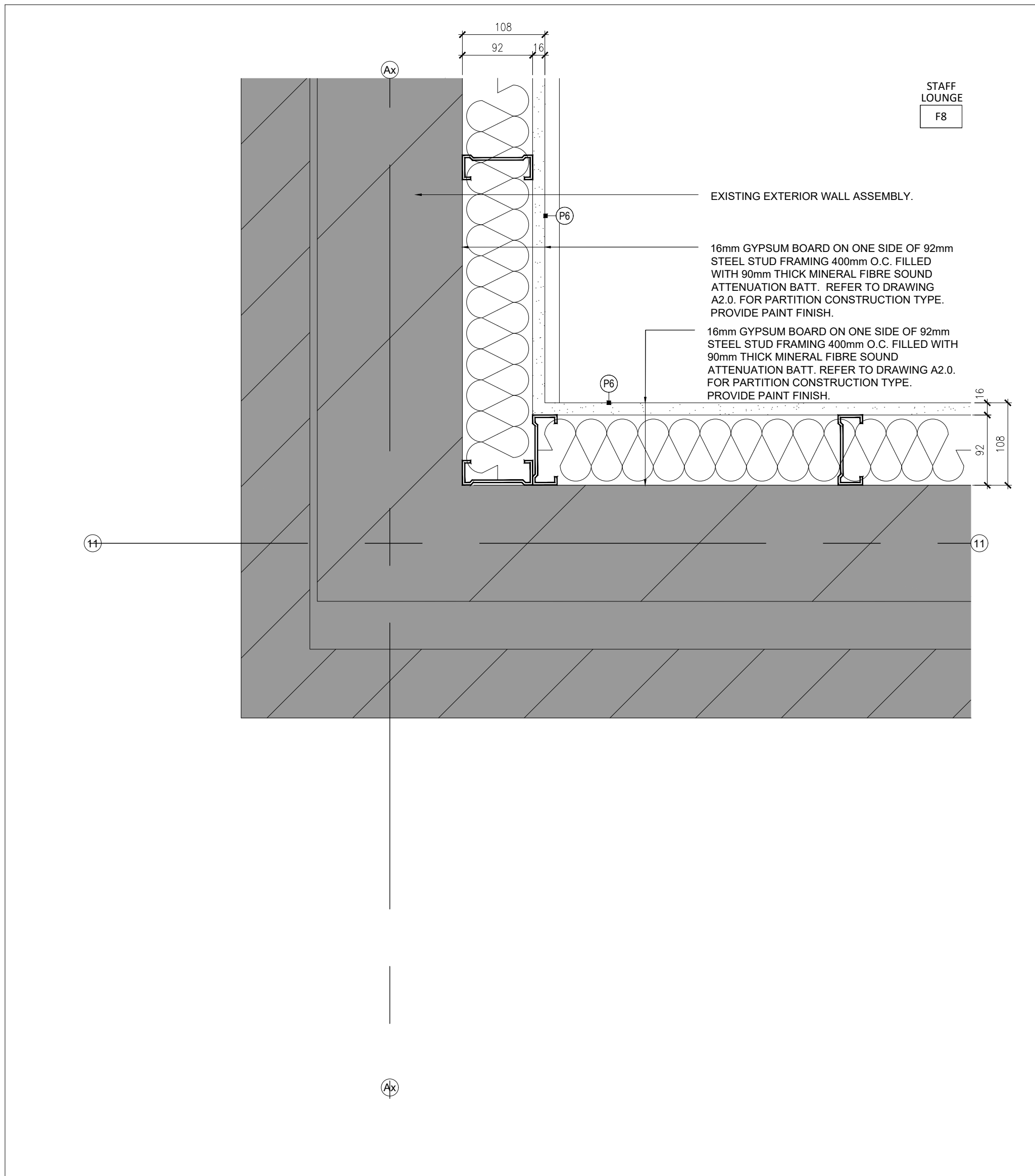
6 PLAN DETAIL AT GRID LINE Ax AND 9
A5.1 1:5



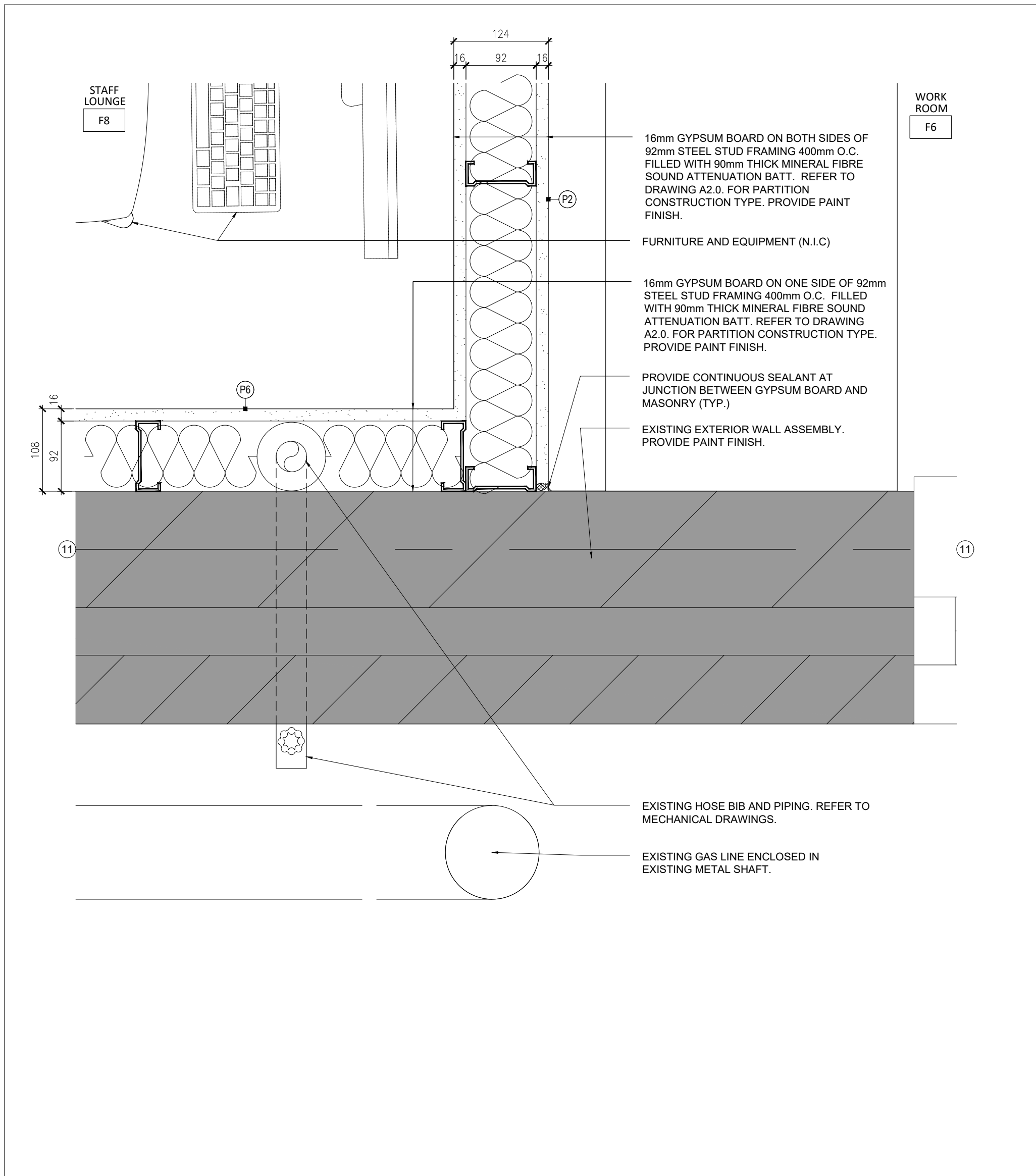
5 PLAN DETAIL AT EXISTING LOABEARING WALL BETWEEN ROOMS F7, F8 AND F3.
A5.1 1:5



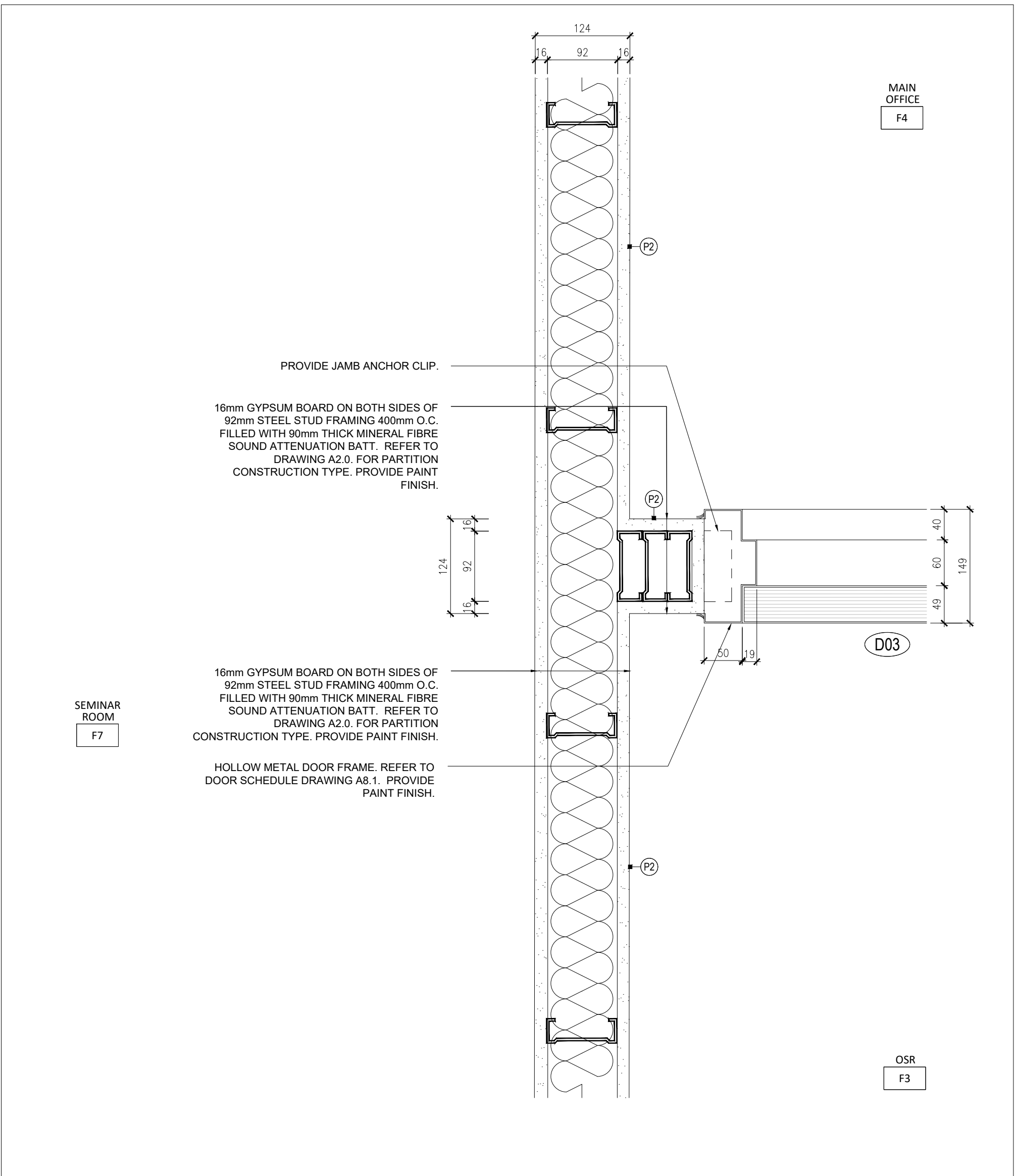
4 PLAN DETAIL AT WALL JUNCTION BETWEEN ROOMS F3, F5, F6 AND F8.
A5.1 1:5



3 PLAN DETAIL AT GRID LINE Ax and 10
A5.1 1:5



2 PLAN DETAIL AT EXTERIOR WALL BETWEEN ROOMS F8 AND F6.
A5.1 1:5



1 PLAN DETAIL AT DOOR DETAIL BETWEEN ROOMS F4 AND F3.
A5.1 1:5

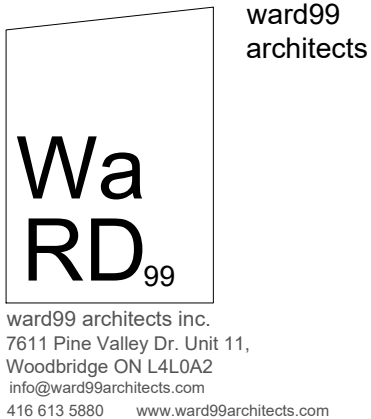
NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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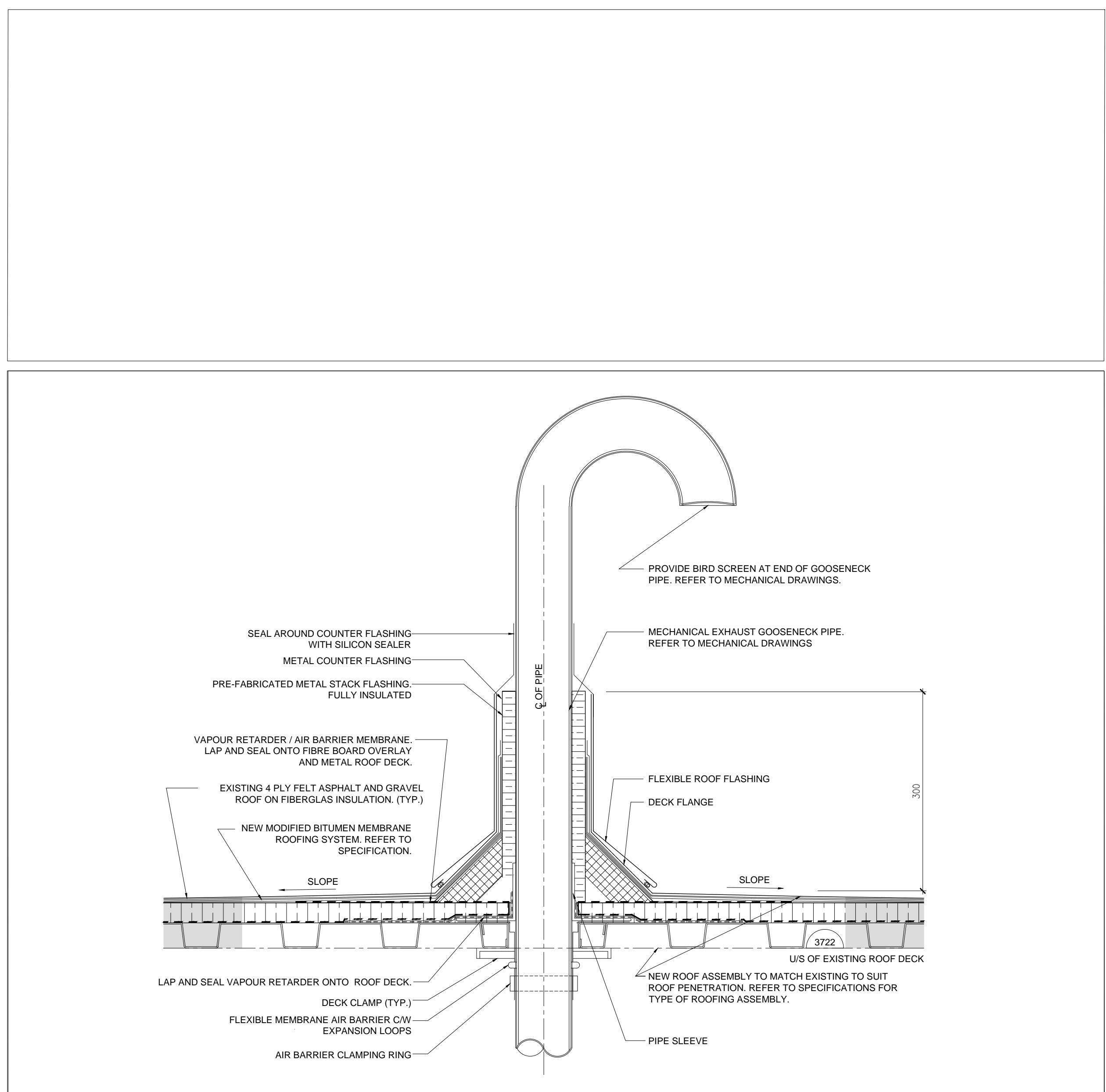
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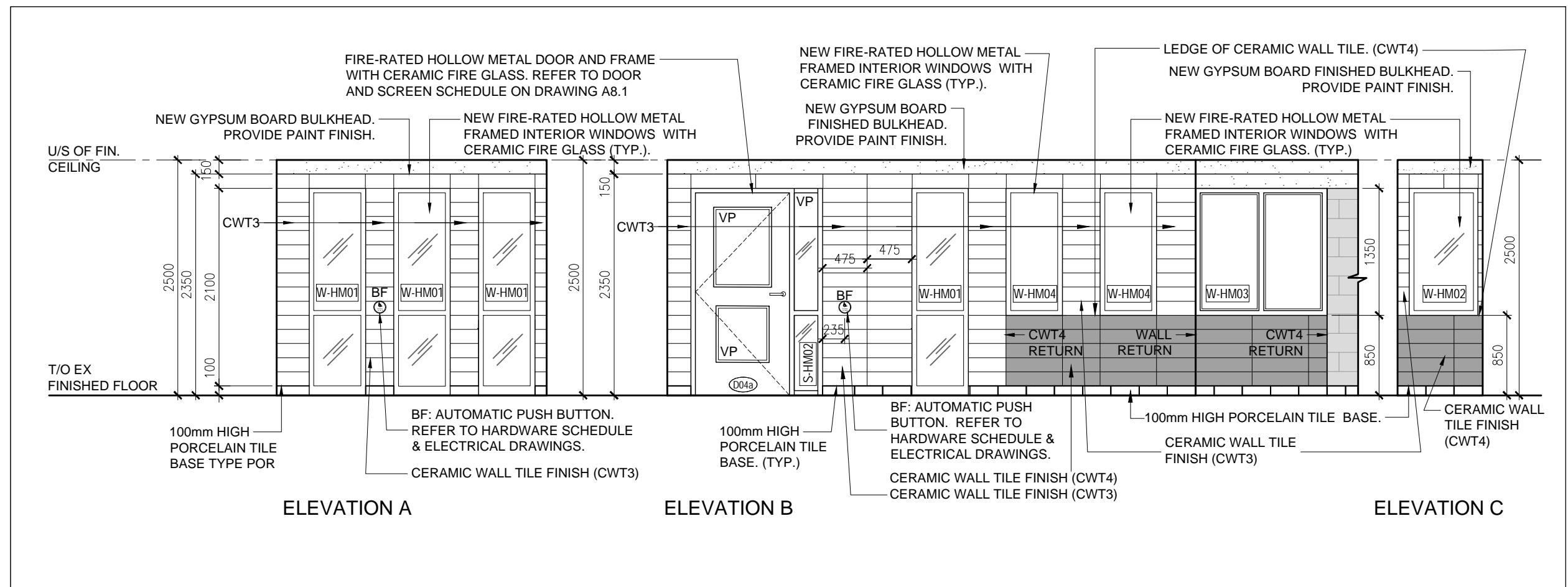
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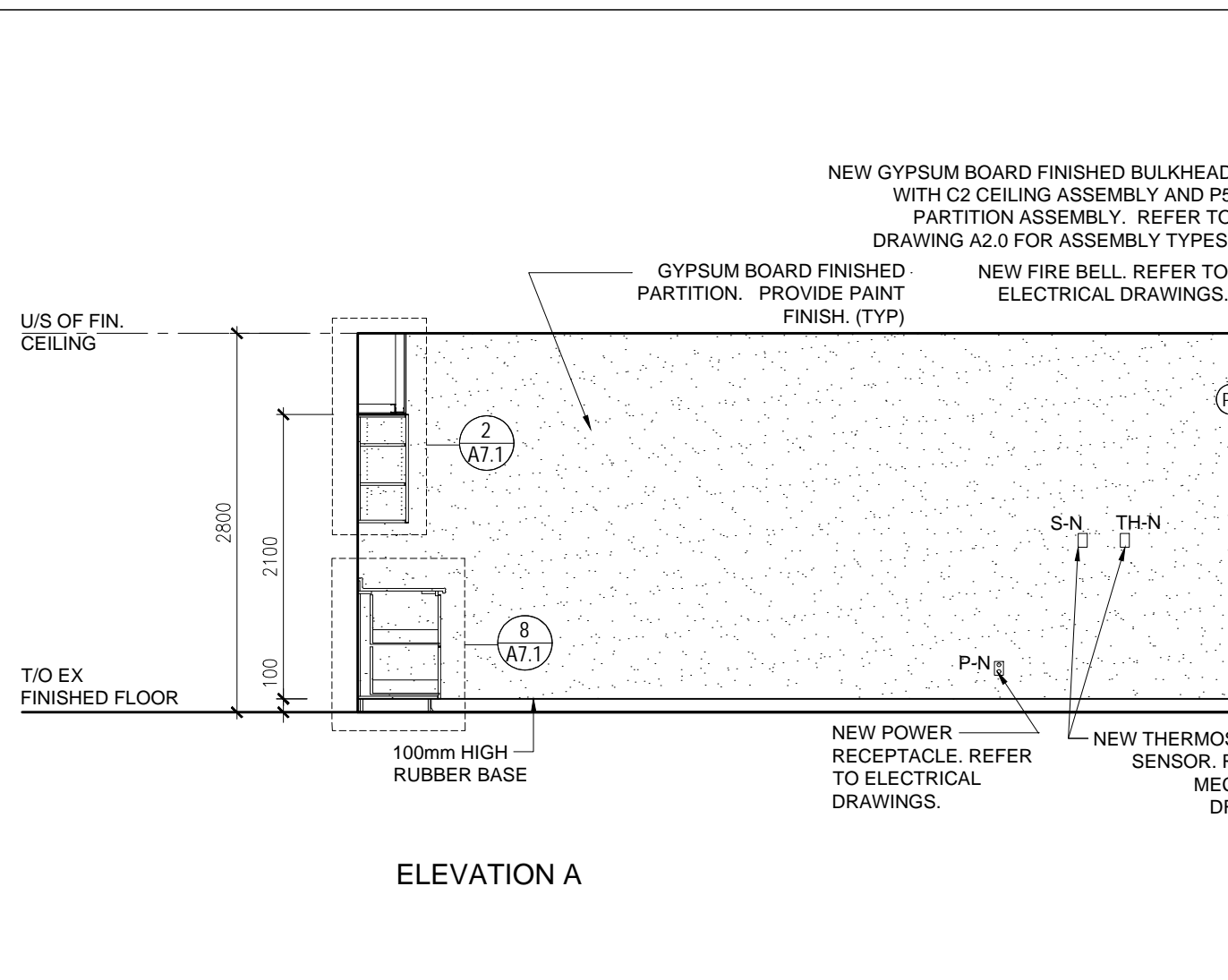
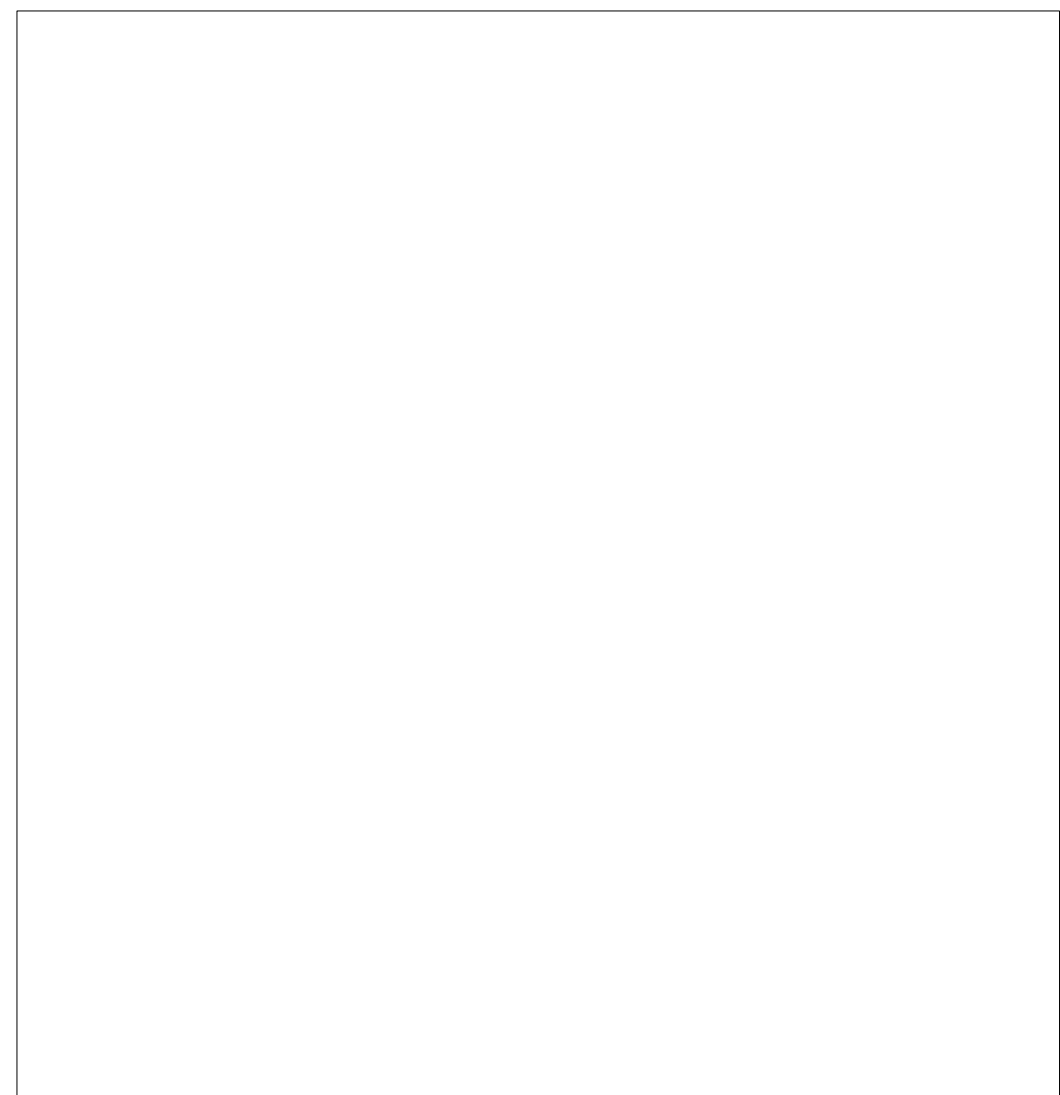
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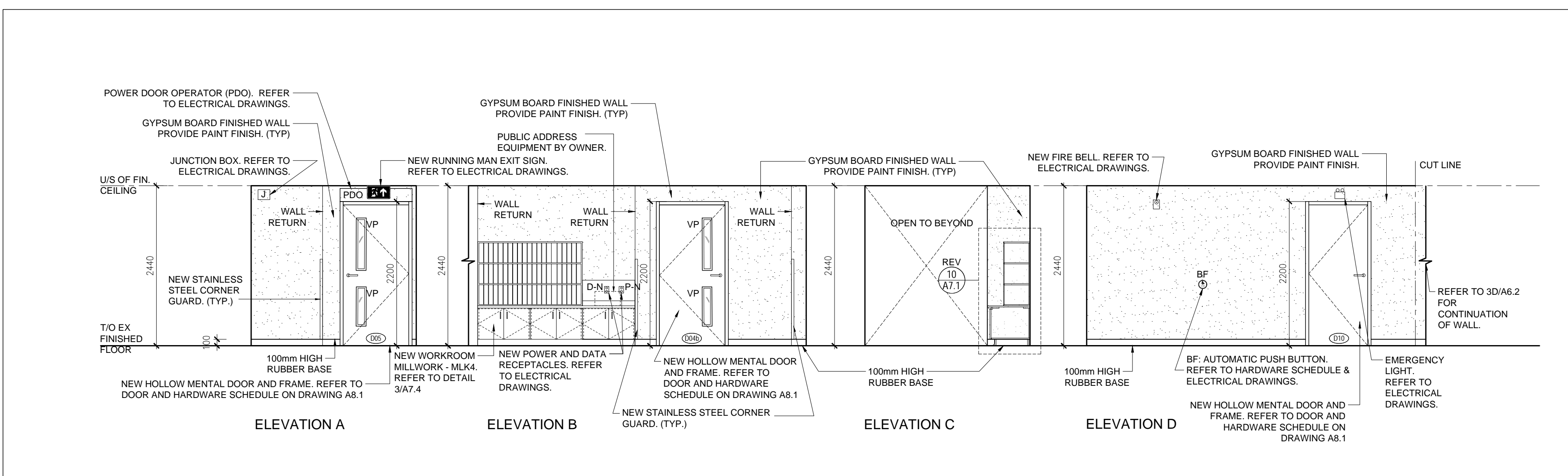
6 MECHANICAL PIPE PENETRATION DETAIL
A6.2 1:5



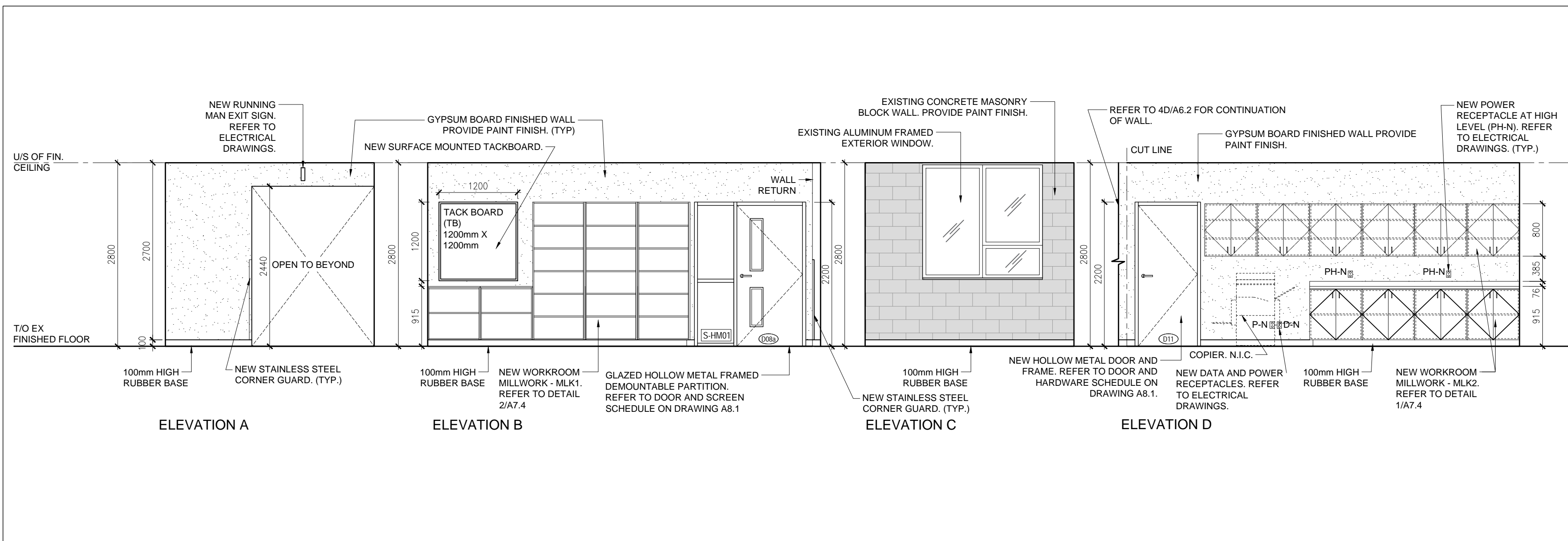
5 FOYER LOOKING TOWARDS MAIN OFFICE
A6.2 1:50



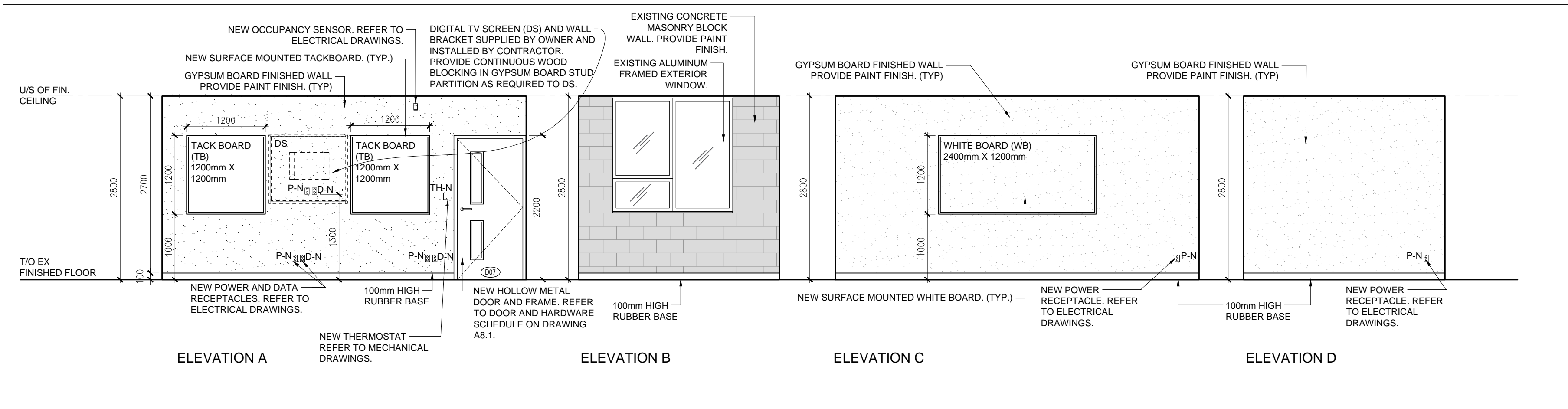
1 INTERIOR ELEVATION AT STAFF LOUNGE
A6.2 1:50



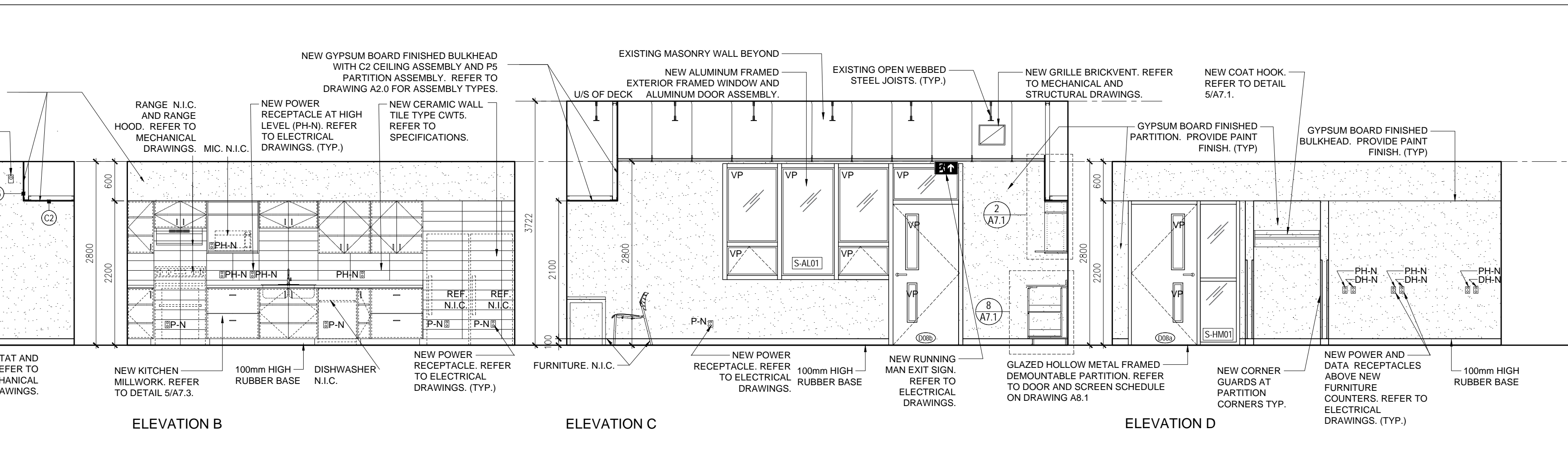
4 WORKROOM F5
A6.2 1:50



3 WORKROOM F6
A6.2 1:50



2 INTERIOR ELEVATION AT SEMINAR ROOM F7
A6.2 1:50



NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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project
TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3

PROPOSED INTERIOR ELEVATIONS AND DETAIL

drawing scale

AS NOTED

ward99 project number

25022 - WRDSB TRILLIUM PS

ward99 architects

drawing no.

ward99 architects

ward99 architects inc.

7611 Pine Valley Dr, Unit 11,

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416 613 5880 www.ward99architects.com

A6.2



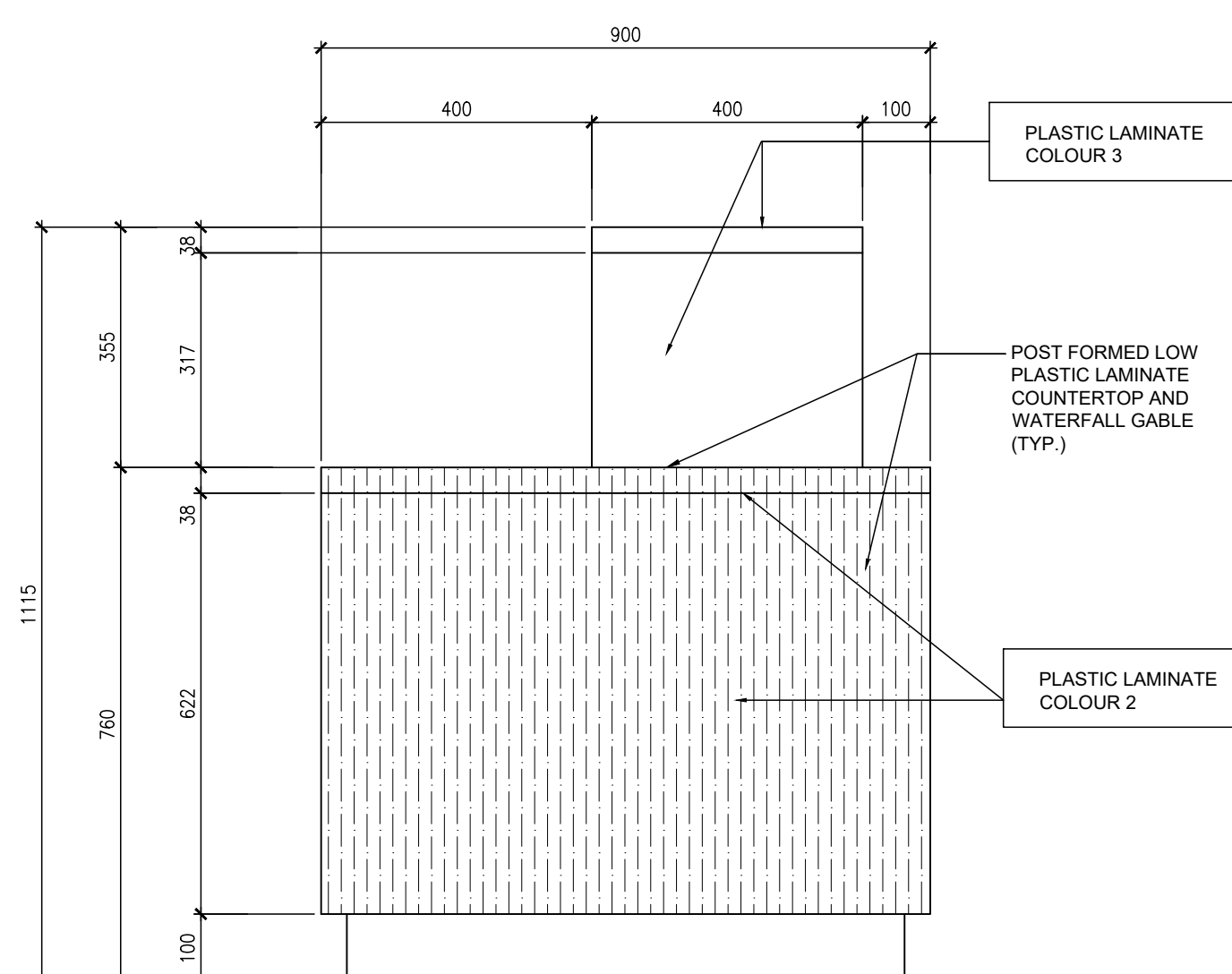
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A7.1

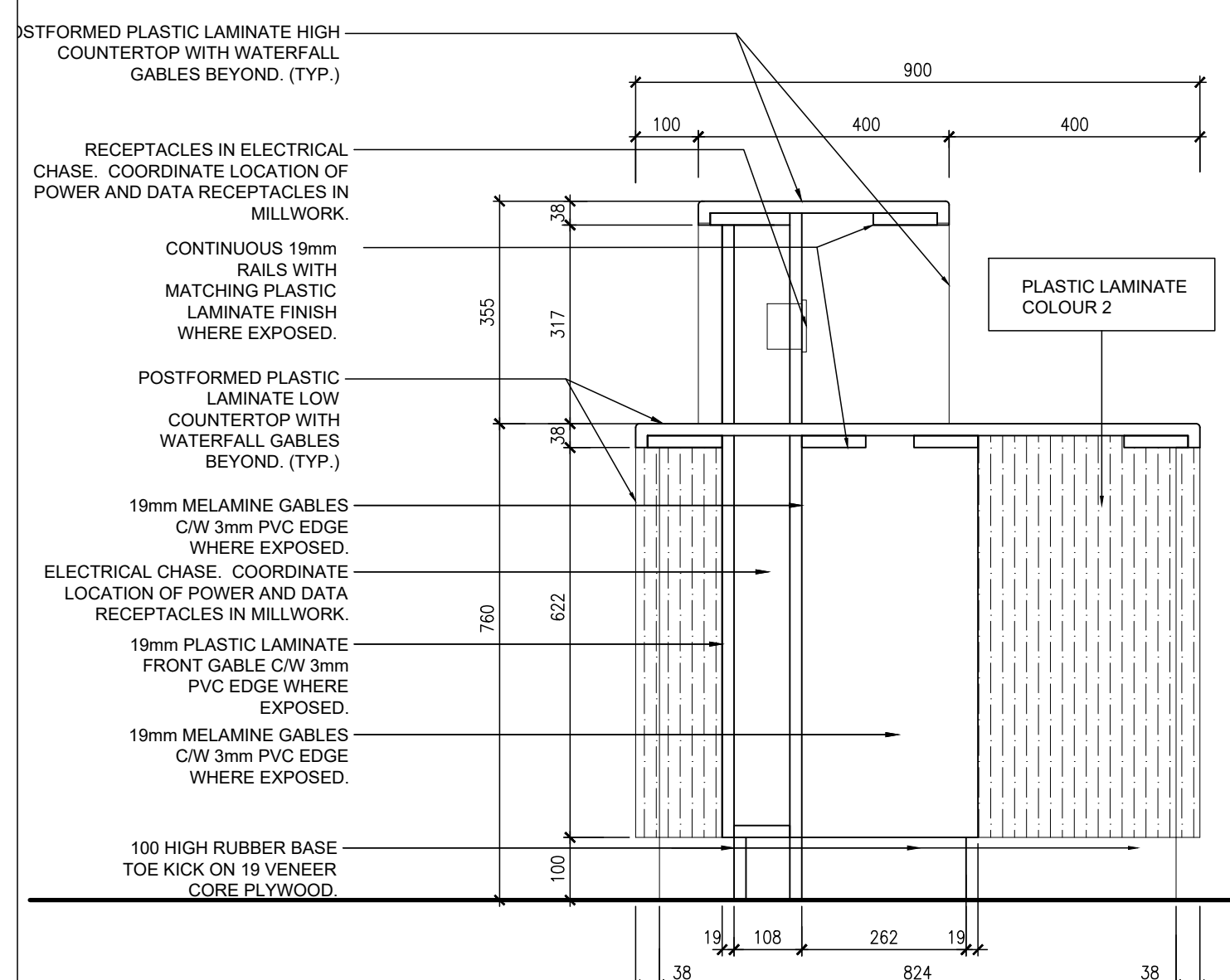


A7.2



TYPICAL SIDE ELEVATION

6 RECEPTION DESK MILLWORK TYPICAL SIDE ELEVATION - MLK5
A7.3 1:10



2 RECEPTION DESK MILLWORK SECTION THROUGH WORK DESK
A7.3 1:10

[illegible]

| no. | issue | date |
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| 3. | Issued for Permit and Tender | April 17, 2018 |

MILLWORK DETAILS

AS NOTED
ward99 project number
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A7.3



WORKROOM MILLWORK - MLK4



WORKROOM MILLWORK - MLK1



WORKROOM MILLWORK - MLK2

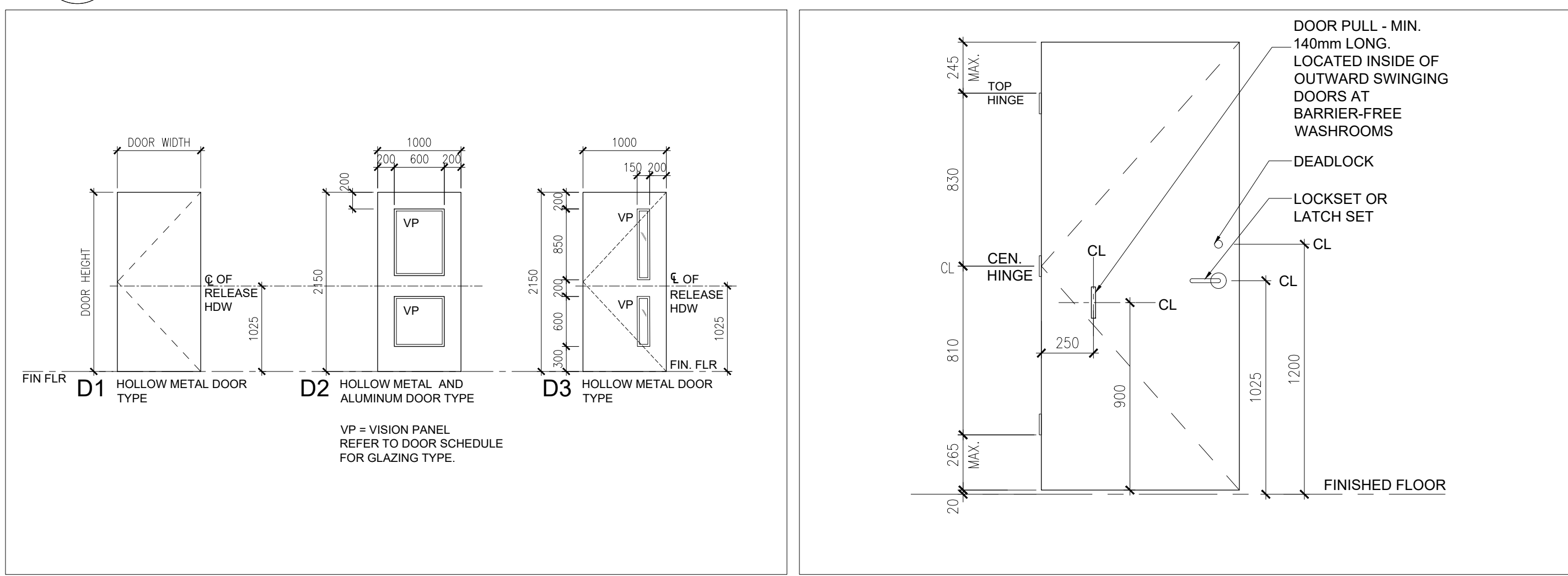
A7.4

| DOOR AND HARDWARE SCHEDULE | | | | | | | | | | | | | | | | |
|----------------------------|--------------------|-------------|--------|--------|-------|--------------|----------------|-----------------------|--------------|--------------|----------------|---------------------------------|------------------------------------|---|--|--|
| DOOR No. | ROOM NAME | FIRE RATING | DOOR | | | | | DOOR FRAME AND SCREEN | | | | DOOR, DOOR FRAME & SCREEN NOTES | DOOR HARDWARE REQUIREMENTS & NOTES | | | |
| | | | WIDTH | HEIGHT | THICK | MATERIAL | FINISH | TYPE | VISION PANEL | MATERIAL | FINISH | | | TYPE | VISION PANEL | |
| D02 | PRINCIPAL'S OFFICE | - | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D3 | TGL | HOLLOW METAL | PNT | S-HM01 | TGL | REFER TO HOLLOW METAL SCREEN ELEVATION TYPE S-HM01 ON DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN DETAILS AND DETAILS ON 2/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP | |
| D03 | OSR | - | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D1 | - | HOLLOW METAL | PNT | F1 | - | REFER TO HOLLOW METAL DOOR FRAME DETAILS B, E, AND F ON DRAWING 2/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP | |
| D04a | MAIN OFFICE | 3/4 HR | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D2 | CFG | HOLLOW METAL | PNT | S-HM02 | CFG | REFER TO HOLLOW METAL SCREEN ELEVATION TYPE S-HM02 ON DRAWING 4/A8.1 FOR FIRE-RATED HOLLOW METAL FRAMED SCREEN DETAILS. REFER TO DETAILS ON 1/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP, ELECTRIC STRIKE, POWER DOOR OPERATOR, 2 WALL ACTUATORS, CLOSER, REFER TO ELECTRICAL DRAWINGS AND HARDWARE LIST. | |
| D04b | MAIN OFFICE | - | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D3 | TGL | HOLLOW METAL | PNT | F1 | - | REFER TO HOLLOW METAL DOOR FRAME DETAILS B, E, AND F ON DRAWING 2/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP. | |
| D05 | WORK ROOM | 3/4 HR | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D3 | CFG | HOLLOW METAL | PNT | F1 | - | REFER TO FIRE-RATED HOLLOW METAL DOOR FRAME DETAILS I, F, AND H ON DRAWING 1/A8.2. REFER TO PLAN DETAILS ON 7/A6.1. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, INTERFACE BOX, CYLINDER, KICK PLATE, OVERHEAD STOP, ELECTRIC STRIKE, POWER DOOR OPERATOR, 2 WALL ACTUATORS, CLOSER. REFER TO ELECTRICAL DRAWINGS AND HARDWARE SPECIFICATIONS. | |
| D07 | SEMINAR ROOM | - | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D3 | TGL | HOLLOW METAL | PNT | F1 | - | REFER TO HOLLOW METAL DOOR FRAME DETAILS B, E, AND F ON DRAWING 2/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, FLOOR STOP. | |
| D08a | STAFF LOUNGE | - | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D3 | TGL | HOLLOW METAL | PNT | S-HM01 | TGL | REFER TO HOLLOW METAL SCREEN ELEVATION TYPE S-HM01 ON DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN DETAILS AND DETAILS ON 2/A8.2. | 1-1/2 HINGE (PAIRS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP. | |
| D08b | STAFF LOUNGE | - | 1000mm | 2150mm | 50mm | ALUM | CLEAR ANODIZED | D3 | IGU | ALUM | CLEAR ANODIZED | S-AL01 | IGU | REFER TO ALUMINUM CURTAIN WALL SCREEN DETAILS ON DRAWING 6/A4.2. | CONTINUOUS HINGE, LOCKSET, MASTER KEY, CYLINDER, OVERHEAD STOP | |
| D09 | B-FREE WRM | 3/4 HR | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D1 | - | HOLLOW METAL | PNT | F1 | - | REFER TO FIRE-RATED HOLLOW METAL DOOR FRAME DETAILS I, N, AND Q ON DRAWING 1/A8.2 AND PLAN DETAILS ON 7/A6.1. | CONTINUOUS HINGE, LOCKSET, MASTER KEY, INTERFACE BOX, CYLINDER, KICK PLATE, OVERHEAD STOP, ELECTRIC STRIKE, POWER DOOR OPERATOR, MOUNTING PLATE, 2 WALL ACTUATORS, EMERGENCY PANIC SYSTEM, CLOSER, REFER TO ELECTRICAL DRAWINGS AND HARDWARE SPECIFICATIONS. | |
| D10 | WRM | - | 900mm | 2150mm | 45mm | HOLLOW METAL | PNT | D1 | - | HOLLOW METAL | PNT | F1 | - | REFER TO HOLLOW METAL DOOR FRAME DETAILS H, J, AND I ON DRAWING 2/A8.2 AND PLAN DETAILS ON 7/A6.1. | CONTINUOUS HINGE, LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP. | |
| D11 | WRM | - | 900mm | 2150mm | 45mm | HOLLOW METAL | PNT | D1 | - | HOLLOW METAL | PNT | F1 | - | REFER TO HOLLOW METAL DOOR FRAME DETAILS H, J, AND I ON DRAWING 2/A8.2 AND PLAN DETAILS ON 7/A6.1. | CONTINUOUS HINGE, LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP. | |
| D16 | LIBRARY | 3/4 HR | 1000mm | 2150mm | 45mm | HOLLOW METAL | PNT | D2 | CFG | HOLLOW METAL | PNT | S-HM03 | CFG | REFER TO HOLLOW METAL SCREEN ELEVATION TYPE S-HM03 ON DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN DETAILS. | CONTINUOUS HINGE, LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVERHEAD STOP, CLOSER. | |

| GENERAL DOOR HARDWARE SCHEDULE NOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| 1. REFER TO DRAWING 6/A8.1 FOR DOOR TYPE ELEVATION. | | | | | | | | | | | | | | 8. CONTRACTOR TO SITE VERIFY ALL EXISTING OPENINGS PRIOR TO FABRICATION OF DOOR AND WINDOW REPLACEMENTS. | | | | | | | | | | | | | | | |
| 2. REFER TO DRAWING 2/A8.1 FOR HOLLOW METAL FRAMED WINDOW ELEVATION TYPES. | | | | | | | | | | | | | | 9. LIST OF ABBREVIATIONS: TGL = SINGLE TEMPERED GLAZING UNITS. CFG = CERAMIC FIRE GLASS UNITS. IGU = INSULATED DOUBLE GLAZING UNITS. HM = HOLLOW METAL. ALUM = ALUMINUM FRAME. PNT = PAINT FINISH. | | | | | | | | | | | | | | | |
| 3. REFER TO DRAWING 3/A8.1 FOR HOLLOW METAL FRAMED DOOR ELEVATION TYPES. | | | | | | | | | | | | | | 10. SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO FABRICATION AND INSTALLATION OF NEW HOLLOW METAL DOOR FRAMES, ALUMINUM FRAMED STOREFRONT DOOR AND SCREENS AND HOLLOW METAL WINDOW FRAMES. | | | | | | | | | | | | | | | |
| 4. REFER TO DRAWING 4/A8.1 FOR HOLLOW METAL FRAMED SCREEN ELEVATION TYPES. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5. SUPPLY AND INSTALLATION OF DOOR HARDWARE, INCLUDING AUTOMATIC DOOR HARDWARE IS CARRIED IN THE PROJECT CASH ALLOWANCE. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6. REFER TO DETAIL 5/A8.1 FOR DOOR HARDWARE LOCATION. NOTE THE FOLLOWING: - AT 1025mm FROM TOP OF FINISHED FLOOR TO CENTER OF LOCKSET/LATCH SET. - AT 100mm FROM DOOR SIDE EDGE TO CENTER OF DEADLOCK. DOOR HINGES TO BE INSTALLED AS FOLLOWS: - TOP HINGE: 125mm MAXIMUM FROM TOP OF HINGE TO TOP EDGE OF DOOR. - CENTER HINGE: CENTERED BETWEEN TOP AND BOTTOM HINGE. - BOTTOM HINGE: 265mm MAXIMUM FROM BOTTOM OF HINGE TO BOTTOM DOOR EDGE. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7. PAINT ALL NEW HOLLOW METAL DOORS, SCREENS AND FRAMES AND NEW HOLLOW METAL WINDOW FRAMES, BOTH SIDES, WITHIN THE PROJECT SCOPE OF WORK. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

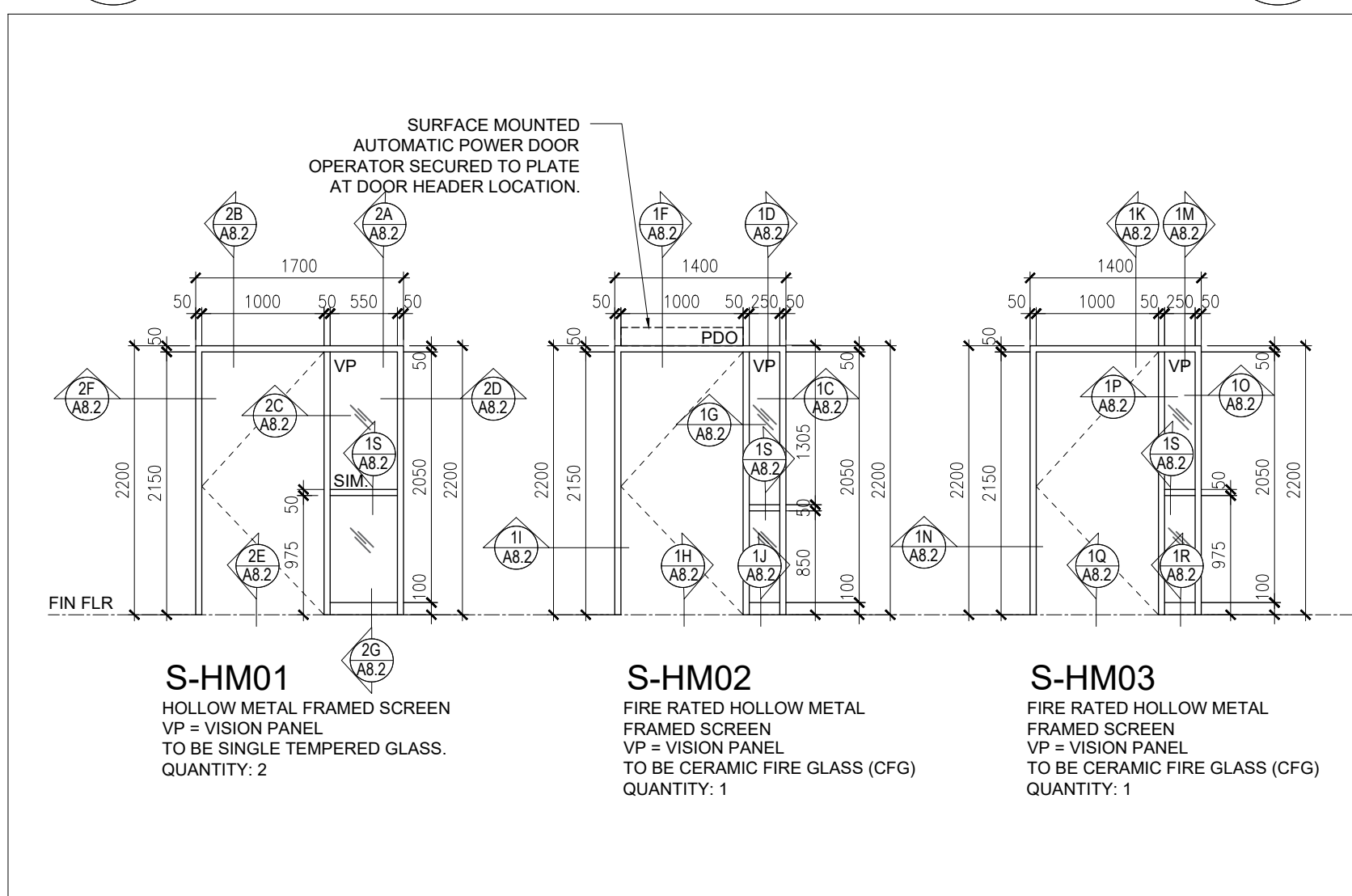
7 DOOR AND DOOR FRAME HARDWARE SCHEDULE AND NOTES

A8.1 N.T.S.



6 DOOR TYPE ELEVATIONS

A8.1 1:50

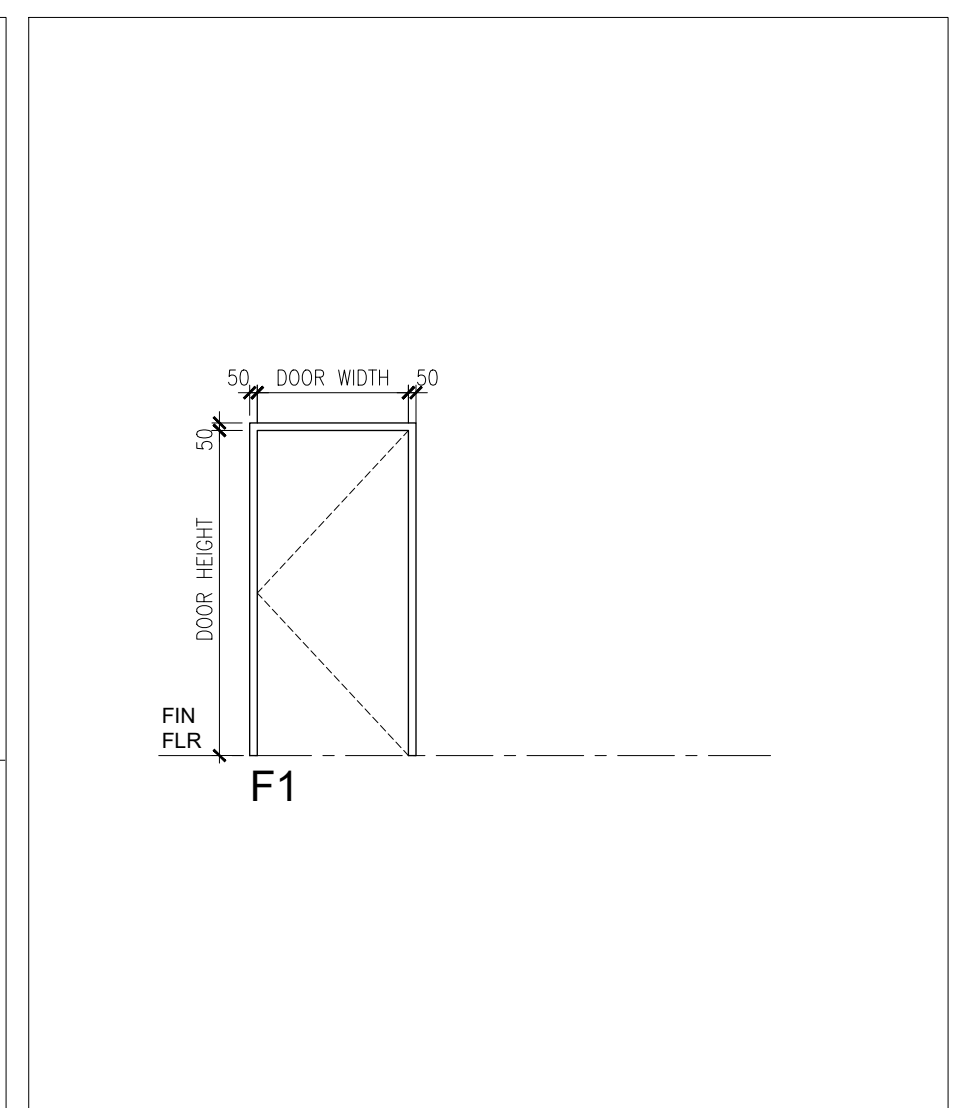


4 HOLLOW METAL FRAMED SCREEN ELEVATION TYPES

A8.1 1:50

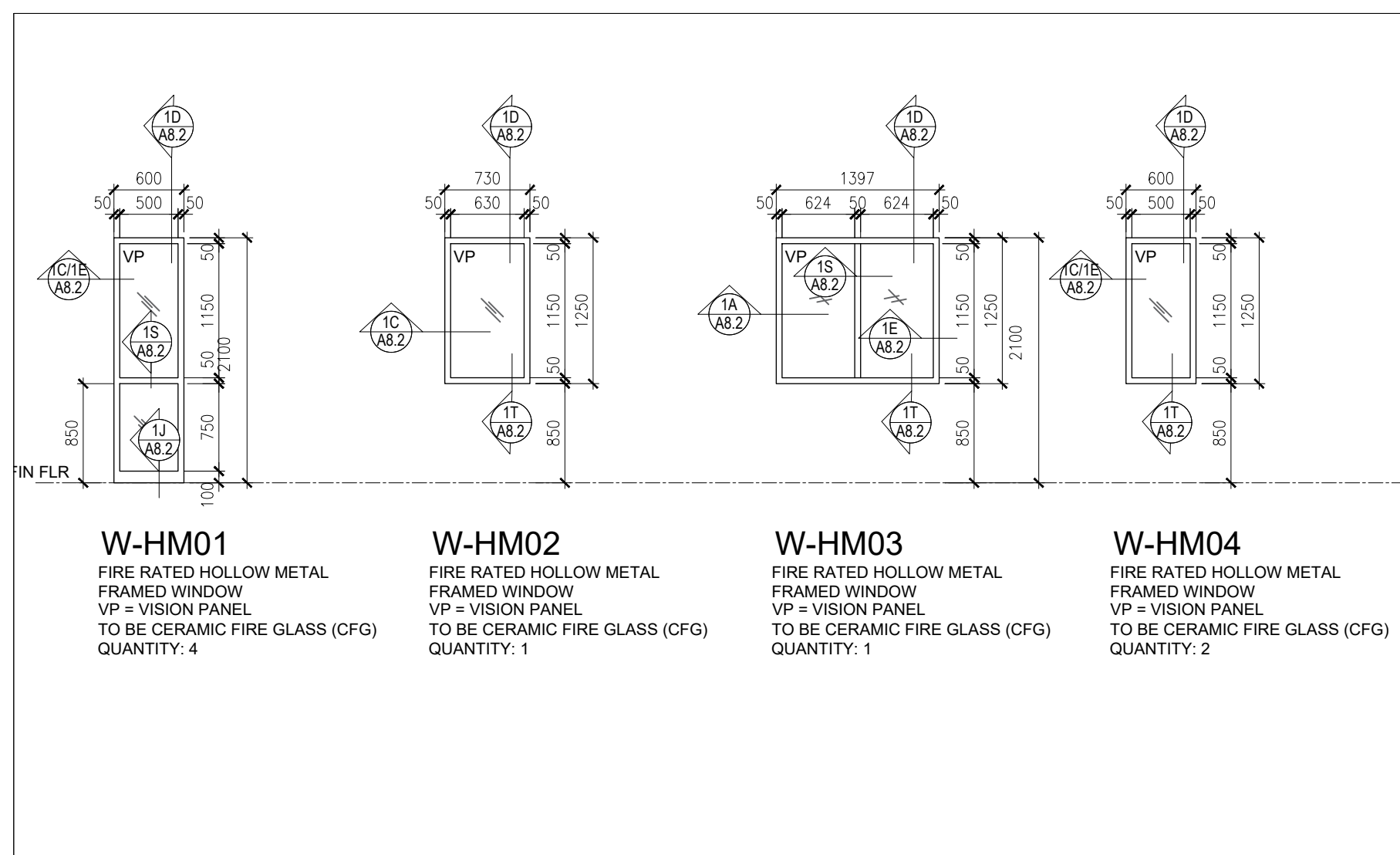
5 DOOR HARDWARE

A8.1 1:20



3 DOOR FRAME TYPE ELEVATION

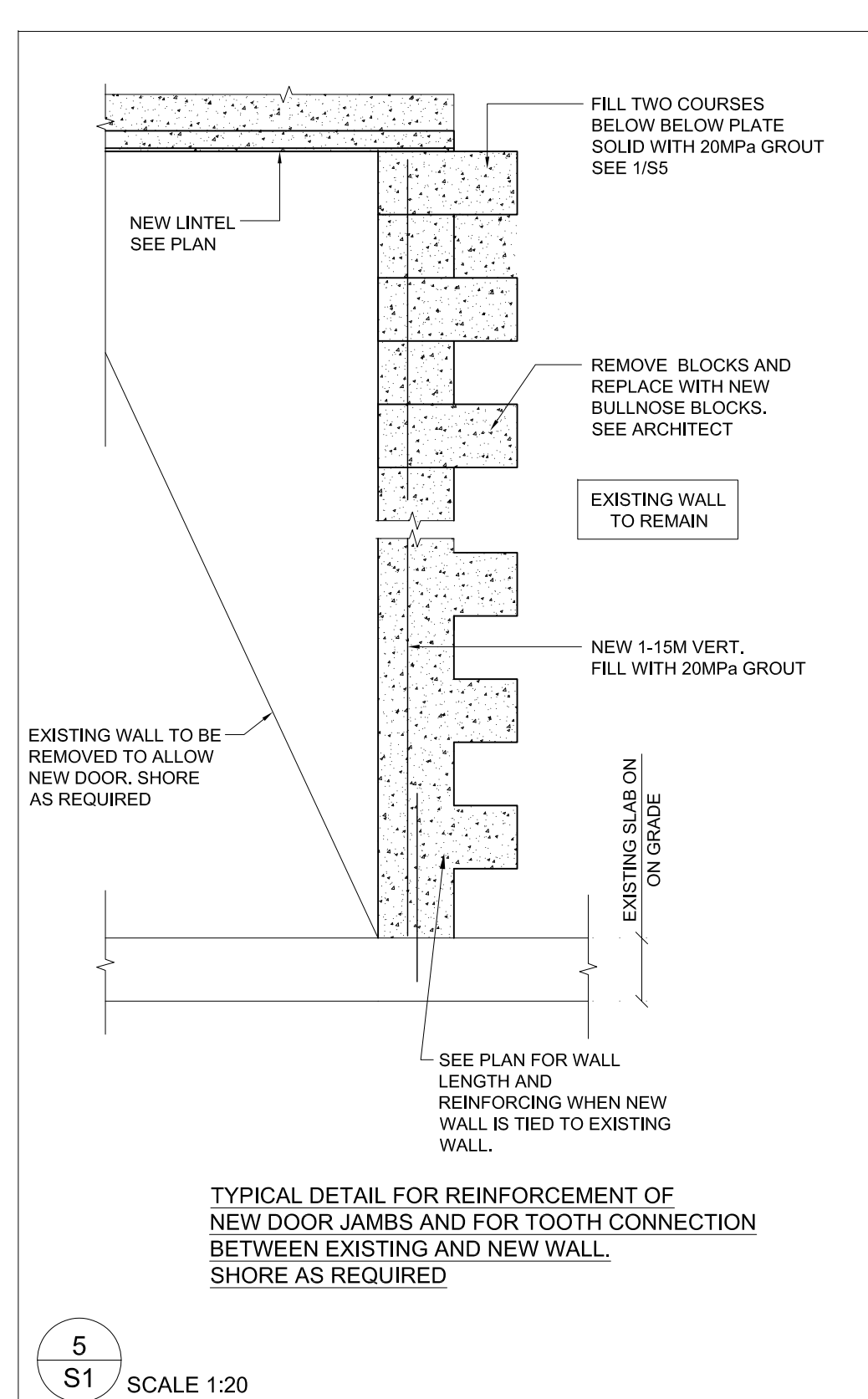
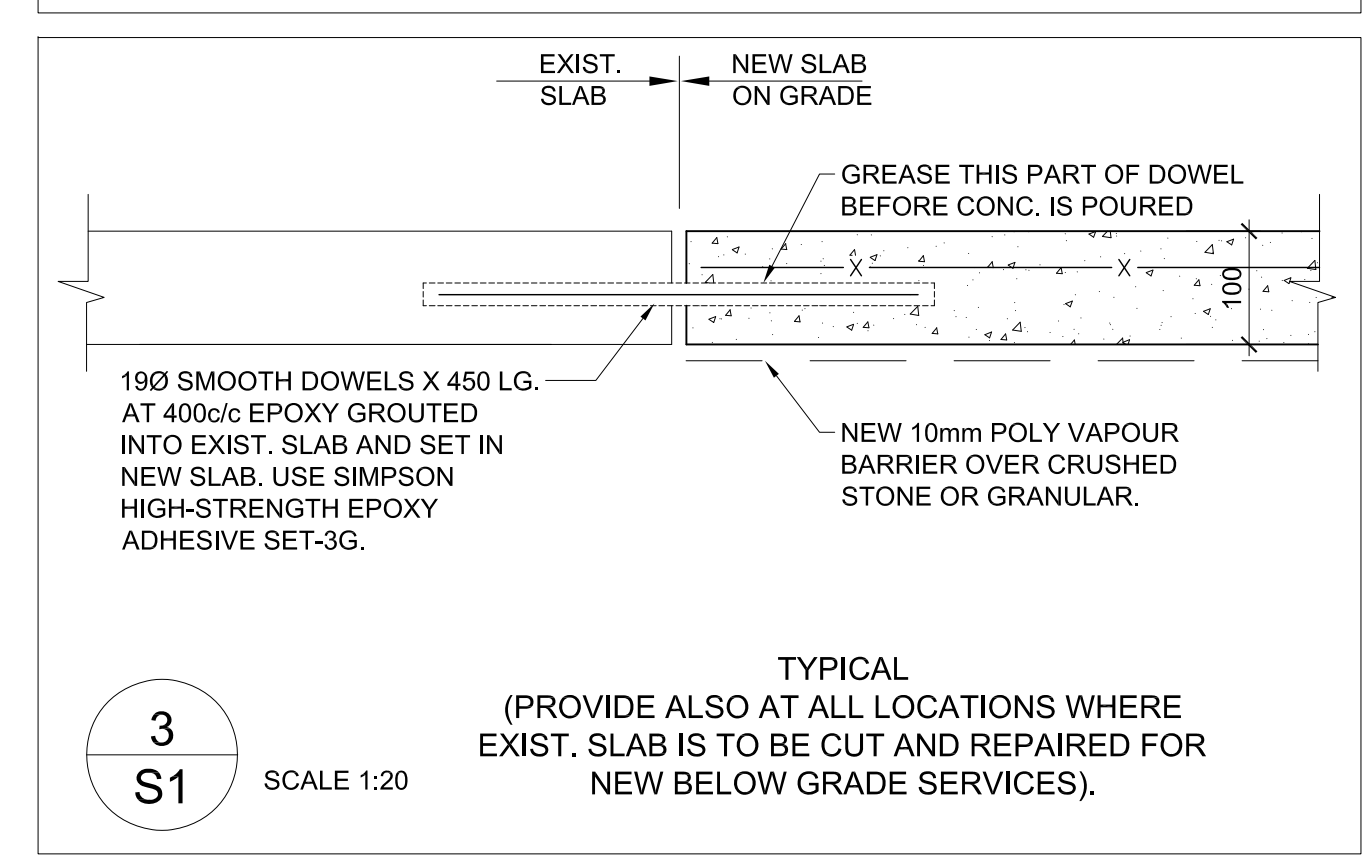
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



2 HOLLOW METAL WINDOW TYPES

A8.1 1:50




| ROOM FINISH SCHEDULE | | | | | | | | | | | | | | | | | | | | | |
|----------------------|-----------------------|---------------|---------|---------------|----------------|----------|------------|-------------|------|-----------------|------|------------|---------|--------------|--------|--------------|------------|--|---|--|--|
| No. | NAME | FLOOR | | BASE | WALLS | | | | | | | | CEILING | | | REMARKS | | | | | |
| | | MAT. | FIN. | | MAT. | NORTH | | EAST | | SOUTH | | WEST | | MAT. | FIN. | | HEIGHT | | | | |
| | | | | | MAT. | FIN. | MAT. | FIN. | MAT. | FIN. | MAT. | FIN. | MAT. | FIN. | | | | | | | |
| F1 | FOYER | EX CONC | EX TERR | EX POR/ POR | GB/CMU/ EX CMU | CWT/ PNT | | GB | PNT | EX CMU | - | GB/ EX CMU | CWT/ - | ACT-N/ GBD-N | - | PNT/ CWT | 2413/ 2350 | PROVIDE PAINT FINISH ON HOLLOW METAL DOORS AND FRAMES. PROVIDE NEW CERAMIC WALL TILE FINISH AT NEW GYPSUM BOARD FINISHED PARTITION WALL AND PAINT FINISH AT NEW GYPSUM BOARD FINISHED BULKHEAD. REFER TO INTERIOR ELEVATIONS ON DRAWING 5/A6.2 AND PROPOSED REFLECTED CEILING PLAN 4/A6.1 FOR SIZE AND SHAPE OF NEW GYPSUM BOARD BULKHEAD. PROVIDE NEW PORCELAIN WALL BASE AT FULL EXTENT OF NEW PARTITIONS AND AT NORTH CORRIDOR WALLS. | | | |
| F2 | PRINCIPAL'S OFFICE | EX CONC | | RFL | RB 100 | GB | PNT | EX CMU | PNT | EX CMU/ GB | | PNT | GB | PNT | ACT-N | - | 2800 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 5/A6.1. | | | |
| F3 | OSR | EX CONC/ CONC | | RFL | RB 100 | GB | PNT | GB | PNT | GB | PNT | GB | PNT | GB | PNT | ACT-N | - | 2440 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 6/A6.1. | | |
| F4 | MAIN OFFICE | EX CONC/ CONC | | RFL | RB 100 | GB | PNT | GB | PNT | GB | PNT | GB | PNT | GB | PNT | ACT-N/ GBD-N | - | PNT | 2440/ 2350 | PROVIDE RESILIENT SHEET FLOORING FINISHES. PROVIDE PAINT FINISH AT ALL WALLS, GYPSUM BOARD FINISHED BULKHEAD AND CEILING, HOLLOW METAL DOOR AND FRAME. REFER TO INTERIOR ELEVATIONS ON DRAWING 6/A6.1. | |
| F5 | WORKROOM | EX CONC/ CONC | | RFL | RB 100 | GB | PNT | GB | PNT | GB | PNT | GB | PNT | EX CMU/ CMU | PNT | ACT-N | - | 2440 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 4/A6.2. | | |
| F6 | WORKROOM | EX CONC/ CONC | | RFL | RB 100 | EX CMU | PNT | GB | PNT | GB | PNT | GB | PNT | EX CMU/ CMU | PNT | ACT-N | - | 2800 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 3/A6.2. | | |
| F7 | SEMINAR ROOM | EX CONC/ CONC | | RFL | RB 100 | GB | PNT | EX CMU | PNT | GB | PNT | GB | PNT | GB | PNT | ACT-N | - | 2800 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 2/A6.2. | | |
| F8 | STAFF LOUNGE | EX CONC/ CONC | | RFL | RB 100 | GB | PNT | GB | PNT | GB | PNT | GB | PNT | GB | PNT | ACT-N/ GBD-N | - | PNT | 2800/ 2200 | PROVIDE RESILIENT SHEET FLOORING AND RUBBER WALL BASE. PROVIDE PAINT FINISH AT ALL WALLS AND HOLLOW METAL DOORS AND FRAMES. REFER TO INTERIOR ELEVATIONS ON DRAWING 1/A6.2. | |
| F9 | BARRIER FREE WASHROOM | EX CONC/ CONC | | POR | POR | GB | CWT | GB | CWT | EX CMU/ CMU | | CWT | GB | CWT | ACT-N | - | 2440 | PROVIDE PORCELAIN FLOOR TILE AND BASE. PROVIDE PAINT FINISH AT HOLLOW METAL DOOR AND FRAMES. PROVIDE CERAMIC WALL TILE AT ALL WALLS. REFER TO INTERIOR ELEVATIONS ON DRAWING 5/A6.1 FOR LAYOUT OF CWT. | | | |
| F10 | WASHROOM | EX CONC/ CONC | | POR | POR | GB | CWT | CMU | CWT | GB | CWT | GB | CWT | GB | CWT | ACT-N | - | 2440 | PROVIDE PORCELAIN FLOOR TILE AND BASE. PROVIDE PAINT FINISH AT HOLLOW METAL DOOR AND FRAME. PROVIDE CERAMIC WALL TILE AT ALL WALLS. REFER TO INTERIOR ELEVATIONS ON DRAWING 4/A6.1 FOR LAYOUT OF CWT. | | |
| F11 | WASHROOM | EX CONC/ CONC | | POR | POR | GB | CWT | CMU/ EX CMU | CWT | GB | CWT | GB | CWT | GB | CWT | ACT-N | - | 2440 | PROVIDE PORCELAIN FLOOR TILE AND BASE. PROVIDE PAINT FINISH AT HOLLOW METAL DOOR AND FRAME. PROVIDE CERAMIC WALL TILE AT ALL WALLS. REFER TO INTERIOR ELEVATIONS ON DRAWING 4/A6.1 FOR LOCATION OF TILES. | | |
| F16 | LIBRARY | EX CONC | EX RFL | EX RB/ RB 100 | EX CMU/ EX CMU | - | EX CMU/ GB | - | PNT | EX CMU/ CMU/ GB | | PNT | - | - | EX ACT | - | 2700 | REMOVE AND REINSTALL EXISTING ACOUSTIC CEILING TILE ASSEMBLY AS REQUIRED TO COMPLETE THE WORK. REMOVE EXISTING RUBBER WALL BASE AS REQUIRED TO COMPLETE THE WORK ON THE NORTH AND EAST WALLS. INSTALL NEW RUBBER WALL RB 100 TO MATCH EXISTING WALL BASE. INSTALL NEW RUBBER WALL BASE AT BASE OF RELOCATED MILLWORK SHELVING UNITS, AT NEW PARTITIONS AND AT EXISTING NEW WALL TO CORRIDOR. | | | |



- GENERAL NOTES**
1. FLOOR STRUCTURE IS EXISTING UNLESS NOTED OTHERWISE. EXISTING BUILDING IS DESIGNED BY WILLIAM G. DALEY ARCHITECT AND KEN N. KRUSCHEN PROFESSIONAL ENGINEER DATED JUNE 1972.
 2. UNLESS NOTED OTHERWISE, PROVIDE NEW 100MM OR 138mm SLAB ON GRADE AS PER SPECIFICATION THROUGHOUT AND AS PER 253. SAWCUT SLAB INTO AREAS 5m x 6m GRAY. PROVIDE CONTROL JOINTS IN ALL DOWNDRAINS. REINFC 1 LAYER 152 X 163 MW18/MW187 VWF OR USING FIBER MESH. REFER TO NEW SLAB ON GRADE DETAIL ON DOORWAYS.
 3. USE DETAILS 331 AND 4351 AT ALL LOCATIONS WHERE EXISTING SLAB IS TO BE CUT AND REINFORCED.
 4. SHORE AS REQUIRED.
- LEGEND:**
- | | |
|---|---------------------------|
|  | EXISTING WALL |
|  | EXIST. WALL TO BE REMOVED |
|  | NEW WALL |
- NOTE: CONNECT NEW MASONRY WALLS TO EXISTING TOOTH CONNECTION METHOD. SEE DETAIL. NO OTHER TYPE OF CONNECTION IS ACCEPTABLE. TYPICAL



- | IMPORTANCE FACTOR CATEGORY 'HIGH' | | |
|-----------------------------------|------|------|
| | ULS | SLS |
| SNOW | 1.15 | 0.9 |
| WIND | 1.15 | 0.75 |
| EARTHQUAKE | 1.3 | 1.0 |

 EXISTING WALL
 EXIST. WALL TO BE REMOVED
 NEW WALL

NOTE: CONNECT NEW MASONRY WALLS TO EXISTING MASONRY WALLS USING TOOTH CONNECTION METHOD. SEE DETAIL. NO OTHER TYPE OF CONNECTION IS ACCEPTABLE. TYPICAL



LINTEL NOTES:

- A. GENERAL CONTRACTOR SHALL PROVIDE 38 X 5 X 150 MASONRY TIES WELDED TO BM, AT 600/ci TYP. FOR ALL BEAM LINTELS AND BMS. IN MASONRY
- B. UNLESS NOTED OTHERWISE BOTT. PLATE OF BEAM LINTELS SHALL STOP SHORT OF OPENINGS AND BEAM BEARING PLATE SHALL BE PROVIDED.
- C. FIRST BLOCK COURSE ABOVE STEEL LINTEL SHALL BE FILLED SOLID WITH 20MPa CONCRETE.
- D. EYE.

VX ENGINEERING inc.
2500 - 135Marlee Avenue
Toronto, Ontario M6B 4C6
416 670 9422 www.vxengineering.com

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

project

TRILLIUM JUNIOR PUBLIC SCHOOL INTERIOR RENOVATIONS
WATERLOO REGION DISTRICT SCHOOL BOARD

79 Laurentian Dr, Kitchener, ON N2E 1C3

PART ROOF FRAMING PLAN AND DETAILS


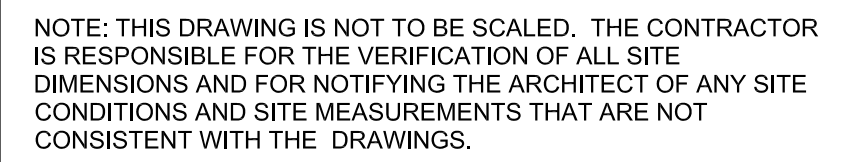
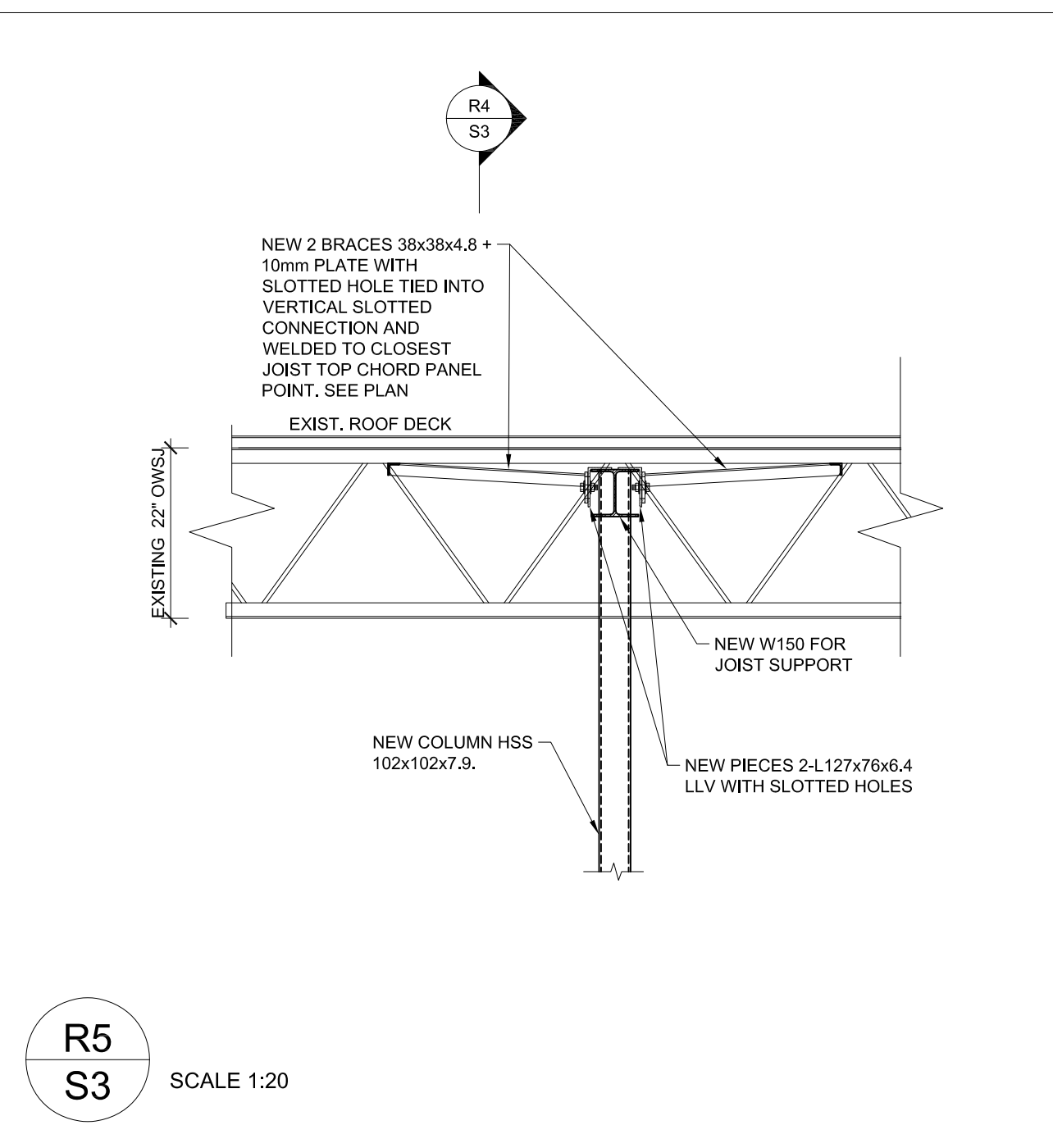
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WARD₉₉

ward99 architects inc.
7611 Pine Valley Drive, Unit 11
Woodbridge, Ontario L4L 0A2
416 613 5880 www.ward99architects.com

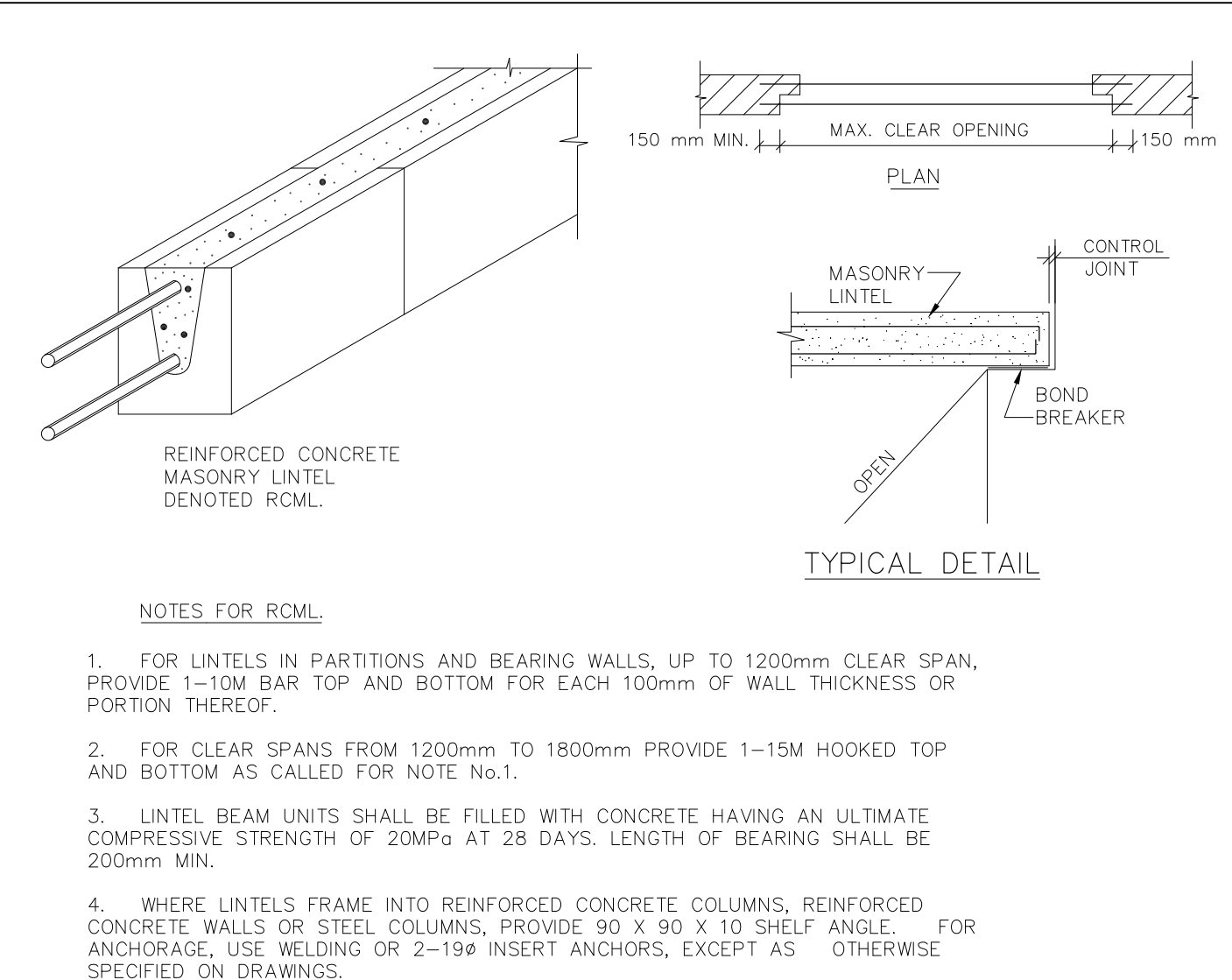
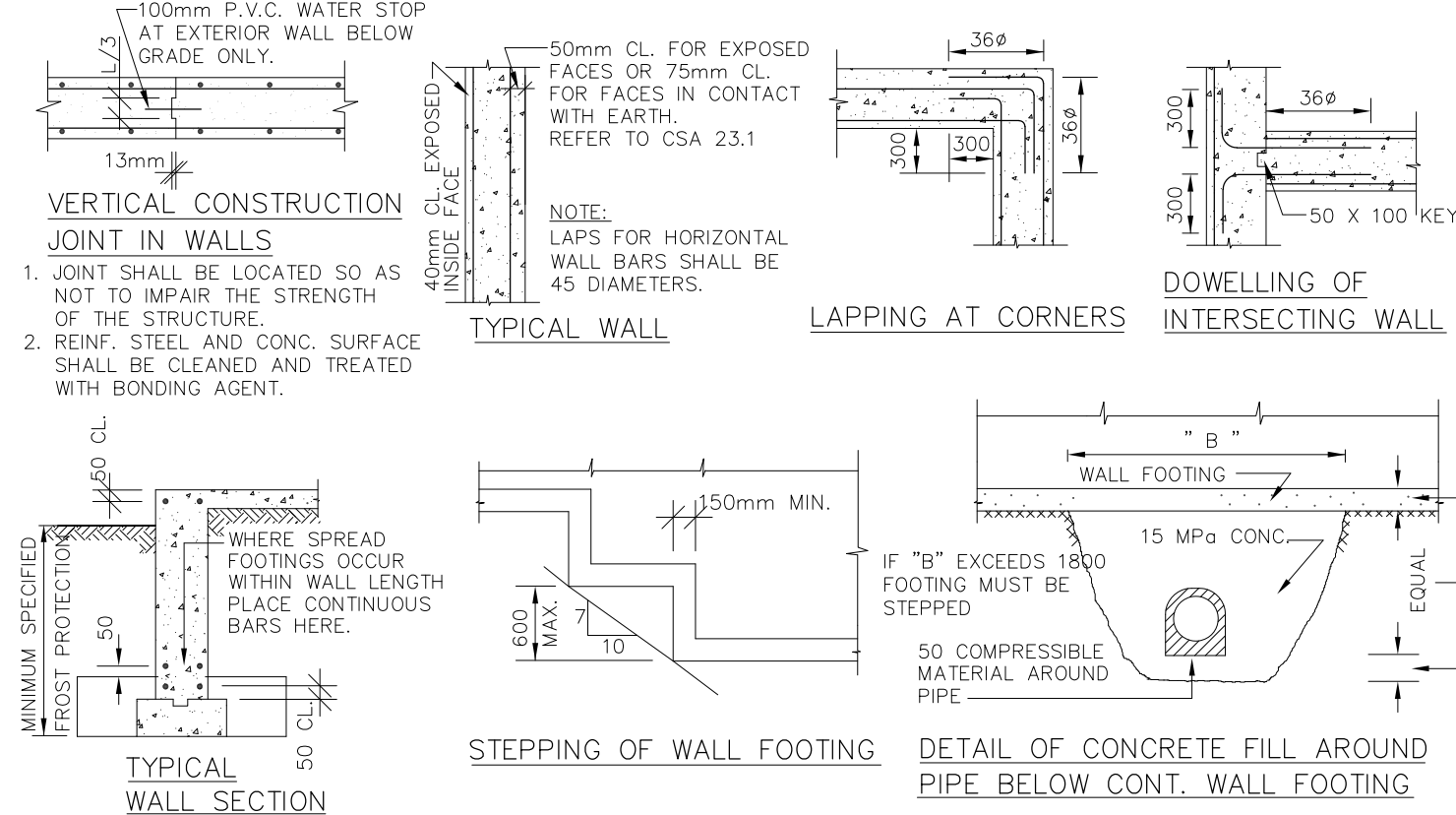
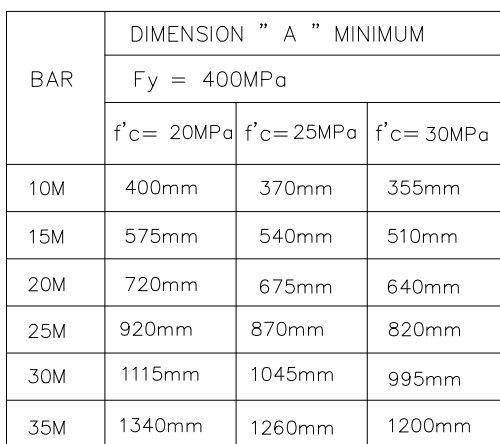
drawing no.









S-2



| no. | issue | date |
|-----|----------------------------|--------------|
| 1 | Issued for Coordination | Mar 13, 2020 |
| 2 | Issued for Permit & Tender | Mar 27, 2020 |
| | | |
| | | |
| | | |
| | | |
| | | |

The image displays three architectural drawings. The top-left drawing is a perspective view of a building facade, showing a white wall with a large window and a door. The top-right drawing is a floor plan, showing a rectangular room with a door and a window. The bottom drawing is a section view, showing a cross-section of a building with a sloped roof and a window.



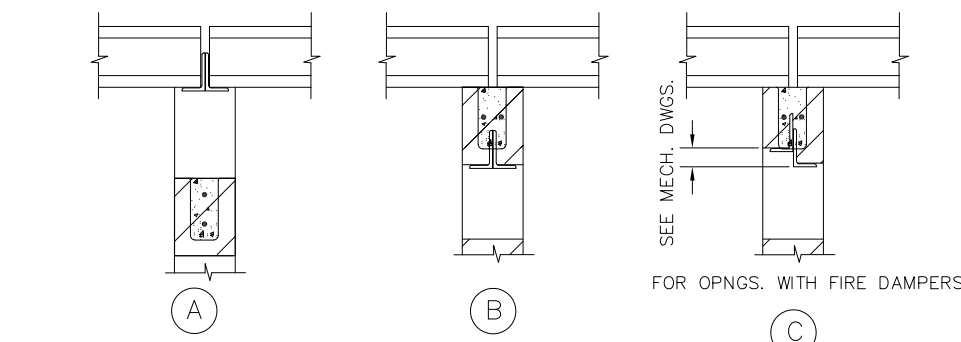
| CLEAR SPAN | 140mm WALL | | 190mm WALL | | 240mm WALL | | 290mm WALL | |
|------------------|---|----------------------------|---|-------------------|---|--------------------|---|-------------------|
| | TYPE | MATERIAL | TYPE | MATERIAL | TYPE | MATERIAL | TYPE | MATERIAL |
| UP TO 1200mm |  | 21/5 ULV 90 x 65 x 8 |  | 21/5 90 x 30 x 8 |  | 21/5 100 x 100 x 8 |  | 31/5 90 x 90 x 8 |
| 1200mm TO 2000mm |  | 21/5 ULV 90 x 65 x 8 |  | 21/5 150 x 90 x 8 |  | 21/5 150 x 100 x 8 |  | 31/5 150 x 90 x 8 |

1. DOUBLE ANGLES SHALL BE PLACED BACK TO BACK AND BOLTED TOGETHER WITH BOLTS AT 600mm/c OR EQUIVALENT STITCHWELD TOP AND BOTTOM 16# MIN.
2. MINIMUM BEARING OF LINTELS SHALL BE 150mm SEE PLAN ABOVE
3. FOR WALLS THICKER THAN 290mm ADD 1 ANGLE OF SIZE SPECIFIED ABOVE FOR EVERY 100 OF MASONRY OR PORTION THEREOF.
4. SEE NOTE No.4 ABOVE
5. FOR LINTELS IN NON-LOAD BEARING 140 WALLS OVER 200mm, PROVIDE W200 X 27 BEAM.
6. PROVIDE SINGLE 90 X 90 X 18 FOR OPENINGS IN 90mm BLOCK ENCLOSURES FOR SPAN UP TO 1200mm. FOR LOCATIONS SEE ARCHITECTURAL AND MECHANICAL DRAWINGS.

UNTEL DETAILS



GENERAL NOTES



| CLEAR SPAN | WALL THICKNESS | | |
|---|--|--|--|
| | 190 WALL | 240 WALL | 290 WALL |
| UP TO 700 mm | 2 L's 90 X 90 X 8 | 1 L 125 X 90 X 8 LH + 1 L 100 X 100 X 8 | 3 L' 90 X 90 X 8 |
| UP TO 900 mm | 2 L's 125 X 90 X 8 LLV | 2 L's 150X100X8 LLV | 3 L's 125X90X8 LLV |
| UP TO 2450 mm [UNLESS NOTED OTHERWISE ON DWGS] | W150 X 22 OR W150X22 + 170X8 PL. BOT. FOR MAS. | W150 X 22 OR W150X22 + 220X8 PL. BOT. FOR MAS. | W150 X 22 OR W150X22 + 270X8 PL. BOT. FOR MAS. |

150 mm

BOND BM.

UP TO 600mm
NO UNTEL REQUIRED

600 TO JOIST SPACING - 300mm
SEE "UNTEL DETAILS:

(B)

- PROVIDE MINIMUM 400mm SOLID MASONRY BETWEEN MECHANICAL OPENINGS. TYPICAL.
- UNLESS NOTED OTHERWISE, FOR OPENINGS IN EXTERIOR WALLS PROVIDE LINTEL AS NOTED ABOVE FOR BACK UP WALL + STEEL ANGLE FOR VENEER. PROVIDE 90 X 90 X 8L FOR SPAN UP TO 1200mm OR 150 X 90 X 8L LLV FOR SPAN UP TO 2000mm.